



Manchester Township Zoning Hearing Board

AGENDA

December 3, 2025, at 6:00 p.m.

CALL TO ORDER

PLEDGE TO THE FLAG

NEW BUSINESS:

1. ZHB 2025-21: Drew & Emily Zimmerman request a variance from §27-305 to permit the subdivision of a lot with a reduced lot width and area at 3830 and 3835 N. Susquehanna Trail, 36-000-MH-0027.B0 and 36-000-MH-0066, in the Agricultural District.
2. ZHB 2025-22: Nneka Olunwa requests a variance from §27-105 to allow a maximum of 12 children in a child care home pursuant to the definition within the zoning ordinance at 675 Kerria Drive, 36-000-52-0059.00-00000, in the Agricultural (Open Space) District.

ADJOURN

MANCHESTER TOWNSHIP
3200 Farmtrail Road
York, PA 17406-5699

RECEIVED

NOV 7 2025

Initial: _____

APPLICATION FOR ZONING HEARING

FOR OFFICE USE ONLY

Application # 2025-21

Date of Hearing 12/3/2025

Time of Hearing _____

CONTINUED HEARING

Date of Hearing _____

Time of Hearing _____

178

1. Applicant's Name DREW & EMILY ZIMMERMAN

Address: 3835 N SUSQUEHANNA TRL, YORK, PA 17404

E-mail Address: zimmermanwatchrepair@gmail.com

Phone Number: 717-873-3240

2. Property Owner's Name: TRONG T LIEU

Address: 3830 N SUSQUEHANNA TRL, YORK, PA 17404

3. Property Location 3835 N. Susquehanna Trcl &
3830 N SUSQUEHANNA TRL, YORK, PA 17404

4. Zoning District AGRICULTURAL ZONE

UPI # 36-MH-0027.A & 66

The undersigned hereby makes application for a **VARIANCE / SPECIAL EXCEPTION / APPEAL** under all applicable ordinances of Manchester Township, and hereby certifies, under penalties of perjury, that all facts set forth herein and, in the plans, submitted herewith are true and correct.

Nothing in this application shall relieve the owners, or his agent, the developer or applicant or any other persons in possession or control of the building, land, or any part thereof from obtaining such other permits or licenses or approvals as may be prescribed by law for the uses or purposes for which the land or building is designed or intended; nor from complying with any lawful order issued with the object of maintaining the building or land in a safe or lawful condition.



Signature of Applicant / Authorized Representative

Date 11-7-25

OFFICE USE ONLY BELOW THIS LINE

Date Application Received 11/7/25
Date Application Fee Received _____

Property Posted _____

Certified to ZHB

Date

Newspaper Advertisement of Hearing Sent on 11/13/25

Date 11/18/25

Date 11/25/25

Notice Mailed to Twp. Supervisors & ZHB

Date

Notice Mailed to Applicant & Adjacent Property Owners

Date

Application Withdrawn

Date

Hearing Held

Date

Planning Commission Review

Date

Continued Hearing Held

Date

Permit (**GRANTED / REFUSED**)

Date

Conditions for Approval _____

5. Nature of SPECIAL EXCEPTION / VARIANCE / INTERPRETATION requested and SECTION NUMBER:

Section 27-305 – Min Lot Width

Section 27-305 – Min Lot Area

6. Description of Proposed Work and Use:

Proposed Add-on Subdivision between Lieu & Zimmerman. Parcel 66 proposed new property line to follow centerline Of Susquehanna Trl N. Remaining area for Parcel 66 with existing dwelling 0.75 Acres Gross / 32,631 S.F. The area North of Susquehanna Trl N is 3.50 Acres Gross and is to be combined with adjacent Parcel 27.B

7. Existing Use of Land / Buildings: Residential / Single Family Detached Dwelling**8. Number of Proposed Buildings / Structures: N/A****And:**

- | | | | |
|---|---|------|---------|
| a | Height of Building / Structures | Feet | Stories |
| b | Type of Construction | | |
| c | Number of Families / Dwelling Units | | |
| d | Habitable Floor Area for Each Dwelling Unit | | |
| e | If Mobile Home, Title Holder's Name / Address | | |

9. Off Street Parking Spaces:

- | | | | | |
|---|----------|-----|----|----------|
| a | Required | N/A | b. | Proposed |
|---|----------|-----|----|----------|

10. Water System: (check a, b or c)

- | | | |
|---|----------------|--------------|
| a | Public | Company Name |
| b | On-Site Well | ✓ |
| c | Other (Specify |) |

11. Sewage System: (check a, b or c)

- | | | | |
|---|----------------------|---|---------------------|
| a | Public: Parcel 66 | ✓ | c. Other |
| b | On-Site: Parcel 27.B | ✓ | Penn DEP Approved # |

12. Please note that a land development plan must be filed or a building permit must be acquired within (six) 6 months of the date of the written decision of the board or the action is null and void.**13. Please attach a complete list of property owners within 300 feet.** (Please include homeowners' names, address, tax map and parcel number.)**14. Please attach a detailed site plan.** (Include a complete plan showing all existing and proposed buildings, driveways, etc. with setback distances and dimensions. Note all property widths and depths (in feet) along appropriate property lines. Note all street name(s) and their locations. Note the compass directions. Note the names of the adjoining property owners.)**The application is not considered complete without items 13 & 14.**

FOR VARIANCE APPLICATIONS ONLY (must answer all questions) (additional sheets may be used)**16. The applicant believes the variance should be granted because:**

- a) Applicant is unable to make reasonable use of his property or conform to strict application of the Zoning Ordinance because: (Why can't you use the property as it is?)

Due to the existing physical characteristics, the existing lot width and lot size of parcel 66 with the existing Dwelling would be less than the ordinance allows. The proposed lot with would be 97 feet and lot area is 0.75 acres. The Ordinance requires in agricultural zone that lot width be 150 feet and lot area be 47,000 s.f.

- b) The unnecessary hardship on your property is: (must be able to prove all of the items below)

- (☒) The result of application of the Manchester Township Zoning Ordinance
- (☒) Due to unique physical circumstances of the property in question not shared by neighboring properties such as: the shape of lot, the width of lot or the topography of the lot
- (☒) Not financial in nature
- (☒) Not self-created

- c) The proposed variance will not alter the essential character of the neighborhood nor impair the use of adjacent properties for the following reasons: (for example: Why is this not harmful to the neighbors?)

There are no improvements proposed. Only transfer of land. A non-building waiver is proposed.

- d) The variance requested represents the minimum variance that will afford relief for the following reasons: (for example: Why does what you want to build have to be the size shown?)

To subdivide and transfer the northern tract the area out the south would be non-conforming.

A variance would be required to proceed with this subdivision add-on

17. For an APPEAL of a decision(s) of the township's zoning officer or of an enforcement action of the township:

a. The applicant is hereby appealing: (may use additional sheets if necessary)

The following decision of the zoning officer :

The following enforcement action of the township:

b. The applicant does not agree with the decision of the zoning officer or the enforcement action of the township for the following reasons: (may use additional sheets if necessary)

ZIMMERMAN & LIEU ADJOINER LIST

36-000-MH-0027.00-00000

NP MANCHESTER COMMERCE CTR LLC

250 REGIONAL WAY

36-000-LH-0056.B0-00000

MARIA LISSETTE MENDEZ

3800 N SUSQUEHANNA TRL

36-000-LH-0056.E0-00000

TRACY E RILL AKA TRACY E LEITZEL

3816 N SUSQUEHANNA TRL

36-000-LH-0056.D0-00000

TRONG T LIEU

3820 SUSQUEHANNA N TRL

36-000-LH-0056.C0-00000

FOUR R LAND HOLDINGS LP

No Address

36-000-52-0126.A0-00000

LONDON CROFT LLC

594 DARROW RD

36-000-MH-0066.A0-00000

RYAN L SEYLER

3840 SUSQUEHANNA TRL

36-000-MH-0065.B0-00000

JASON TYRELLE & BRITTANY LYNN HERMAN

3865 SUSQUEHANNA TRL

THE TOWNSHIP OF
YORK COUNTY



MANCHESTER
PENNSYLVANIA

3200 Farmtrail Road York, PA 17406
Telephone: (717) 764-4646 Fax: (717) 767-1400
www.mantwp.com

ZC-25-00178

NOTICE OF ZONING HEARING

Notice is hereby given that a hearing will be held by the Manchester Township Zoning Hearing Board at the Township Municipal Building located at 3200 Farmtrail Road, York, PA, 17406. All interested parties are welcome to attend and provide testimony. The hearing will be held on:

December 3, 2025, at 6:00 p.m.

