

THE TOWNSHIP OF MANCHESTER

YORK COUNTY



PENNSYLVANIA

MANCHESTER TOWNSHIP PLANNING COMMISSION AGENDA

Wednesday –November 19, 2025 – 6:00 p.m.

CALL TO ORDER

APPROVAL OF MINUTES FROM OCTOBER 29, 2025

NEW BUSINESS:

- **RVW #2025-07 3875 & 3885 Board Road LLC FSD/FLD** – The applicant requests approval of a Preliminary/Final Subdivision and Land Development Plan for a lot consolidation and construction of a contractor's office and storage building for a total of 20,010 square feet and associated improvements in the Industrial (I) District at 3875 and 3885 Board Road, UPI 36-000-LH-0016.00-00000 and 36-000-LH-0015.00-00000.
- **RVW #2025-13 3490 – 3510 Board Road FSD** – The applicants request approval of a Preliminary/Final Subdivision Plan to subdivide two residential lots with existing dwellings in the Industrial District at 3490 and 3510 Board Road, 36-000-LH-0021.J0-00000.

OLD BUSINESS:

None

ADJOURNMENT

THE TOWNSHIP OF MANCHESTER

YORK COUNTY



PENNSYLVANIA

PLANNING COMMISSION MINUTES October 29, 2025

MEETING

The Manchester Township Planning Commission held its regularly scheduled meeting on Wednesday, October 29, 2025, at the municipal building located at 3200 Farmtrail Road, York, PA, 17406. Chairman Nicholas Hauck called the meeting to order at 6:00 p.m.

ATTENDANCE *(A) = Absent

Nicholas Hauck, Chairperson

Kenneth Stoutzenberger, Vice-Chair (A)

Brian Salsgiver, Member

Scott Ettien, Member (A)

Daniel Spies, Member

B.J. Treglia, Township Engineer

Rachel Vega, Zoning/Planning Officer

Larry Young, Solicitor (A)

Cory McCoy, CS Davidson Engineer (A)

Marita McVey, Assistant Zoning/Planning Officer

APPROVAL OF MINUTES

Upon a motion by Mr. Salsgiver, seconded by Mr. Spies, the planning commission approved the September 24, 2025, minutes as presented. Motion carried 3-0.

NEW BUSINESS

- **RVW #2025-07 3875 & 3885 Board Road LLC FSD** – The applicant requests approval of a Preliminary/Final Subdivision and Land Development Plan for a lot consolidation and construction of a contractor's office and storage building for a total of 20,010 square feet and associated improvements in the Industrial (I) District at 3875 and 3885 Board Road, UPI 36-000-LH-0016.00-00000 and 36-000-LH-0015.00-00000. **TABLED**
- **RVW #2025-15 FXG (Fed Ex) Parking Lot Expansion FLD** – The applicant requests approval of a final land development plan for a parking lot expansion at 505 Farmbrook Lane in the Industrial (I) District, UPI 36-000-27-0005.00-00000. Upon a motion by Mr. Hauck, seconded by Mr. Spies, the planning commission recommended approval of RVW #2025-15, FXG (Fed Ex) parking lot expansion final land development plan with the condition that items 2, 14, 16, and 17 in the CS Davidson review letter dated October 23, 2025, are addressed. The planning commission also recommended approval of waivers from §22-703.2 to not construct concrete curbs and §22-703.3 to not construct sidewalks. Motion carried 3-0.
- **RVW #2025-11 LCBC Church FSD** – The applicant requests approval of a Preliminary / Final Subdivision Plan for a lot consolidation in the Office (O) District at 1400 Church Road, UPI 36-000-JH-0115.00-00000, 36-000-JH-0001.F0-00000 and 36-000-KH-0011.B0.00-00000. Upon a motion by Mr. Hauck, seconded by Mr. Salsgiver, the planning commission recommended approval of RVW #2025-11, LCBC Church preliminary/final subdivision plan with the condition that items 12, 17, 18, 20, and 21 in the CS Davidson review letter dated September 22, 2025, are addressed. The planning commission also recommended

approval of waivers from §22-703.2.A to not construct concrete curbs, §22-403 to allow submittal of a final plan without submission of a preliminary plan and §22-709.1 to defer sidewalks to the land development plan. Motion carried 3-0.

- **RVW #2025-12 LCBC Church FLD** – The applicant requests approval of a Preliminary / Final Land Development Plan for construction of a 36,340 house of worship in the Office (O) District at 1400 Church Road, UPI 36-000-JH-0115.00-00000, 36-000-JH-0001.F0-00000 and 36-000-KH-0011.B0.00-00000. Upon a motion by Mr. Spies, seconded by Mr. Salsgiver, the planning commission recommended approval of RVW #2025-12, LCBC Church final land development plan with the condition that subdivision and land development items 5, 16, 18, 19, 21, 23-25, 27-29, traffic engineer comment number 1, and general comment number 9 in the CS Davidson review letter dated September 22, 2025, are addressed. The planning commission also recommended approval of waivers from §22-703.2 to not construct concrete curbs along Church Road, §22-303 to allow submittal of a final plan without submission of a preliminary plan, §22-709 to not require installation of sidewalks along Church Road, §22-705.E.4 to allow parking within the clear sight triangle and §26-131.K to allow construction of stormwater management facilities within the building setback. Motion carried 3-0.

OLD BUSINESS

ADJOURNMENT

With no additional business on the agenda, Mr. Hauck adjourned the meeting at 6:36 p.m.