ZHB 2025-21: Drew & Emily Zimmerman request a variance from §27-305 to permit the subdivision of a lot with a reduced lot width and area at 3830 and 3835 N. Susquehanna Trail, 36-000-MH-0027.B0 and 36-000-MH-0066, in the Agricultural District.

At least one week prior to the hearing an agenda and item details will be posted on our website. Click on the "government" button then "meetings & agendas" from the drop-down list then scroll down to "Zoning Hearing Board 2025" and choose the desired date. Additional information may also be obtained by contacting the township office at 717-764-4646, extension 105, or r.vega@mantwp.com.

MANCHESTER TOWNSHIP ZONING HEARING BOARD

By: Rachel Vega, Zoning/Planning Officer

AT A MEETING ON _____, 20____, THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MANCHESTER APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE TOWNSHIP, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

RECOMMENDED FOR APPROVAL BY THE MANCHESTER TOWNSHIP PLANNING COMMISSION: _____ DATE _____

REVIEWED BY THE MANCHESTER TOWNSHIP ENGINEER _____ DATE _____

REVIEWED BY YORK COUNTY PLANNING COMMISSION: _____ DATE _____

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN

PLAN BOOK _____, PAGE _____ DATED _____

SITE DATA

PARCEL ID # 36-MH-0027.A & 66

ZONING: A - AGRICULTURAL ZONE

EXISTING USE: LOT 1 = SINGLE FAMILY DETACHED DWELLING

LOT 2 = SINGLE FAMILY DETACHED DWELLING

PROPOSED USE: LOT 1 = SINGLE FAMILY DETACHED DWELLING

LOT 2 = SINGLE FAMILY DETACHED DWELLING

EXISTING WATER & SEWER: LOT 1 = ON-LOT WELL & SEPTIC

LOT 2 = WELL & PUBLIC SEWER

DEED BOOK-PAGE: LOT 1 = 2798-550

LOT 2 = 2279-7678

CONTOURS: PASDA - NAVD88

SOIL SURVEY MAPS (OCT 2017)

ADD-ON LOT NOTE

LOT 2A (3.5 ACRES GROSS) IS TO BE COMBINED WITH OUR ADJACENT LAND AND MAY NOT BE SEPARATED THEREFROM WITHOUT FURTHER APPROVAL BY THE MUNICIPALITY. IF NOT SO COMBINED, LOT 2A SHALL REMAIN A SEPARATE APART OF LOT 2 AND NOT TO BE SUBDIVIDED.

I ACKNOWLEDGE THAT IF LOT 2A IS COMBINED WITH OUR ADJACENT PROPERTY, IT MAY NOT BE SEPARATED THEREFROM WITHOUT FURTHER APPROVAL BY THE MUNICIPALITY.

EMILY ZIMMERMAN _____ DATE _____

DREW ZIMMERMAN _____ DATE _____

OWNER ADDRESS:
3835 N SUSQUEHANNA TRL,
YORK, PA 17404

APPROVED BY OWNER/SUBDIVIDER:

EMILY ZIMMERMAN - OWNER

DREW ZIMMERMAN - OWNER
COUNTY OF YORK
COMMONWEALTH OF PENNSYLVANIA

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME,
THE UNDERSIGNED OFFICER, PERSONALLY APPEARED

DREW & EMILY ZIMMERMAN - OWNERS

THE OWNER OF THE LAND PROPOSED TO BE DEVELOPED AND THAT THE LAND DEVELOPMENT SHOWN ON THE FINAL PLAN IS MADE WITH HIS OR HER FREE CONSENT AND THAT IT IS DESIRED TO RECORD THE SAME, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS AND/OR EQUITABLE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT THERE DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON, THAT THEY DESIRE THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

MY COMMISSION EXPIRES

NOTARY PUBLIC

MY COMMISSION EXPIRES

NOTARY PUBLIC

ZONING REQUIREMENTS

SETBACKS (PRINCIPAL BUILDING): AS SHOWN IN AG ZONE (PRINCIPAL BUILDING)

FRONT YARD: 50 FEET

SIDES YARD: 50 FEET

REAR YARD: 50 FEET

MINIMUM LOT SIZE - 1.0 ACRE (NO PUBLIC WATER & SEWER)

TOTAL AREA THIS DATE LOT 1: 5.47 ACRES

TOTAL AREA THIS DATE LOT 2: 4.25 ACRES

ONCE SUBDIVIDED: LOT 1: 8.97 ACRES

LOT 2: 0.75 ACRES

MINIMUM LOT WIDTH - 150'

TOTAL WIDTH THIS DATE LOT 1: 428'

TOTAL WIDTH THIS DATE LOT 2: 372'

ONCE SUBDIVIDED: LOT 1: 800'

LOT 2: 97.22'

MAXIMUM BUILDING HEIGHT - 35'

EXISTING 2 STORY BUILDING

MAXIMUM LOT COVERAGE - 20%

OWNER ADDRESS:
3835 N SUSQUEHANNA TRL,
YORK, PA 17404

APPROVED BY OWNER/SUBDIVIDER:

TRONG T LIEU - OWNER
COUNTY OF YORK
COMMONWEALTH OF PENNSYLVANIA

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME,
THE UNDERSIGNED OFFICER, PERSONALLY APPEARED

TRONG T LIEU - OWNER

THE OWNER OF THE LAND PROPOSED TO BE DEVELOPED AND THAT THE LAND DEVELOPMENT SHOWN ON THE FINAL PLAN IS MADE WITH HIS OR HER FREE CONSENT AND THAT IT IS DESIRED TO RECORD THE SAME, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS AND/OR EQUITABLE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT THERE DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON, THAT THEY DESIRE THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

WAIVER REQUESTS

Waivers of the following sections of the West Manchester Township Subdivision and Land Development Ordinance have been requested:

1. Sect. _____ - Sidewalks & Curbs

Granted on _____/_____/_____

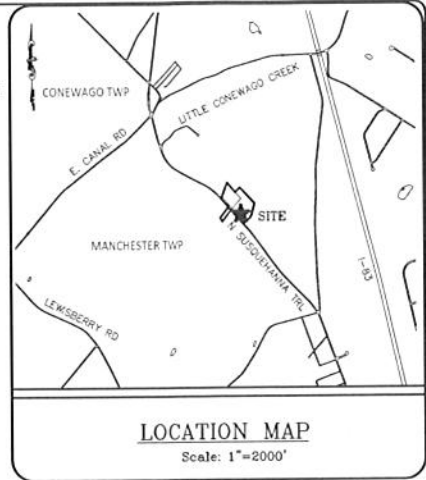
2. Sect. _____ - Shade Trees

Granted on _____/_____/_____

LEGEND

- EXISTING PROPERTY LINE
- PROPERTY LINE TO BE REMOVED
- ADJOINER PROPERTY LINE
- BUILDING SETBACK LINE
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING DEDICATED LINE
- PROPOSED DEDICATED LINE
- PROPERTY CORNER
- CLEAR SIGHT TRIANGLE (75' X 75')
- PRIMARY CONTROL POINT

(P.C.P.)



NOTES

- PROPERTY SUBJECT TO ALL EASEMENTS, AGREEMENTS, AND OTHER MATTERS OF RECORD.
- IN ACCORDANCE WITH THE FEMA FLOOD INSURANCE RATE MAPS DATED DECEMBER 16, 2015, THERE IS A 100-YEAR FLOODPLAIN ON THE PROPERTY. PANEL NO. 42133C0192F.
- WETLANDS EXIST ON THE PROPERTY AS DEPICTED ON THE U.S. FISH & WILDLIFE SERVICE NATIONAL WETLAND INVENTORY MAP DATED APRIL 1, 2012.
- THERE ARE NO PROPOSED DEED RESTRICTIONS.
- ANY EXISTING STRUCTURE IN VIOLATION WITH THE BUILDING SETBACKS SHOWN HEREON, ONCE REMOVED OR DESTROYED, MAY BE REBUILT IN CONFORMANCE WITH SETBACKS IN EFFECT. THE EXPANSION, ALTERATION, REPLACEMENT, RESTORATION, ABANDONMENT, ETC., OF NONCONFORMING STRUCTURES SHALL COMPLY WITH MANCHESTER TOWNSHIP ZONING ORDINANCE.
- CLEAR SIGHT TRIANGLES ARE INDICATED ON THIS PLAN. NO BUILDING OR OTHER OBSTRUCTION THAT WOULD OBSCURE THE VISION OF A MOTORIST SHALL BE PERMITTED WITHIN THESE AREAS. OBSTRUCTIONS, GRADING AND/OR PLANTINGS LESS THAN THREE FEET ABOVE THE STREET GRADE SHALL BE PERMITTED.
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
- NO ADDITIONAL SEWAGE FLOWS NEEDED FOR THIS SUBDIVISION.
- UPON NOTICE BY MANCHESTER TOWNSHIP TO THE LAND OWNER OF RECORD OF ANY LOT IN THIS SUBDIVISION OR LAND DEVELOPMENT THAT SIDEWALKS AND/OR CURBS MUST BE INSTALLED, THE OWNER SHALL HAVE SIX MONTHS FROM THE DATE OF SUCH NOTICE TO INSTALL SAID SIDEWALKS AND/OR CURBS AT THE OWNER'S EXPENSE. THE OBLIGATION TO CONSTRUCT SIDEWALK AND/OR CURBS SHALL BE GOVERNED BY THE WEST MANCHESTER TOWNSHIP SUBDIVISION LAND DEVELOPMENT ORDINANCE.
- WARNING - THE DWELLING LOT PROPOSED BY THIS SUBDIVISION PLAN IS IN THE AGRICULTURAL DISTRICT. THE PRIMARY USE OF SUCH DISTRICT IS AGRICULTURAL AND RESIDENTS MUST EXPECT THINGS SUCH AS THE SMELL OF FARM ANIMALS AND THE MANURE THEY PRODUCE, TOXIC CHEMICALS, SLOW-MOVING AGRICULTURAL MACHINERY ON LOCAL ROADS AND OTHER BY-PRODUCTS OF AGRICULTURAL ACTIVITY.
- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, #42B), KNOWN AS THE STATE HIGHWAY LAW, BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAYS SHALL BE ONLY AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT.

NON-BUILDING WAIVER

AS OF THE DATE OF THIS PLOT PLAN RECORDING, THE SUBDIVISION DESCRIBED HEREON IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE AS STATED IN THE SITE DATA. NO PORTION OF THIS SUBDIVISION HAS BEEN APPROVED BY THE MUNICIPALITY OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM UNLESS (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) THE MUNICIPALITY AND DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE SUBDIVISION DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET. SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS PROPERTY SHOULD CONTACT APPROPRIATE OFFICIALS OF THE MUNICIPALITY WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.

THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE LOT 2 BY THE CENTER OF SUSQUEHANNA TRL AND THEN COMBINE WITH LOT 1.

SURVEYOR'S CERTIFICATION

I DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS. THE ERROR OF CLOSURE FOR THE THIS SURVEY IS 1 : 10,000.

JON P. MYERS # 051238-E 10/23/2025
DATE

PROJECT TITLE FINAL SUBDIVISION PLAN FOR TRONG T LIEU & DREW & EMILY ZIMMERMAN MANCHESTER TOWNSHIP COUNTY OF YORK	SHEET TITLE LOT LINE ADJUSTMENT	PROJECT NO.: 2025-132 DATE: 10/20/2025 SHEET NO.: 1 OF 1
---	------------------------------------	--

OWNER'S NAME & ADDRESS
TRONG T LIEU
3835 N SUSQUEHANNA TRL
YORK, PA 17404
DREW & EMILY ZIMMERMAN
3835 N SUSQUEHANNA TRL
YORK, PA 17404

36-MH-0006
DRAWN BY: JPM
CHECKED BY: JPM
SCALE: 1"=50'
0 100 200 400

SEAL
JON P. MYERS
LAND SURVEYOR
PA 051238-E

AT A MEETING ON _____, 20____, THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MANCHESTER APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE TOWNSHIP, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

RECOMMENDED FOR APPROVAL BY THE MANCHESTER TOWNSHIP PLANNING COMMISSION: _____ DATE _____

REVIEWED BY THE MANCHESTER TOWNSHIP ENGINEER: _____ DATE _____

REVIEWED BY YORK COUNTY PLANNING COMMISSION: _____ DATE _____

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN PLAN BOOK _____, PAGE _____ DATED _____

SITE DATA
PARCEL ID # 36-MH-0027.A & 66
ZONING: A - AGRICULTURAL ZONE
EXISTING USE: LOT 1 = SINGLE FAMILY DETACHED DWELLING
LOT 2 = SINGLE FAMILY DETACHED DWELLING
PROPOSED USE: LOT 1 = SINGLE FAMILY DETACHED DWELLING
LOT 2 = SINGLE FAMILY DETACHED DWELLING
EXISTING WATER & SEWER: LOT 1 = ON-LOT WELL & SEPTIC
LOT 2 = WELL & PUBLIC SEWER
DEED BOOK-PAGE: LOT 1 = 2798-550
LOT 2 = 2279-7678
CONTOURS: PASDA - NAVD88
SOIL SURVEY MAPS (OCT 2017)

ADD-ON LOT NOTE
LOT 2A (3.5 ACRES GROSS) IS TO BE COMBINED WITH OUR ADJACENT LAND AND MAY NOT BE SEPARATED THEREFROM WITHOUT FURTHER APPROVAL BY THE MUNICIPALITY. IF NOT SO COMBINED, LOT 2A SHALL REMAIN A SEPARATE APART OF LOT 2 AND NOT TO BE SUBDIVIDED.

I ACKNOWLEDGE THAT IF LOT 2A IS COMBINED WITH OUR ADJACENT PROPERTY, IT MAY NOT BE SEPARATED THEREFROM WITHOUT FURTHER APPROVAL BY THE MUNICIPALITY.

EMILY ZIMMERMAN DATE _____

DREW ZIMMERMAN DATE _____

OWNER ADDRESS:
3835 N SUSQUEHANNA TRL
YORK, PA 17404

APPROVED BY OWNER/SUBDIVIDER:

EMILY ZIMMERMAN - OWNER

DREW ZIMMERMAN - OWNER
COUNTY OF YORK
COMMONWEALTH OF PENNSYLVANIA

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED DREW & EMILY ZIMMERMAN - OWNERS. THE OWNER OF THE LAND PROPOSED TO BE DEVELOPED AND THAT THE LAND DEVELOPMENT SHOWN ON THE FINAL PLAN IS MADE WITH HIS OR THEIR FREE CONSENT AND THAT IT IS DESIRED TO RECORD THE SAME. WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS AND/OR EQUITABLE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT THERE DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON, THAT THEY DESIRE THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

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MY COMMISSION EXPIRES

NOTARY PUBLIC

MY COMMISSION EXPIRES

NOTARY PUBLIC

ZONING REQUIREMENTS

SETBACKS (PRINCIPAL BUILDING): AS SHOWN IN AG ZONE (PRINCIPAL BUILDING)

FRONT YARD: 50 FEET
SIDES YARD: 50 FEET
REAR YARD: 50 FEET
MINIMUM LOT SIZE - 1.0 ACRE (NO PUBLIC WATER & SEWER)
TOTAL AREA THIS DATE LOT 1: 5.47 ACRES
TOTAL AREA THIS DATE LOT 2: 4.25 ACRES
ONCE SUBDIVIDED: LOT 1: 8.97 ACRES
LOT 2: 0.75 ACRES
MINIMUM LOT WIDTH - 150'
TOTAL WIDTH THIS DATE LOT 1: 428'
TOTAL WIDTH THIS DATE LOT 2: 372'
ONCE SUBDIVIDED: LOT 1: 800'
LOT 2: 97.22'
MAXIMUM BUILDING HEIGHT - 35'
EXISTING 2 STORY BUILDING
MAXIMUM LOT COVERAGE - 20%

OWNER ADDRESS:
3835 N SUSQUEHANNA TRL
YORK, PA 17404
APPROVED BY OWNER/SUBDIVIDER:

TRONG T LIEU - OWNER
COUNTY OF YORK
COMMONWEALTH OF PENNSYLVANIA

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED TRONG T LIEU - OWNER. THE OWNER OF THE LAND PROPOSED TO BE DEVELOPED AND THAT THE LAND DEVELOPMENT SHOWN ON THE FINAL PLAN IS MADE WITH HIS OR THEIR FREE CONSENT AND THAT IT IS DESIRED TO RECORD THE SAME. WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS AND/OR EQUITABLE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT THERE DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON, THAT THEY DESIRE THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