Respectfully submitted,

Rachel Vega
Zoning/Planning Officer



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Columbia, PA 17512
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September 17, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

RE: 3875-3885 Board Road – Office & Storage
Preliminary/Final Subdivision & Land Development Plan
Manchester Township Plan #2025-07
Engineer's Project No. 0841.3.02.A1
Response #1

Dear Rachel:

On behalf of 3875 & 3885 Board Road, LLC, *PennTerra Engineering, Inc. (PTE)* has received the 7/30/2025 review from C.S. Davidson, Inc.. The following responses are in bold after each comment:

Waiver Requests (Subdivision Plan & Land Development Plan)

1. §22-303 – To allow a Preliminary/Final Plan.
2. §22-703.2 – Requirement to construct concrete curbing along roadway.
3. §22-709.1 – Requirement to construct concrete sidewalk along the roadway.

Subdivision Plan Review

Zoning Ordinance:

1. Plan sets shall be combined into a single "Lot Consolidation and Land Development Plan".
Both the Land Development and Lot Consolidation Plan sets have been combined as requested.
2. Provide the existing and proposed net and gross lot areas in table form on sheet 3 of the plans (§27-902).
Both existing and proposed lot areas are provided on the Lot Add-On Plan. Sheet 4 of 17.
3. List the existing and proposed lot areas in square feet in addition to acres (§27-902).
Both square feet and acres are listed for the lot areas.
4. The adjacent properties to the north are within East Manchester Township's Medium Density Residential District. As such, a 50' buffer yard shall be provided in addition to the required setback(s) (§27-904.3.A). When required by the Planning Commission in a buffer yard, a dense screen planting shall be provided.
A 50' buffer yard is provided in addition to the required setbacks.
5. A 50' front setback is required within the Industrial zoning district along arterial roads (Board Road).
The front yard setback is revised to be 50'.

Subdivision Land Development Ordinance:

1. The cover sheet shall include the owner(s)'s notarized signature prior to the Planning Commission meeting. (§22-404.1.2)
Acknowledged.
2. The plan preparers dated and sealed signature shall be added to the plans prior to final approval (§22-404.1.4).
Acknowledged. The plans shall be sealed upon final review and approval.
3. Label all significant streets on the location map on the cover sheet of the plans – Marrienne Drive, Shandy Lane, etc. (§22-404.1.9)
The requested streets are provided on the Cover Sheet, Location Map.
4. The minimum lot depth required and proposed for each lot shall be provided on the plan set (§22-404.3.12). N/A
The minimum lot depth existing is 270 ft the proposed lot depth is 270 ft.
5. The planning module number shall be listed in the site data table (§22-404.3.19).
A Planning module number shall be provided once a number is issued.
6. Label the southeasternmost property corner (found or to be set and material/type) (§22-404.4.13.A).
The property corner is noted, REBAR (Set) on the Lot Consolidation Plan.
7. Significant natural features such as wetlands shall be delineated on the plans. If none exist on the site, note so on the coversheet along with reference to the report utilized to make the determination (§22-404.4.17).
The significant features are illustrated on the plan, Per the Vortex Environmental site visit and study there are no existing wetlands.
8. Any existing easements or rights-of-way (Overhead utilities outside of the public street right-of-way) shall be shown and dimensioned on the plans. (§22-404.4.23).
The survey did not identify any overhead easements therefore none are illustrated.
9. The waiver requests are applicable to the subdivision plan and shall be listed on the coversheet (§407.3.13).
Noted.
10. Township standard notes numbers: 1, 4, 5, 6, 7, 10.1, 11, 14, 17, 18, 19, 21, 22, 23, 24, 25, 26, 28, 33, and 35 shall be added to the plans, see attachment 3 of the SALDO for the required wording. (§22-408.3).
The notes are added to sheet 2 of 17. The wetlands and recording certifications are located on the cover sheet.

General Plan Comments:

1. Add grey hatch used to delineate the ultimate right-of-way to the legend on sheet 3.
A grey hatch is added to sheet 3 that indicated the Right-of-way.
2. The plan shall identify what structures and improvements are to be removed and Zoning/Site Data updated to reflect this.
Sheet 5 of 17 illustrated items to be removed (TBR) and items to remain, (TR).

3. In the offers of dedication, the notary block should be outside of the offers of dedication per the Recorder of Deeds.
The notary block is outside the offers for dedication.

Land Development Plan Review

Zoning Ordinance:

1. The adjacent properties to the north are within East Manchester Township's Medium Density Residential District, provide a 50' buffer yard in addition to the required setback(s) (§27-904.3.A)
A 50' buffer yard is provided on the layout plan.
2. A loading space is required for offices 8,000-25,000 sq. ft. and a loading space is required for storage uses 5,000- 10,000 sq.ft. As shown on the plans, the proposed Office/Storage building requires 2 loading spaces. (§27-1511.1.A. 2 and 6)
One enlarged loading zone to accommodate both areas is provided and illustrated on the plan. The office supplies delivery shall not interfere with any tractor trailer deliveries.
3. A 50' front setback is required within the Industrial zoning district along arterial roads (Board Road).
A 50' ft front yard setback is provided as required.

Subdivision and Land Development Ordinance:

1. The cover sheet shall include the owner(s)'s notarized signature prior to the Planning Commission meeting. (§22-406.1.2)
Noted. The owner's signature is provided.
2. A dated engineer and surveyor seal and signature shall be included on the coversheet. (§22-406.1.4)
The engineer and survey seal shall be completed upon final approval.
3. Label all significant streets on the location map on the cover sheet of the plans – Marriane Drive, Shandy Lane, etc. (§22-404.1.9). The location map shall be at a scale of 1"=2,000'.
The location map is revised to include all significant streets.
4. The existing and proposed net and gross areas shall be included in the site data table. (§22-406.3.1.A and B)
The proposed net and gross areas are provided on the cover sheet.
5. The existing and proposed water and sanitary services shall be listed in the site data table. (§22-406.3.7 and 8)
The existing water is public and sewer is on-lot. The proposed water remains public and the sewer is public.
6. The minimum lot depth (required/proposed) shall be included in the site data table. (§22-406.3.12).
The ordinance does not list a minimum lot depth. Therefore, N/A is listed until the township can provide a minimum lot depth to be placed on the plan.
7. The planning module number shall be provided on the coversheet (§22-406.3.19).
The planning module number shall be placed on the coversheet when it is assigned.