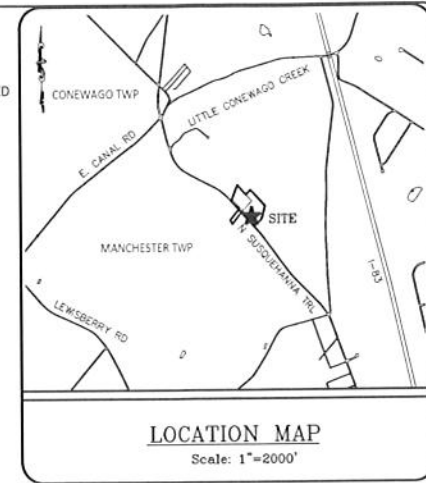
WAIVER REQUESTS

Waivers of the following sections of the West Manchester Township Subdivision and Land Development Ordinance have been requested:

1. Sect. _____ - Sidewalks & Curbs
Granted on ____/____/____
2. Sect. _____ - Shade Trees
Granted on ____/____/____

LEGEND

- EXISTING PROPERTY LINE
- PROPERTY LINE TO BE REMOVED
- ADJOINER PROPERTY LINE
- BUILDING SETBACK LINE
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING DEDICATED LINE
- PROPOSED DEDICATED LINE
- PROPERTY CORNER
- CLEAR SIGHT TRIANGLE (75' X 75')
- PRIMARY CONTROL POINT



NOTES

1. PROPERTY SUBJECT TO ALL EASEMENTS, AGREEMENTS, AND OTHER MATTERS OF RECORD.
2. IN ACCORDANCE WITH THE FEMA FLOOD INSURANCE RATE MAPS DATED DECEMBER 16, 2015, THERE IS A 100-YEAR FLOODPLAIN ON THE PROPERTY. PANEL NO. 4213300192F.
3. WETLANDS EXIST ON THE PROPERTY AS DEPICTED ON THE U.S. FISH & WILDLIFE SERVICE NATIONAL WETLAND INVENTORY MAP DATED APRIL 1, 2012.
4. THERE ARE NO PROPOSED DEED RESTRICTIONS.
5. ANY EXISTING STRUCTURE IN VIOLATION WITH THE BUILDING SETBACKS SHOWN HEREON, ONCE REMOVED OR DESTROYED, MAY BE REBUILT IN CONFORMANCE WITH SETBACKS IN EFFECT. THE EXPANSION, ALTERATION, REPLACEMENT, RESTORATION, ABANDONMENT, ETC. OF NONCONFORMING STRUCTURES SHALL COMPLY WITH MANCHESTER TOWNSHIP ZONING ORDINANCE.
6. CLEAR SIGHT TRIANGLES ARE INDICATED ON THIS PLAN. NO BUILDING OR OTHER OBSTRUCTION THAT WOULD OBSCURE THE VISION OF A MOTORIST SHALL BE PERMITTED WITHIN THESE AREAS. OBSTRUCTIONS, GRADING AND/OR PLANTINGS LESS THAN THREE FEET ABOVE THE STREET GRADE SHALL BE PERMITTED.
7. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
8. NO ADDITIONAL SEWAGE FLOWS NEEDED FOR THIS SUBDIVISION.
9. UPON NOTICE BY MANCHESTER TOWNSHIP TO THE LAND OWNER OF RECORD OF ANY LOT IN THIS SUBDIVISION OR LAND DEVELOPMENT THAT SIDEWALKS AND/OR CURBS MUST BE INSTALLED, THE OWNER SHALL HAVE SIX MONTHS FROM THE DATE OF SUCH NOTICE TO INSTALL SAID SIDEWALKS AND/OR CURBS AT THE OWNER'S EXPENSE. THE OBLIGATION TO CONSTRUCT SIDEWALK AND/OR CURBS SHALL BE GOVERNED BY THE WEST MANCHESTER TOWNSHIP SUBDIVISION LAND DEVELOPMENT ORDINANCE.
10. WARNING - THE DWELLING LOT PROPOSED BY THIS SUBDIVISION PLAN IS IN THE AGRICULTURAL DISTRICT. THE PRIMARY USE OF SUCH DISTRICT IS AGRICULTURAL AND RESIDENTS MUST EXPECT THINGS SUCH AS THE SMELL OF FARM ANIMALS AND THE MANURE THEY PRODUCE, TOXIC CHEMICALS, SLOW-MOVING AGRICULTURAL MACHINERY ON LOCAL ROADS AND OTHER BY-PRODUCTS OF AGRICULTURAL ACTIVITY.
11. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, #42B), KNOWN AS THE STATE HIGHWAY LAW, BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAYS SHALL BE ONLY AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT.

NON-BUILDING WAIVER

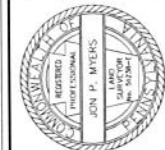
AS OF THE DATE OF THIS PLOT PLAN RECORDING, THE SUBDIVISION DESCRIBED HEREON IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE AS STATED IN THE SITE DATA. NO PORTION OF THIS SUBDIVISION HAS BEEN APPROVED BY THE MUNICIPALITY OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM UNLESS (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) THE MUNICIPALITY AND DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE SUBDIVISION DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET. SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS PROPERTY SHOULD CONTACT APPROPRIATE OFFICIALS OF THE MUNICIPALITY WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.

THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE LOT 2 BY THE CENTER OF SUSQUEHANNA TRL AND THEN COMBINE WITH LOT 1.

SURVEYOR'S CERTIFICATION

I DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS. THE ERROR OF CLOSURE FOR THIS SURVEY IS 1 : 10,000.

JON P. MYERS # 051238-E 10/23/2025
DATE



FILE	36-MH-0027
DRAWN BY	JPM
CHECKED BY	JPM
OWNER'S NAME & ADDRESS	TRONG T LIEU 3835 N SUSQUEHANNA TRL YORK, PA 17404
DREW & EMILY ZIMMERMAN 3835 N SUSQUEHANNA TRL YORK, PA 17404	SCALE: 1"=50'

SHAW SURVEYING, INC.
LAND SURVEYING AND CIVIL ENGINEERING
30 WEST MAIN ST., SUITE 200
YORK, PA 17404
PHONE: 717-227-2818
FAX: 717-227-2789

PROJECT TITLE
FINAL SUBDIVISION PLAN
FOR
TRONG T LIEU & DREW & EMILY ZIMMERMAN
MANCHESTER TOWNSHIP
COUNTY OF YORK

SHEET TITLE
LOT LINE ADJUSTMENT

PROJECT NO.:	2025-132
DATE:	10/20/2025
SHEET NO.:	1 of 1

MANCHESTER TOWNSHIP
3200 Farmtrail Road
York, PA 17406-5699

FOR OFFICE USE ONLY

Application # 2026-22

Date of Hearing 12/3/2025

Time of Hearing _____

CONTINUED HEARING

Date of Hearing _____

Time of Hearing _____

APPLICATION FOR ZONING HEARING

1. **Applicant's Name** Nneka Olunwa

Address: 675 Kerria Drive, York, PA 17404

E-mail Address: olunwanneka@gmail.com **Phone Number:** 888-304-3202

2. **Property Owner's Name:** Same as Applicant (Owner-Occupied Residence)

Address: _____

3. **Property Location** 675 Kerria Drive, Welbourne Reserve Subdivision, Manchester Township, York County, PA 17404

4. **Zoning District** RA – Residential Agricultural (Open Space Residential) **UPI #** 36-000-52-0059

The undersigned hereby makes application for a **VARIANCE / SPECIAL EXCEPTION / APPEAL** under all applicable ordinances of Manchester Township, and hereby certifies, under penalties of perjury, that all facts set forth herein and, in the plans, submitted herewith are true and correct.

Nothing in this application shall relieve the owners, or his agent, the developer or applicant or any other persons in possession or control of the building, land, or any part thereof from obtaining such other permits or licenses or approvals as may be prescribed by law for the uses or purposes for which the land or building is designed or intended; nor from complying with any lawful order issued with the object of maintaining the building or land in a safe or lawful condition.

Nneka Olunwa

Signature of Applicant / Authorized Representative

Date 11/10/2025

OFFICE USE ONLY BELOW THIS LINE

Date Application Received 11/10/25
Date Application Fee Received _____

Property Posted _____

Certified to ZHB	Date
Newspaper Advertisement of Hearing <u>sent on 11/13/25</u>	Date <u>11/18/25</u> Date <u>11/25/25</u>
Notice Mailed to Twp. Supervisors & ZHB	Date
Notice Mailed to Applicant & Adjacent Property Owners <u>11/14/25</u>	Date <u>11/14/25</u>
Application Withdrawn	Date
Hearing Held	Date
Planning Commission Review	Date
Continued Hearing Held	Date
Permit (GRANTED / REFUSED)	Date

Conditions for Approval _____

5. Nature of SPECIAL EXCEPTION / VARIANCE / INTERPRETATION requested and SECTION NUMBER:

Request for Special Exception under §27-1220 (Child Care Home) and §27-1230 (Home Occupations)
 —to operate a Family Child Care Home in a single-family residence.

Variance § 27-105 Definition of Child Care Home to allow care of 12 children.
 To operate a state-licensed Family Child Care Home in the finished basement

6. Description of Proposed Work and Use:

of the residence at 675 Kerria Drive for up to 12 children (infant through preschool). No exterior construction or commercial signage is proposed. The applicant has completed the required DHS/OCDEL Family Child Care Home) Orientation certification dated July 8, 2025 — attached). The formal DHS license application will be filed upon receipt of zoning approval.

7. Existing Use of Land / Buildings:

Single-Family Residential Dwelling

8. Number of Proposed Buildings / Structures:

None – use of existing dwelling only

And:

Existing 2-story residence (no change)		
a Height of Building / Structures	Feet	Stories
b Type of Construction	Frame and masonry	
c Number of Families / Dwelling Units	One (1) – existing single-family home	
d Habitable Floor Area for Each Dwelling Unit	Approx. 3,000 sq. ft. (including finished basement)	
e If Mobile Home, Title Holder's Name / Address	N/A	

9. Off Street Parking Spaces:

5 can be provided.

a Required 3 required

b. Proposed

- 1 for employee (Driveway near garage)
- 2 for Visitors / Parent Drop-Off
- 2 for Residential (Household) (Enclosed garage)

10. Water System: (check a, b or c)

a Public Yes, public

Company Name York Water Company

b On-Site Well

c Other (Specify)

11. Sewage System: (check a, b or c)

a Public Public — Manchester Township Sanitary Sewer System

c. Other

b On-Site

Penn DEP Approved #

12. Please note that a land development plan must be filed or a building permit must be acquired within (six) 6 months of the date of the written decision of the board or the action is null and void.**13. Please attach a complete list of property owners within 300 feet.** (Please include homeowners' names, address, tax map and parcel number.)**14. Please attach a detailed site plan.** (Include a complete plan showing all existing and proposed buildings, driveways, etc. with setback distances and dimensions. Note all property widths and depths (in feet) along appropriate property lines. Note all street name(s) and their locations. Note the compass directions. Note the names of the adjoining property owners.

The application is not considered complete without items 13 & 14.

FOR SPECIAL EXCEPTION APPLICATIONS ONLY (must answer all questions) (additional sheets may be used)

15. The applicant alleges that the proposed Special Exception use:

a) Would be in harmony with the character of the neighborhood because: (How will what I want to do fit in my neighborhood)

The proposed child care home will operate within a single-family residence with no external changes, signage, or commercial appearance. Noise and activity levels will remain comparable to a typical household with children. The hours of operation (7 AM–6 PM weekdays) are consistent with normal residential activity patterns.

b) Would not be detrimental to the properties or persons in the neighborhood because:

Traffic is limited to short, staggered drop-off and pick-up events. All parking and maneuvering occur off-street on the existing driveway. No on-street parking will be required. The driveway slope ($\leq 7\%$) and width ($\approx 18\text{--}20\text{ ft}$) allow safe entry and exit without obstructing traffic on Kerria Drive.

c) If the special exception is granted, show how the provisions of Section _____ of the Zoning Ordinance will be met. (Please attach a separate sheet of paper as needed.)

Compliance with § 27-1220 and § 27-1230 Provisions

- Meets state licensing requirements for a family child care home
- Provides at least 3 off-street parking spaces (1 per employee + 2 additional).
- Utilizes less than 25 % of total floor space for business use (finished basement only).
- Maintains the appearance of a residence with no signage over 2 sq ft.
- Operated solely by the owner (resident) with no more than one assistant.

FOR VARIANCE APPLICATIONS ONLY (must answer all questions) (additional sheets may be used)

16. The applicant believes the variance should be granted because:

- a) **Applicant is unable to make reasonable use of his property or conform to strict application of the Zoning Ordinance because:** (Why can't you use the property as it is?)

The property at 675 Kerria Drive was designed and finished with a basement that already meets all state safety standards for a Group Child Care Home.

It has two exits, a restroom, a fenced backyard, and safe parking.

The only reason I can't fully use it for that purpose is because the Township's zoning ordinance limits me to six children under the Family Child Care Home category.

The house was designed for more — up to twelve — and meets all DHS safety rules.

So the hardship comes from how the zoning rule is written, not from my property or anything I did.

Without the variance, I can't use my home the way it was safely built and intended."

- b) **The unnecessary hardship on your property is:** (must be able to prove all of the items below) Response provided separately

(x) The result of application of the Manchester Township Zoning Ordinance

(x) Due to unique physical circumstances of the property in question not shared by neighboring properties such as: the shape of lot, the width of lot or the topography of the lot

(x) Not financial in nature

(x) Not self-created

- c) **The proposed variance will not alter the essential character of the neighborhood nor impair the use of adjacent properties for the following reasons:** (for example: Why is this not harmful to the neighbors?)

The property will continue to function and appear as a single-family home.

All child-care activities occur indoors or within the fenced rear yard, which is not visible from the street.

No exterior signage, commercial lighting, or building additions are proposed. Parent drop-offs and pick-ups occur entirely within

the existing driveway, which provides safe off-street parking and turn-around space.

Noise is minimal and limited to short, supervised outdoor play during daytime hours only.

The use will therefore remain quiet, safe, and fully consistent with the residential character of the neighborhood.

- d) **The variance requested represents the minimum variance that will afford relief for the following reasons:** (for example: Why does what you want to build have to be the size shown?)

Granting this variance supports the intent of the ordinance to allow safe, family-oriented home occupations that serve community needs while preserving residential character.

The Group Child Care Home will provide licensed, high-quality child care for local families (the community family will be priority) without creating traffic, noise, or visual impacts.

All operations meet or exceed Pennsylvania DHS safety standards, including fire protection, egress, and supervision.

The use remains fully residential in scale and appearance, promotes public welfare by expanding access to child care, and does not harm surrounding properties or the neighborhood.

The unnecessary hardship on your property is:

☒ **The result of application of the Manchester Township Zoning Ordinance**

The current ordinance allows only a *Family Child Care Home* (up to six children) by special exception and does not provide for a *Group Child Care Home* (7–12 children) in this district.

Because of this rule, I cannot fully use the finished, code-compliant basement for safe child care as it was designed.

☒ **Due to unique physical circumstances of the property in question not shared by neighboring properties such as: the shape of lot, the width of lot, or the topography of the lot**

The property includes a large walk-out basement with direct egress to a fenced rear yard, a wide side-load driveway with ample off-street parking, and a deep lot that naturally separates the home from adjacent houses.

These unique features make the home ideally suited for group child care without affecting the neighborhood.