8. The handicap parking spaces (required/proposed) shall be added to the site data table. (§22-406.3.23)
Handicapped spaces are calculated on the cover sheet under Parking Data.
9. The existing features legend shall include the overhead utilities and gas lines. (§22-406.4.3)
The existing features legend is revised to include the overhead utilities and gas line.
10. The property corners shall be labeled (found or to be set and material/type) on the existing conditions and lot layout plans (§22-406.4.13.A).
The property corners area labeled as needed.
11. Any existing easements or rights-of-way (overhead utilities outside of the public street right-of-way) shall be shown and dimensioned on the plans. (§22-406.4.23)
All existing easements are illustrated on the plan. The survey did not pick up any easements associated with the overhead utility line.
12. The plans shall reference the location of the nearest fire hydrants (3835 Board Road and at intersection with Beshore School Rd.). The Fire Marshall shall determine if a fire hydrant is required at this site. (§22-406.4.37.A).
A note is provided on sheet 2, utility note 12.
13. Provide proof of Soil Erosion and Sedimentation Control plan approval from the York County Conservation District. (§22-407.5.1)
Proof of erosion and sedimentation control shall be provided once received. Attached to this letter is a proof of administration review. A technical review shall follow.
14. A PennDOT Highway Occupancy Permit will be required for the proposed access drive.
The permit approval is pending.
15. The applicant is required to pay all Act 57 sanitary sewer fees (§22-407.5.4).
Acknowledged, the applicant shall pay all Act 57 fees. The township shall direct the applicant as to what fees need to be paid.
16. Sanitary sewer design approval shall be obtained from the Manchester Township Municipal Authority Engineer prior to unconditional plan approval (§22-407.5.10).
Acknowledged.
17. Township standard notes numbers: 1, 4, 5, 6, 7, 10.1, 11, 14, 17, 18, 19, 21, 22, 23, 24, 25, 26, 28, 33, and 35 shall be added to the plans, see attachment 3 of the SALDO for the required wording. (§22-408.3).
The notes are added to sheet 2 of 17. The wetlands and recording certifications are located on the cover sheet.
18. A Public Improvement Security Estimate shall be submitted for review and approval by the Township Engineer; and the security amount shall be posted prior to unconditional approval and recording of the final plan. (§22-502)
Noted an Opinion of Cost shall be submitted to determine the Security Estimate.
19. Connection to public water supply will be designed in accordance with the utility company's standards and received approval by its engineer (§22-713.2.A.2).

Noted, The City of York water company shall review the proposed water line. That review is pending.

General Plan Comments:

1. The proposed loading space will restrict parking on the left side of the building. The applicant should resolve this issue accordingly.
The layout has been revised and the proposed truck loading zone no longer restricts parking. Parking is no longer proposed on the left side of the building near the loading zone.
2. A vehicle parked in the parking space nearest to the access drive would violate the clear sight triangle easement. (Nothing > 3' in height within a CST Easement)
The layout is revised to accommodate the CST. The parking stall no longer violates the CST.
3. Provide details and planting specifications for the proposed landscaping areas within the parking lot.
A planting list and tree and shrub details are provided on the landscape plan.
4. The area for the storage portion of the building is incorrect. $(115' - 70') \times 174' = 7,830$ sq. ft.
The building size is revised and this has been corrected.
4. A plan and construction details for the proposed retaining shall be provided and sealed by a structural engineer.
Noted, one will be provided under sperate cover.
6. On sheet 7, expand the proposed stormwater easement (L18 and L24) to the eastern property line to allow for inspection/repair of any future erosion/scour.
The stormwater easement is revised to extend to the property line.
7. Refer to the Manchester Township Construction and Material specifications and revise details appropriately –manhole steps, frames and covers, and inside drop. Inside drop connection shall be provided with “Intraflow” low-profile inside drop system manufactured by Forterra Pipe and Precast or an approved equal.
The manhole steps, frames and covers, and inside drop are provided on the detail pages.
8. The proposed sanitary sewer easement required to be provided shall be described on the plans with bearings and distances.
The easements are added to the plan. They are illustrated on sheet 9 of 17.
9. A table shall be provided for the UPI to be assigned to the consolidated lot.
A place holder for the UPI # is located on the Cover Sheet in the Zoning/Data Chart for After Consolidation.
10. Manchester Township shall be listed for the sewer rather than CSD in the list of utilities.
Manchester Township Sanitary Sewer is list for the sewerage rather than CSD.
11. The Planning Commission signature block shall say “Reviewed By” rather than “Approved By.”
The cover sheet Planning Commission signature block is revised as directed.
12. The sheet numbering shall include the number of sheets in the set (i.e. X of Y).

The sheet number system is revised per the comment above.