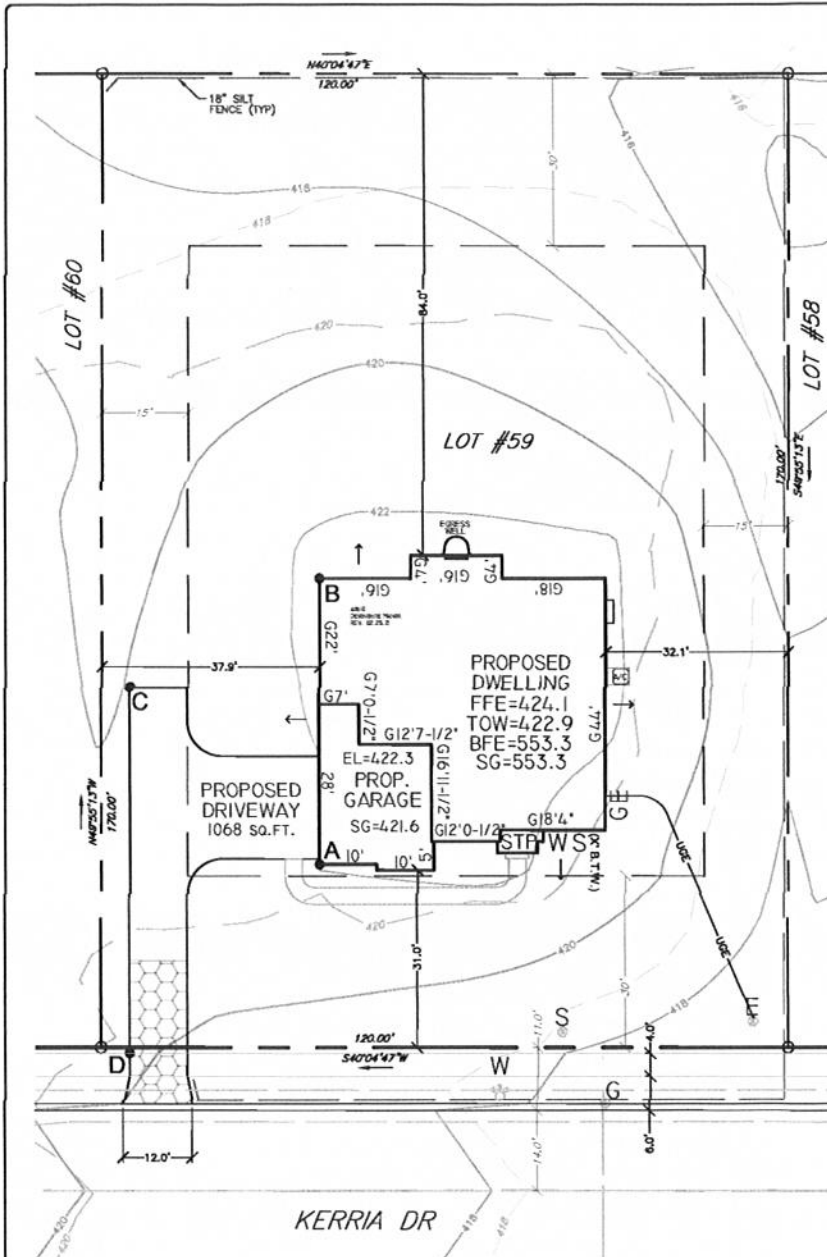
☒ **Not financial in nature**

The request is based solely on the property's design and layout — not for financial gain. The variance is sought to safely use the space consistent with State (DHS) standards.

☒ **Not self-created**

The hardship arises from how the ordinance classifies child-care homes, not from any action by the applicant. The home was constructed and finished before learning that the zoning code limits the use to six children.

Job Number
WRs059



FINISHED GARAGE FLOOR IS
7' BELOW THE TOP OF THE
REAR FOUNDATION WALL

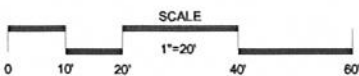
DRIVEWAY TABLE

POINT "C"	DISTANCE
A to C	00.0'
B to C	00.0'
POINT "D"	
A to D	00.0'
B to D	00.0'

J BRANDON HARNER, PE
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR, SUITE 100
LANCASTER, PA 17601
(717) 327-6259

NOTES:

1. Basement: Standard.
2. Driveway requirements: 7% Maximum Slope within 15' of right-of-way. Minimum 50' from right-of-way of any intersection. Maximum 20' width at right-of-way.
3. All location dimensions shown here are subject to change due to field conditions.
4. Easement notices: None.
5. 8' Porch Walls, 8' Garage Walls.
6. Foundation walls: 8' Poured walls - (X) B.T.W.
7. Nothing should be placed, planted or erected in the easement areas.
8. Electric transformer location: 227522-C25949 > 100 Ft.
9. Manchester Township - Minimum 3' from driveway to property line.
10. Curb type: Slant.
11. Existing grade shown per an as-built survey performed on 08/26/2024.



THE FINAL GRADING CONTOURS SHOWN ON THIS PLAN ARE CONCEPTUAL ONLY. EVERY EFFORT WILL BE MADE TO FLOW WATER EFFICIENTLY AWAY FROM NEW AND EXISTING STRUCTURES WHILE FOLLOWING THE APPROVED STORM WATER MANAGEMENT PLAN, AND STATE, AND LOCAL BUILDING CODES AND ORDINANCES.

LEGEND:

EX. MINOR CONTOUR	732
EX. MAJOR CONTOUR	730
PROP. MINOR CONTOUR	732
PROP. MAJOR CONTOUR	730
EX. EASEMENT	
SILT FENCE	
WATER FLOW	
EX. EASEMENT AREA	
ROCK CONSTRUCTION ENTRANCE	

BUILT FOR:
NNEKA OLUNWA
SITE ADDRESS:
675 KERRIA DR
Build-Add: Walpole Township
Municipality: Manchester Township
Tax Map No.: 86-002-02-059
Map Comp. Date: 12/25
Imp. Comp. Date: 04/18/2025
Date: 4/18/2025
Zone: Open Space
Residential - Agricultural (R)
Lot Area: 35,400 SQ. FT.
SAC: 80.27
E&T: 63.57
County: York
State: Pennsylvania

KEYSTONE
CUSTOM HOMES

KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PHONE: (717) 464-0060 FAX: (717) 735-3034
"Building Dreams Together"
www.keystonecustomhomes.com
3 Time Winner of NAHB's "America's Best Builder" Award

SHEET 1 OF 1

DATE	HISTORY	REVISION BY	
XX/XX/XX	XXXXXXXX	XXXX	
XX/XX/XX	XXXXXXXX	XXXX	
XX/XX/XX	XXXXXXXX	XXXX	
XX/XX/XX	XXXXXXXX	XXXX	
06/03/24	10 95 htpkt-angles	RES	
FILE	SCALE	SHOWN BY	DATE
PLOT PLAN	1"=20'	RES	XXX / XXXXXX
© 2024 Koushine Capital Homes, Inc.	sdg10	WRs059.dwg	