13. The provided consolidated lot area shall be listed as both Gross and Net.
The consolidated lot area is listed in both the Gross and Net value.
14. The proposed use shall be listed as Contractor Office/Storage in the Site Data.
Noted. This is evident on the Cover Sheet.
15. The plan shall identify what structures and improvements are to be removed and Zoning/Site Data updated to reflect this.
Sheet 5 of 17 illustrated items to be removed (TBR) and items to remain, (TR).
16. In the Zoning/Site Data, list the criteria as being a "Max" or "Min" requirement.
The Zoning/Site Data is revised to indicate minimum or maximum requirements.
17. Include a conversion to township sewer datum with the vertical datum reference.
The township needs to provide this information.
18. Provide and label CST for any drive to remain on the lot.
The CST is illustrated on the Layout plan for the proposed driveway. All other remaining driveway entrances shall be removed.
19. Provide dimensions for any drive to remain on the lot.
Dimensions are provided for the proposed driveway. All other remaining driveway entrances shall for be moved.
20. Dimension the road right of way from the center line, both existing and proposed.
The road right of way is dimensioned on both the existing conditions and proposed layout plan.
21. Identify type, status and location of all existing and proposed property corners.
Existing property corners are provided by survey and are called out per survey information, such as, "MAG NAIL (SET), REBAR (FD), PIPE (FD) and REBAR (SET)" at each corner.
22. Any utilities to be capped, plugged or disconnected shall be identified on the plan.
Capped utilities are labeled on the demolition plan.
23. The on-lot septic systems shall be identified and the intent to remain or be removed.
The on-lot sand mound is scheduled TBR – to be removed.
24. Zoning boundaries shall be identified and labeled.
The Zoning boundary is identified and labeled on the plan.
25. A street cross section shall be provided showing the proposed future location of curb and sidewalk.
The street cross section is added to the detail plan sheet 15 of 18.
26. Loading spaces should be provided for each use, one for office and one for storage.
Two loading spaces are provided and overlap each other. One 12x40 and one 14x70 foot loading spaces are available.

27. Provide all adjacent property owner information as well as show existing structures and driveways.

All adjacent property owner information as well as illustrating the existing structures and driveways are added to the plan.

28. Provide and dimension the driveway length.

The proposed driveway length is +/- 180.57 feet and 24 feet wide.

29. Provide the following standard notes:

- Sidewalk and curbing within six months

Township note number one on sheet 2 of 17.

- Property restoration

Township note number eight on sheet 2 of 17.

- Storm sewer berms

Township note number nine on sheet 2 of 17.

30. In the offers of dedication, the notary block should be outside of the offers of dedication per the Recorder of Deeds.

The notary block is revised to be outside of the offers for dedication.

31. Provide address assignment (which address do they desire to retain once the lots are combined).

Also, the address should be provided on layout plan. 3885 Board Road

The address to be retained is 3885 Board Road.

32. Provide cartway and right of way width for Willow Springs Lane.

The cartway and right of way width for Willow Springs Lane is provided on the plans.

33. Utilities are provided on the plan, however, not depicted in the legend, "OU", "NO", and "gas."

The utilities are now depicted on the legend.

34. Provide the following standard notes:

- Rebuilding of non-conformities - N/A
- Sanitary sewer constructed to Municipal Authority specifications
- Non-residential addressing
- "Knox" box
- Zoning Hearing Board decisions - N/A
- Grinder pump prohibition
- Street of address
- No parking
- Permits required
- Blasting
- Fire hydrants
- Sanitary sewer dedication
- Wetlands delineation – Cover Sheet
- Limestone certification – Cover Sheet
- Recording information – Cover Sheet

All notes are located on sheet 2 of 17 unless otherwise indicated above.

Traffic Engineer Comments:

1. Add the following note to the cover sheet: "All traffic signs are to be installed per the PennDOT standard for the installation of Type B Post-Mounted Signs. Refer to Section 931 in the current version of PennDOT Publication 408, Specifications."

This note is added to the General Notes Note 21.

2. The proposed STOP sign on the access drive at the intersection with Board Road shall be 30"x30"

The detail for the proposed Stop Sign is revised to be 30" X 30".

3. There is a parking space within the clear sight triangle. A request for waiver of the clear sight triangle requirement should be submitted.

The parking is revised to eliminate the parking stall within the CST.

Sincerely,
PennTerra Engineering, Inc.



Christopher Sestrich
Enclosures
cc: file



C.S. DAVIDSON, INC.
ENGINEERING A BETTER COMMUNITY

July 30, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

An updated letter will be provided at the meeting

Re: 3875-3885 Board Road – Office & Storage
Preliminary/Final Subdivision & Land Development Plan
Manchester Township Plan #2025-07
Engineer's Project No. 0841.3.02.A1

Dear Rachel:

We have reviewed the above-referenced Preliminary/Final Subdivision Plan and Preliminary/Final Land Development Plan, submitted by PennTerra Engineering, Inc., dated June 3, 2025. We offer the following comments:

Waiver Requests (Subdivision Plan & Land Development Plan)

1. §22-303 – To allow a Preliminary/Final Plan.
2. §22-703.2 – Requirement to construct concrete curbing along roadway.
3. §22-709.1 – Requirement to construct concrete sidewalk along the roadway.

Subdivision Plan Review

Zoning Ordinance:

- ✓ 1. Plan sets shall be combined into a single "Lot Consolidation and Land Development Plan".
- ✓ 2. Provide the existing and proposed net and gross lot areas in table form on sheet 3 of the plans (§27-902).
- ✓ 3. List the existing and proposed lot areas in square feet in addition to acres (§27-902).
- ✓ 4. The adjacent properties to the north are within East Manchester Township's Medium Density Residential District. As such, a 50' buffer yard shall be provided in addition to the required setback(s) (§27-904.3.A). When required by the Planning Commission in a buffer yard, a dense screen planting shall be provided.
- ✓ 5. A 50' front setback is required within the Industrial zoning district along arterial roads (Board Road).

Subdivision Land Development Ordinance:

- ✓ 1. The cover sheet shall include the owner(s)'s notarized signature prior to the Planning Commission meeting. (§22-404.1.2)
- ✓ 2. The plan preparers dated and sealed signature shall be added to the plans prior to final approval (§22-404.1.4).

ENGINEERING A BETTER COMMUNITY

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- Administrative
- ✓ 3. Label all significant streets on the location map on the cover sheet of the plans – Marriane Drive, Shandy Lane, etc. (§22-404.1.9)
 - ✓ 4. The minimum lot depth required and proposed for each lot shall be provided on the plan set (§22-404.3.12).
 - 5. The planning module number shall be listed in the site data table (§22-404.3.19).
 - ✓ 6. Label the southeasternmost property corner (found or to be set and material/type) (§22-404.4.13.A).
 - ✓ 7. Significant natural features such as wetlands shall be delineated on the plans. If none exist on the site, note so on the coversheet along with reference to the report utilized to make the determination (§22-404.4.17).
 - ✓ 8. Any existing easements or rights-of-way (Overhead utilities outside of the public street right-of-way) shall be shown and dimensioned on the plans. (§22-404.4.23).
 - ✓ 9. The waiver requests are applicable to the subdivision plan and shall be listed on the coversheet (§407.3.13).
 - ✓ 10. Township standard notes numbers: 1, 4, 5, 6, 7, 10.1, 11, 14, 17, 18, 19, 21, 22, 23, 24, 25, 26, 28, 33, and 35 shall be added to the plans, see attachment 3 of the SALDO for the required wording. (§22-408.3).

General Plan Comments:

- ✓ 1. Add grey hatch used to delineate the ultimate right-of-way to the legend on sheet 3.
- ✓ 2. The plan shall identify what structures and improvements are to be removed and Zoning/Site Data updated to reflect this.
- 3. In the offers of dedication, the notary block should be outside of the offers of dedication per the Recorder of Deeds.

Land Development Plan Review

Zoning Ordinance:

- ✓ 1. The adjacent properties to the north are within East Manchester Township's Medium Density Residential District, provide a 50' buffer yard in addition to the required setback(s) (§27-904.3.A)
- ✓ 2. A loading space is required for offices 8,000-25,000 sq. ft. and a loading space is required for storage uses 5,000-10,000 sq.ft. As shown on the plans, the proposed Office/Storage building requires 2 loading spaces. (§27-1511.1.A. 2 and 6)
- ✓ 3. A 50' front setback is required within the Industrial zoning district along arterial roads (Board Road).

Subdivision and Land Development Ordinance:

- ✓ 1. The cover sheet shall include the owner(s)'s notarized signature prior to the Planning Commission meeting. (§22-406.1.2)
- ✓ 2. A dated engineer and surveyor seal and signature shall be included on the coversheet. (§22-406.1.4)
- ✓ 3. Label all significant streets on the location map on the cover sheet of the plans – Marriane Drive, Shandy Lane,

etc. (§22-404.1.9). The location map shall be at a scale of 1"=2,000'.

- ✓ 4. The existing and proposed net and gross areas shall be included in the site data table. (§22-406.3.1.A and B)
- ✓ 5. The existing and proposed water and sanitary services shall be listed in the site data table. (§22-406.3.7 and 8)
- ✓ 6. The minimum lot depth (required/proposed) shall be included in the site data table. (§22-406.3.12)
- 7. The planning module ^{note} shall be provided on the coversheet (§22-406.3.19).
- ✓ 8. The handicap parking spaces (required/proposed) shall be added to the site data table. (§22-406.3.23)
- ✓ 9. The existing features legend shall include the overhead utilities and gas lines. (§22-406.4.3)
- ✓ 10. The property corners shall be labeled (found or to be set and material/type) on the existing conditions and lot layout plans (§22-406.4.13.A).
- ✓ 11. Any existing easements or rights-of-way (overhead utilities outside of the public street right-of-way) shall be shown and dimensioned on the plans. (§22-406.4.23)
- ✓ 12. The plans shall reference the location of the nearest fire hydrants (3835 Board Road and at intersection with Beshore School Rd.). The Fire Marshall shall determine if a fire hydrant is required at this site. (§22-406.4.37.A).
- Administrative 13. Provide proof of Soil Erosion and Sedimentation Control plan approval from the York County Conservation District. (§22-407.5.1)
- Administrative 14. A PennDOT Highway Occupancy Permit will be required for the proposed access drive.
- Fyi 15. The applicant is required to pay all Act 57 sanitary sewer fees (§22-407.5.4).
- 16. Sanitary sewer design approval shall be obtained from the Manchester Township Municipal Authority Engineer prior to unconditional plan approval (§22-407.5.10).
- ✓ 17. Township standard notes numbers: 1, 4, 5, 6, 7, 10.1, 11, 14, 17, 18, 19, 21, 22, 23, 24, 25, 26, 28, 33, and 35 shall be added to the plans, see attachment 3 of the SALDO for the required wording. (§22-408.3).
- 18. A Public Improvement Security Estimate shall be submitted for review and approval by the Township Engineer; and the security amount shall be posted prior to unconditional approval and recording of the final plan. (§22-502)
- 19. Connection to public water supply will be designed in accordance with the utility company's standards and received approval by its engineer (§22-713.2.A.2).

General Plan Comments:

- ✓ 1. The proposed loading space will restrict parking on the left side of the building. The applicant should resolve this issue accordingly.
- ✓ 2. A vehicle parked in the parking space nearest to the access drive would violate the clear sight triangle easement. (Nothing > 3' in height within a CST Easement)