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KEYSTONE
CUSTOM HOMES

227 GRANITE BLVD. SUITE 100, LANCASTER, PA 17601
PHONE: (717) 654-9000 • FAX: (717) 726-2034 • keystonecustomhomes.com

PROJECT: BASEMENT FLOORING

CLIENT: OLUNWA

PROJECT NO: WRs059

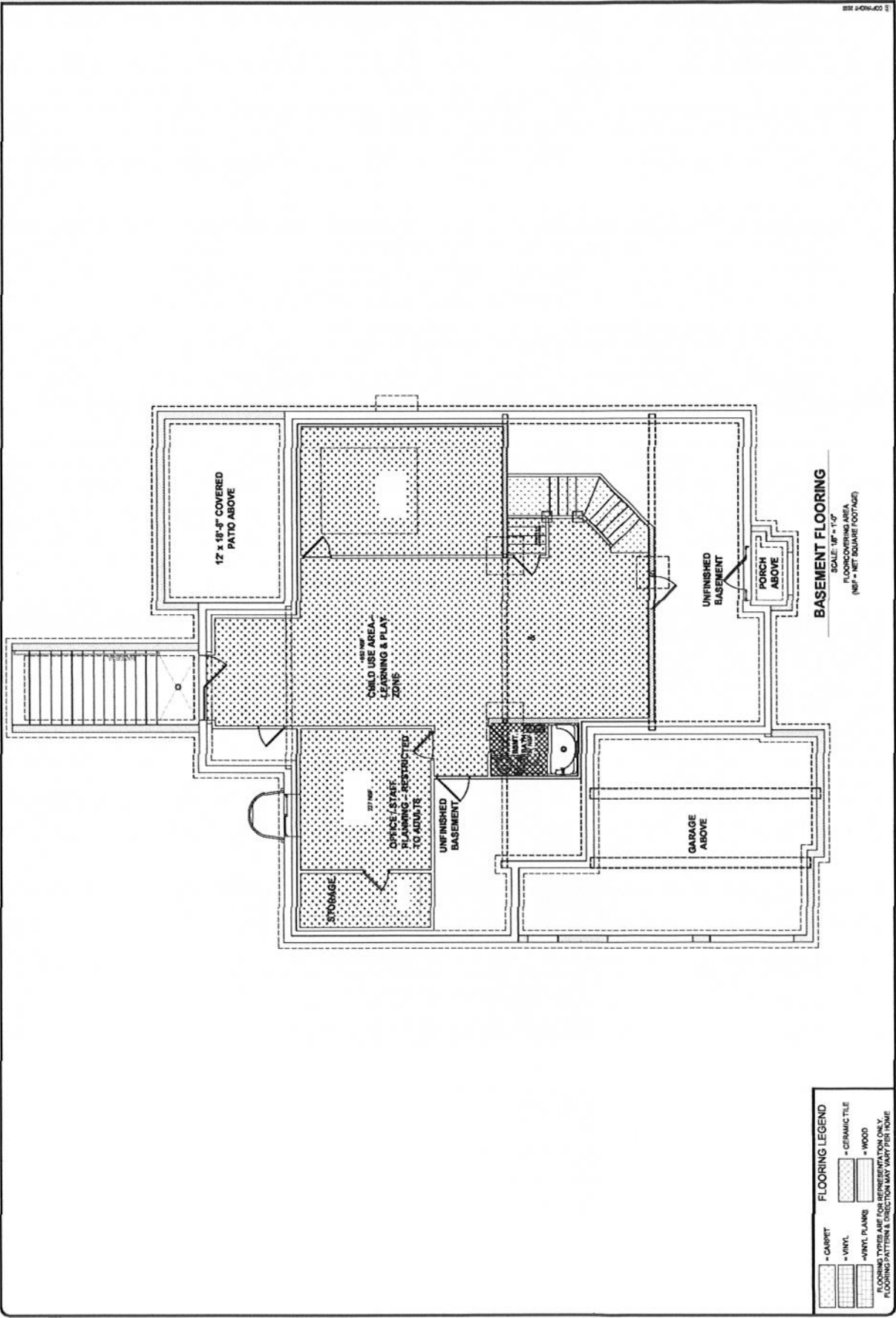
DATE: JAN 31 2025

SCALE: AS NOTED

DRAWN BY: T. HARRIS

SHEET NO. **F1.2**

PLAN ID: **ads10**



FLOORING LEGEND

- CARPET
- VINYL
- CERAMIC TILE
- VINYL PLANKS
- WOOD

FLOORING TYPES ARE FOR REPRESENTATION ONLY. FLOORING PATTERN & DIRECTION MAY VARY PER HOME.

Basement Floor Plan – Family Child Care Home Area

Child Care Area – Learning & Play Zone ($\approx$ 350 sq.ft.)

Office / Staff Planning – Restricted to Adults ($\approx$ 120 sq.ft.)

Children's Restroom ($\approx$ 45 sq.ft.)

Emergency Egress Window (44" A.F.F.)

Stair Access to Main Level

Theater Room – Restricted Access (Not Part of Child Care Use)

N

Scale: 1" = 10' (approx.)

Exhibit E – Page 2 of 2

Exhibit E – Basement Floor Plan (Child Care Area & Egress)

Family Child Care Home – 675 Kerria Drive, Manchester Township, PA

Applicant: Nneka Olunwa

This exhibit identifies the finished portion of the basement designated for the Family Child Care Home.

Designated Areas:

- Child Care Area – Learning & Play Zone (approx. 350 sq. ft.)
- Office / Staff Planning – Restricted to Adults (approx. 120 sq. ft.)
- Children's Restroom (approx. 45 sq. ft.)
- Emergency Egress Window (44" A.F.F.) and Stair Access to Main Level

The Theater Room is excluded from child-care operations and will remain restricted access.

All child-use areas meet visibility, ventilation, and emergency-egress requirements in § 27-1220 and Pennsylvania DHS Family Child Care Home regulations.

Exhibit D – Photographic Exhibit (Driveway with Parking Layout)

Family Child Care Home – 675 Kerria Drive, Manchester Township, PA

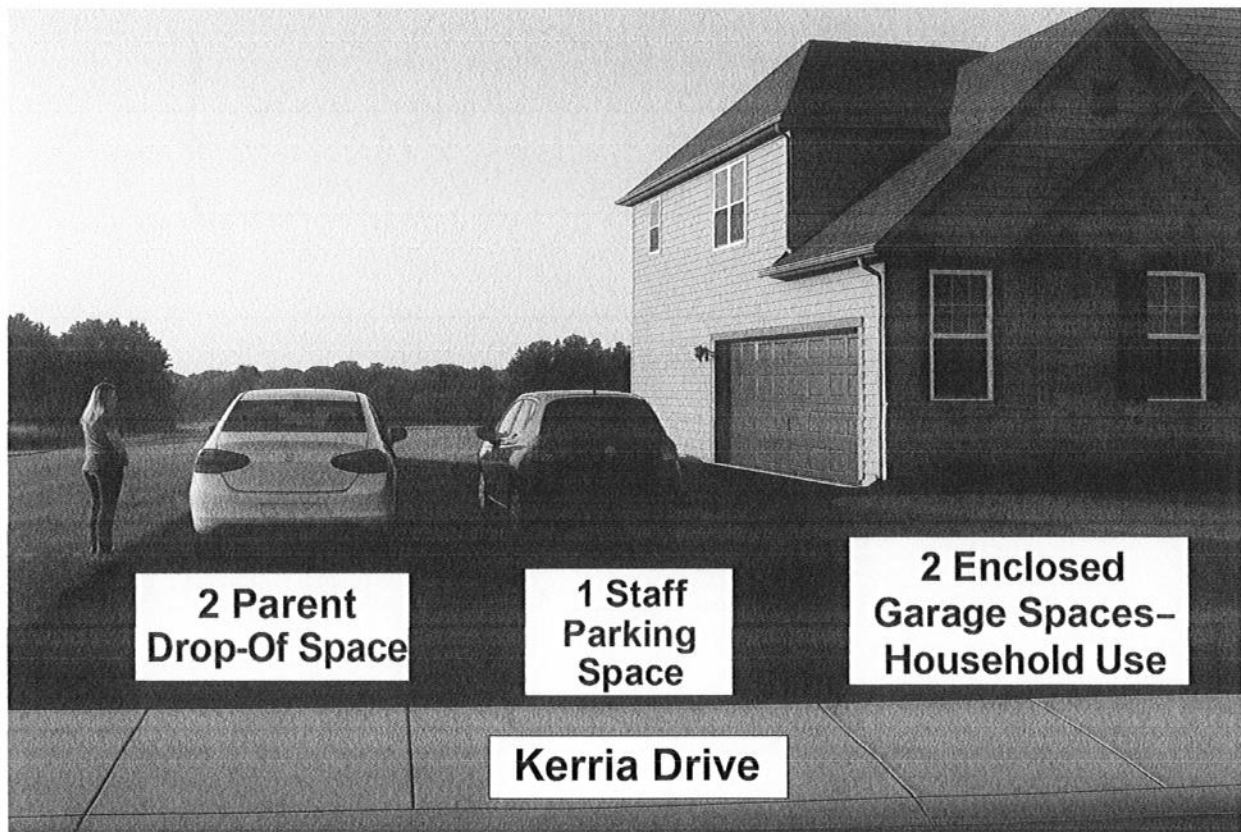
Applicant: Nneka Olunwa

This photograph shows the existing asphalt driveway ($\approx 1,068$ sq. ft.) and its off-street parking configuration:

- 2 Enclosed Garage Spaces – Household Use
- 1 Staff Parking Space (in driveway nearest the garage)
- 2 Parent Drop-Off Spaces (side-by-side near the street)

All vehicle movement occurs within the driveway, and no on-street parking is required.