- ✓ 3. Provide details and planting specifications for the proposed landscaping areas within the parking lot.
4. The area for the storage portion of the building is incorrect. $(115' - 70') \times 174' = 7,830$ sq. ft. *or 10,000 sq. ft.?*
5. A plan and construction details for the proposed retaining shall be provided and sealed by a structural engineer.
- ✓ 6. On sheet 7, expand the proposed stormwater easement (L18 and L24) to the eastern property line to allow for inspection/repair of any future erosion/scour.
- ✓ 7. Refer to the Manchester Township Construction and Material specifications and revise details appropriately – manhole steps, frames and covers, and inside drop. Inside drop connection shall be provided with “Intraflow” low-profile inside drop system manufactured by Forterra Pipe and Precast or an approved equal.
- ✓ 8. The proposed sanitary sewer easement required to be provided shall be described on the plans with bearings and distances.
- ✓ 9. A table shall be provided for the UPI to be assigned to the consolidated lot.
- ✓ 10. Manchester Township shall be listed for the sewer rather than CSD in the list of utilities.
- ✓ 11. The Planning Commission signature block shall say “Reviewed By” rather than “Approved By.”
- ✓ 12. The sheet numbering shall include the number of sheets in the set (i.e. X of Y).
- ✓ 13. The provided consolidated lot area shall be listed as both Gross and Net.
- ✓ 14. The proposed use shall be listed as Contractor Office/Storage in the Site Data.
- ✓ 15. The plan shall identify what structures and improvements are to be removed and Zoning/Site Data updated to reflect this.
- ✓ 16. In the Zoning/Site Data, list the criteria as being a “Max” or “Min” requirement.
- ✓ 17. Include a conversion to township sewer datum with the vertical datum reference.
18. Provide and label CST for any drive to remain on the lot. *CST should be 150' for an arterial*
- ✓ 19. Provide dimensions for any drive to remain on the lot.
- ✓ 20. Dimension the road right of way from the center line, both existing and proposed.
- ✓ 21. Identify type, status and location of all existing and proposed property corners.
22. Any utilities to be capped, plugged or disconnected shall be identified on the plan.
- ✓ 23. The on-lot septic systems shall be identified and the intent to remain or be removed.
24. Zoning boundaries shall be identified and labeled.

- ✓ 25. A street cross section shall be provided showing the proposed future location of curb and sidewalk.
- ✓ 26. Loading spaces should be provided for each use, one for office and one for storage.
- ✓ 27. Provide all adjacent property owner information as well as show existing structures and driveways.
- ✓ 28. Provide and dimension the driveway length.
- ✓ 29. Provide the following standard notes:
 - Sidewalk and curbing within six months
 - Property restoration
 - Storm sewer berms
- 30. In the offers of dedication, the notary block should be outside of the offers of dedication per the Recorder of Deeds.
- 31. Provide address assignment (which address do they desire to retain once the lots are combined). Also, the address should be provided on layout plan. 3885 Board Road
- ✓ 32. Provide cartway and right of way width for Willow Springs Lane.
- ✓ 33. Utilities are provided on the plan, however, not depicted in the legend, "OU", "NO", and "gas."
- ✓ 34. Provide the following standard notes:
 - Rebuilding of non-conformities
 - Sanitary sewer constructed to Municipal Authority specifications
 - Non-residential addressing
 - "Knox" box
 - Zoning Hearing Board decisions
 - Grinder pump prohibition
 - Street of address
 - No parking
 - Permits required
 - Blasting
 - Fire hydrants
 - Sanitary sewer dedication
 - Wetlands delineation
 - Limestone certification
 - Recording information

Traffic Engineer Comments:

- ✓ 1. Add the following note to the cover sheet: "All traffic signs are to be installed per the PennDOT standard for the installation of Type B Post-Mounted Signs. Refer to Section 931 in the current version of PennDOT Publication 408, Specifications."
- ✓ 2. The proposed STOP sign on the access drive at the intersection with Board Road shall be 30"x30".

- 3/ There is a parking space within the clear sight triangle. A request for waiver of the clear sight triangle requirement should be submitted.

If you have questions related to the enclosed information or require any clarification, please feel free to contact me at our York office number or via email CAM@csdavidson.com.

Sincerely,



Cory A. McCoy, P.E.

CAM/AJS/dmg

Copy: B.J. Treglia, P.E. Manchester Township via email: b.treglia@mantwp.com

Mark Magrecki, R.L.A. PennTerra via email: mmagrecki@pennterra.com

Chris Sestrich PennTerra via email: csestrich@pennterra.com

File

PLANNING MODULE # _____

ZONING/SITE DATA(EXISTING)

ZONING COMPLIANCE CHART

ZONING DISTRICT: "I" INDUSTRIAL DISTRICT	3875 BOARD RD.	3885 BOARD RD.	
	REQUIRED	EXISTING	
MIN. LOT AREA	20,000 S.F.	41,634 S.F.(0.956 AC.)(GROSS) 38,886 S.F.(0.893 AC.)(NET)	59,303 S.F.(1.361 AC.)(GROSS) 55,024.31 S.F.(1.263 AC.)(NET)
MIN. LOT WIDTH AT LOT FRONTAGE	100'	154.20'	248.46'
MIN. LOT DEPTH	N/A	270.00'	270.00'
MAX. LOT COVERAGE	70%	9.09%(TOTAL)	11.45%(TOTAL)
MAX. BLDG. COVERAGE	60%	3.58%	3.81%
MIN. FRONT YARD	50'	50'	50'
MIN. SIDE YARD	20'	20'	20'
MIN. REAR YARD	25'	25'	25'
MIN. BUILDING HEIGHT	50'	<50'	<50'
MIN. PARKING LANDSCAPE	5%	N/A	N/A

SITE DATA

SITE AREA: 41,634 S.F.(0.956 AC.)(GROSS) & 59,303 S.F.(1.361 AC.)(GROSS)
SITE ZONING: I, INDUSTRIAL DISTRICT
EXISTING USE: RESIDENTIAL
PROPOSED USE: CONTRACTOR OFFICE/STORAGE
SOURCE OF WATER: PUBLIC(YORK WATER COMPANY)
SOURCE OF SEWER: PRIVATE ON LOT SEPTIC
PARCEL ID #: TAX PARCEL NO. 36-000-LH-0015.00-00000(PREMISES A)
TAX PARCEL NO. 36-000-LH-0016.00-00000(PREMISES B)
3875-3885 BOARD RD.

ZONING/SITE DATA(PROPOSED)

ZONING COMPLIANCE CHART

ZONING DISTRICT: "I" INDUSTRIAL DISTRICT	3875 BOARD RD.	3885 BOARD RD.		
	REQUIRED	EXISTING	PROVIDED	
MIN. LOT AREA	20,000 S.F.	41,634 S.F.(0.956 AC.)(GROSS) 38,886 S.F.(0.893 AC.)(NET)	59,303 S.F.(1.361 AC.)(GROSS) 55,024.31 S.F.(1.263 AC.)(NET)	90,513.39 S.F.(2.078 AC.)(NET)
MIN. LOT WIDTH AT LOT FRONTAGE	100'	154.20'	246.46'	246.46'
MIN. LOT DEPTH	N/A	270.00'	270.00'	243.95'
MAX. LOT COVERAGE	70%	9.09%(TOTAL)	11.45%(TOTAL)	10.87%(TOTAL)
MAX. BLDG. COVERAGE	60%	3.58%	3.81%	7.01%
MIN. FRONT YARD	50'	50'	50'	30'
MIN. SIDE YARD	20'	20'	20'	20'
MIN. REAR YARD	25'	25'	25'	25'
MIN. BUILDING HEIGHT	50'	<50'	<50'	<50'
MIN. PARKING LANDSCAPE	5%	N/A	N/A	N/A

SITE DATA

SITE AREA: 41,634 S.F.(0.956 AC.)(GROSS) & 59,303 S.F.(1.361 AC.)(GROSS)
SITE ZONING: I, INDUSTRIAL DISTRICT
EXISTING USE: RESIDENTIAL
PROPOSED USE: CONTRACTOR OFFICE/STORAGE
SOURCE OF WATER: PUBLIC
SOURCE OF SEWER: PRIVATE ON LOT SEPTIC
PARCEL ID #: TAX PARCEL NO. 36-000-LH-0015.00-00000(PREMISES A)
TAX PARCEL NO. 36-000-LH-0016.00-00000(PREMISES B)
3875-3885 BOARD RD.

ZONING/SITE DATA(AFTER CONSOLIDATION) -- UPI#

ZONING COMPLIANCE CHART

ZONING DISTRICT: "I" INDUSTRIAL DISTRICT	REQUIRED	EXISTING	PROVIDED
MIN. LOT AREA	20,000 S.F.	90,513.39 S.F.(2.078 AC.)	90,513.39 S.F.(2.078 AC.)
MIN. LOT WIDTH AT LOT FRONTAGE	100'	398.73'	398.73'
MIN. LOT DEPTH	N/A	243.95'	243.95'
MAX. LOT COVERAGE	70%	10.87%	56.21%(TOTAL COVER)
MAX. BLDG. AREA	60%	7.01%	22.11%
MIN. FRONT YARD	50'	50'	50'
MIN. SIDE YARD	20'	20'	20'
MIN. REAR YARD	25'	25'	25'
MAX. BUILDING HEIGHT	50'	<50'	<50'
MIN. PARKING LANDSCAPE	5%	N/A	5.63%

SITE DATA

SITE AREA: 90,513.39 S.F. or 2.078 AC.
SITE ZONING: I, INDUSTRIAL DISTRICT
EXISTING USE: RESIDENTIAL
PROPOSED USE: CONTRACTOR OFFICE/STORAGE
SOURCE OF WATER: PUBLIC(YORK WATER COMPANY)
SOURCE OF SEWER: PUBLIC(MANCHESTER TOWNSHIP)
PARCEL ID #: XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX

PARKING DATA

RETAIL BUSINESS
1 SPACE PER 200 S.F. OF FLOOR AREA
10,005 S.F./ 200 = 50 SPACES REQUIRED
SPACES PROVIDED - 50 SPACES PROVIDED-(INCLUDES 3 H/C SPACES)
2 H/C SPACES REQUIRED - 3 H/C SPACES PROVIDED
OFF-STREET LOADING/UNLOADING
REQUIRED (2) - 12' X 40' SPACES
PROVIDED (1) - 14' X 70' SPACE - (1) 12' X 40' SPACE

3875-3885 BOARD ROAD

FINAL LOT CONSOLIDATION-LAND DEVELOPMENT PLAN

MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

JUNE 3, 2025

REVISED: SEPTEMBER 12, 2025



LOCATION MAP

SCALE: 1"=2,000'

SHEET INDEX

- 1* OF 18 COVER SHEET
- 2* OF 18 NOTES
- 3* OF 18 EXISTING CONDITIONS
- 4* OF 18 LOT CONSOLIDATION PLAN
- 5* OF 18 DEMOLITION PLAN
- 6* OF 18 LAYOUT PLAN
- 7* OF 18 GRADING PLAN
- 8* OF 18 UTILITY PLAN
- 9* OF 18 EASEMENT PLAN
- 10 OF 18 PROFILES
- 11 OF 18 PROFILES
- 12 OF 18 LANDSCAPE PLAN
- 13 OF 18 LIGHTING PLAN
- 14 OF 18 TRUCK MOVEMENT PLAN
- 15 OF 18 CONSTRUCTION DETAILS
- 16 OF 18 CONSTRUCTION DETAILS
- 17 OF 18 CONSTRUCTION DETAILS
- 18 OF 18 CONSTRUCTION DETAILS

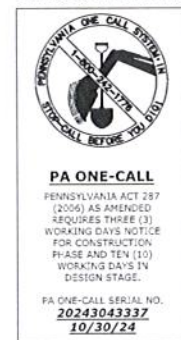
- ES-1 E & S COVER
- ES-2 E&S EXISTING CONDITIONS PLAN
- ES-3 E&S SITE PLAN STAGE 1
- ES-4 E&S SITE PLAN STAGE 2
- ES-5 E&S STAGE 2 BMP PLAN
- ES-6 E&S BMP AREAS
- ES-7 E&S CONSTRUCTION DETAILS
- ES-8 E&S CONSTRUCTION DETAILS
- P-1* PCSM COVER
- P-2* PCSM EXISTING CONDITIONS
- P-3* PCSM SITE PLAN
- P-4* PCSM OFF-SITE DISCHARGE PLAN
- P-5* PCSM DETAILS
- P-6* PCSM PRE DEVELOPMENT DRAINAGE
- P-7* PCSM POST DEVELOPMENT DRAINAGE
- * TO BE RECORDED