The layout demonstrates compliance with § 27-1220(3) and § 27-1230(D) of the Manchester Township Zoning Ordinance.





has attended the
CHILD CARE CENTER/GROUP CHILD CARE HOME ORIENTATION
presentation by the
OFFICE OF CHILD DEVELOPMENT AND EARLY LEARNING
Central Regional Office

On: July 8, 2025
Certificate Expiration: July 8, 2026

Barbara

Regional Director

/ Training Certification Representative

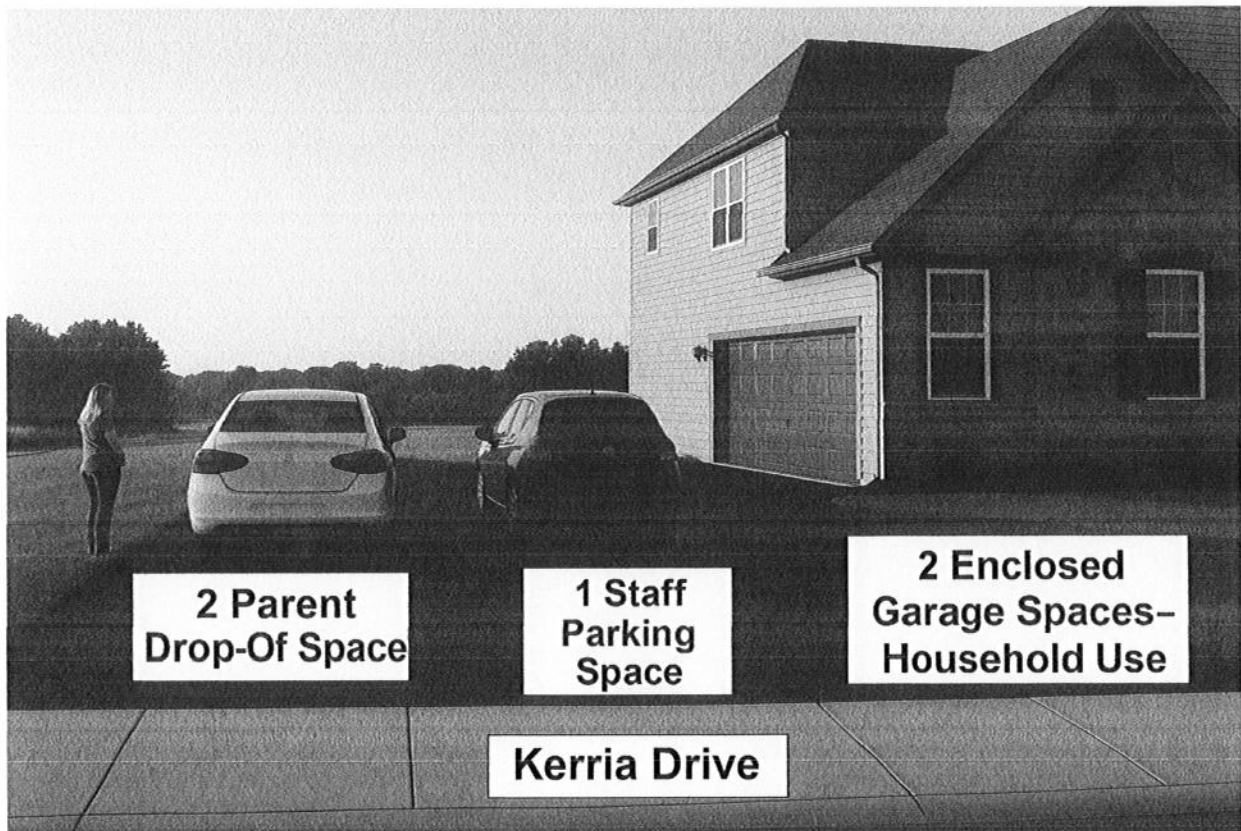


Exhibit B – Annotated Site Plan & Driveway Layout

Family Child Care Home – 675 Kerria Drive, Manchester Township, PA

Applicant: Nneka Olunwa

This exhibit includes two visual components:

1. Keystone Custom Homes base plot plan for Lot 59 – Welbourne Reserve.
2. Annotated driveway photo showing parking layout and access points.

Lot Size: 20,400 sq. ft. | Driveway Area: 1,068 sq. ft. | Zoning: RA – Residential Agricultural.

Parking Provided: 2 Enclosed Garage Spaces (Household), 1 Staff Space, 2 Parent Drop-Off Spaces.

17. For an APPEAL of a decision(s) of the township's zoning officer or of an enforcement action of the township:

a. The applicant is hereby appealing: (may use additional sheets if necessary)

The following decision of the zoning officer :

The following enforcement action of the township:

b. The applicant does not agree with the decision of the zoning officer or the enforcement action of the township for the following reasons: (may use additional sheets if necessary)



BEFORE THE
MANCHESTER TOWNSHIP ZONING HEARING BOARD

In Re: Application of Nneka Olunwa

: No. 2025-18

DECISION OF THE MANCHESTER TOWNSHIP
ZONING HEARING BOARD

This is the decision of the Manchester Township Zoning Hearing Board (Board) on the special exception application of Nneka Olunwa (Applicant) seeking a special exception to operate a home childcare center for property located at 675 Kerria Drive, York, PA, 17404. The hearing was timely held at the Manchester Township Building on November 5th, 2025.

After hearing all of the testimony and considering all of the evidence, the Board makes the following Findings of Fact and Conclusions of Law:

I.

FINDINGS OF FACT

- 1) The Applicant, Nneka Olunwa, is the owner of a property located at 675 Kerria Drive, York, PA 17404.
- 2) The property is located in an agricultural district/open space residential.
- 3) Currently the property has a single-family dwelling located on the property.
- 4) The applicant testified that it was her desire to operate a home childcare center located in the basement of the home.
- 5) The Applicant testified that she had partially completed the training and certification necessary to operate such a daycare center and that they had recommended that she get the zoning approval before completing the process.
- 6) The Applicant testified that the residents of the property were herself and her mother.
- 7) This application is controlled by Manchester Township Zoning Ordinance Section 27-1220 (childcare home) and 27-1230 (home occupation).
- 8) Under the home occupation restrictions, the maximum number of children allowed for a childcare home by special exception is six children at any one time.
- 9) The Applicant testified that it is her intention to have children from age 0 to toddlers.

- 10) The Applicant testified that the childcare operation would be run from her basement which was fully finished and carpeted. Upon questioning, the Applicant testified that the area was also heated and air conditioned.
- 11) The Applicant testified that she would comply with the requirement that only six children were allowed at any one time.
- 12) The Applicant testified that she would be the primary operator of the daycare center and that her mother, who also resides at home, would assist.
- 13) The Applicant testified that she had two spaces in her garage that would accommodate the vehicles for the residents of property and that she had a large driveway that could hold at least two more vehicles for drop-off and pick-up.
- 14) The Applicant testified that she would schedule with the clients for a specific drop-off and pick-up window so that there would not be more than one vehicle using the property at any time.
- 15) The Applicant testified that she would install a walkway from the driveway to the rear entrance to the basement as well as fencing around the property before opening the operation.
- 16) The Applicant testified that she would take either full or half day students depending on the needs of the customers.
- 17) The Zoning Board received copies of two emails regarding this application. The primary thrust of the emails was that there is a Homeowner's Association and this operation may not be permissible under the Homeowner's Association rules.
- 18) The Zoning Board Solicitor indicated that the Zoning Board did not enforce private agreements such as Homeowner's Association's but that the Applicant needed to be aware of this potential issue.
- 19) The Zoning Officer testified as to the posting and advertising of the hearing.

II.

CONCLUSIONS OF LAW

- 1) The request of the Application for a special exception to operate a home daycare center is within the jurisdiction of the Zoning Hearing Board.
- 2) The Board had determined the Applicant has met its burden of proof for a special exception.

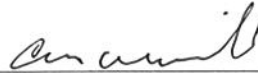
III.

DECISION

The board placed the following conditions on approval

1. That there would be no more than six children at the daycare center at any one time
2. That drop-off and pick-up for the children would be scheduled so that traffic would be minimized at the location.
3. Decision by unanimous 2-0 vote of the Manchester Township Zoning Hearing Board, the application of Nneka Oluwa, for special exception to operate a childcare home center was approved as submitted.

11-18-2025
Date


Craig Wisherd

THE TOWNSHIP OF
YORK COUNTY



MANCHESTER
PENNSYLVANIA

3200 Farmtrail Road York, PA 17406
Telephone: (717) 764-4646 Fax: (717) 767-1400
www.mantwp.com

ZC-25-00179

NOTICE OF ZONING HEARING

Notice is hereby given that a hearing will be held by the Manchester Township Zoning Hearing Board at the Township Municipal Building located at 3200 Farmtrail Road, York, PA, 17406. All interested parties are welcome to attend and provide testimony. The hearing will be held on:

December 3, 2025, at 6:00 p.m.

ZHB 2025-22: Nneka Olunwa requests a variance from §27-105 to allow a maximum of 12 children in a child care home pursuant to the definition within the zoning ordinance at 675 Kerria Drive, 36-000-52-0059.00-00000, in the Agricultural (Open Space) District.

At least one week prior to the hearing an agenda and item details will be posted on our website. Click on the "government" button then "meetings & agendas" from the drop-down list then scroll down to "Zoning Hearing Board 2025" and choose the desired date. Additional information may also be obtained by contacting the township office at 717-764-4646, extension 105, or r.vega@mantwp.com.

MANCHESTER TOWNSHIP ZONING HEARING BOARD

By: Rachel Vega, Zoning/Planning Officer