OWNER/DEVELOPER INFORMATION

3875 & 3885 BOARD ROAD, LLC
105 E KING STREET
YORK, PA 17403
717-854-8122

SOURCE OF TITLE

TAX PARCEL NO. 36-000-LH-0015.00-00000(PREMISES A)
TAX PARCEL NO. 36-000-LH-0016.00-00000(PREMISES B)
SOURCE OF TITLE: DB. 2797 PG. 3506
SITE ADDRESS: 3875-3885 BOARD RD.



LIST OF UTILITIES

COLUMBIA GAS OF PA INC
1600 DUBOIS ST
COLUMBUS, OH 43215
LISA COLLINS
lcollins@columbiagas.com
614-325-5961

COMCAST
C/O USFC LOCATING SERVICES
13085 HAMILTON CROSSING BLVD
SUITE 200
CARMEL, IN 46032
USFC PERSONNEL
800-762-0592 EXT 3

FIRST ENERGY CORPORATION
21 S MAIN ST
ARCOL, OH 44308
MELLYSSA ADAMS
madams@firstenergycorp.com
330-604-4075

MANCHESTER TOWNSHIP
MANCHESTER TOWNSHIP
3200 FARM ROAD
YORK, PA 17406
717-764-4646

VERIZON NORTH
37 W 8TH ST
WYOMING, PA 18644
RONALD SUNKO
rsunko@verizon.com
570-826-4263

YORK WATER COMPANY
130 E MARKET ST
YORK, PA 17401
JASON HETMANN
jhetmann@yorkwater.com
717-845-3601 EXT 2907



WETLANDS

A WETLAND DELINEATION WAS PERFORMED BY: VORTEX ENVIRONMENTAL, INC. DATED SEPTEMBER 3, 2025 STATES THAT NO WETLANDS WERE FOUND ON THE SITE.

WAIVERS REQUESTED:

1. SALDO SECTION 22-303 -- PRELIMINARY PLAN

REQUIRED -- A PRELIMINARY PLAN IS REQUIRED FOR BOTH THE LOT ADD-ON PLAN AND THE LAND DEVELOPMENT PLAN.
REQUESTED -- TO ALLOW PLANS TO BE PROCESSED AS PRELIMINARY/FINAL PLANS SINCE THERE ARE NO PHASES OF DEVELOPMENT AND THE PROJECT WOULD BE CONSTRUCTED WITHIN 6-9 MONTHS.

ACTION:

2. SALDO SECTION 22-703.2.A --

REQUIRED -- CURBS SHALL BE CONSTRUCTED IN ALL SUBDIVISIONS AND LAND DEVELOPMENTS.
REQUESTED -- TO NOT INSTALL CONCRETE CURBING. THE DEVELOPMENT IS NOT ADJACENT TO AN AREA WHERE CURBING HAS PREVIOUSLY BEEN CONSTRUCTED.

ACTION:

3. SALDO SECTION 22-709.1 --

REQUIRED -- SIDEWALKS SHALL GENERALLY BE REQUIRED FOR ALL AREAS WITHIN MANCHESTER TOWNSHIP.
REQUESTED -- TO WAIVE THE INSTALLATION OF SIDEWALK ALONG BOARD ROAD. THE DEVELOPMENT IS NOT ADJACENT TO AN AREA WHERE SIDEWALKS ARE CURRENTLY CONSTRUCTED AND THE PROPOSED USE DOES NOT GENERATE PEDESTRIAN TRAFFIC.

ACTION:

4. SALDO SECTION 22 ATTACHMENT 1, SUB SECTION 4-288 --

REQUIRED -- SHOW EXISTING STRUCTURES AND DRIVEWAYS OF ADJACENT PROPERTY OWNERS
REQUESTED -- RELIEF FROM THIS SECTION AS IT HAS NO ADVERSE EFFECT TO THE DEVELOPMENT

ACTION:

CARBONATE GEOLOGY CERTIFICATE(DEVELOPERS REGISTERED PROFESSIONAL)

I, _____, CERTIFY THAT THE PROPOSED STORMWATER MANAGEMENT FACILITY IS/IS NOT (CIRCLE ONE) UNDERLAIN BY CARBONATE GEOLOGY.

DATE: _____

CERTIFICATION OF ACCURACY -- PLAN

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

MARK A. MAGRECKO, PLA

DATE



SURVEYOR'S CERTIFICATION OF ACCURACY -- SURVEY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

JASON E. CHERNICH, PLS

DATE

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 20____

SIGNATURE AND SEAL OF NOTARY PUBLIC

MY COMMISSION EXPIRES _____, 20____

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION(3875 & 3885 BOARD ROAD, LLC)

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____, WHO ACKNOWLEDGES THAT 3875 & 3885 BOARD ROAD, LLC, IS THE LEGAL AND/OR OWNER OF THE TRACT OF LAND CONTAINED HEREIN, AND THAT THIS PLAN IS THEIR ACT AND WILL AND THEY DESIRE THE SAME TO BE RECORDED AS SUCH, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY ARE HEREBY DEDICATED TO THE PUBLIC USE.

SIGNATURE & TITLE

PRINT NAME & TITLE

CERTIFICATE OF OWNERSHIP(3875 & 3885 BOARD ROAD, LLC)

ON THIS, THE _____ DAY OF _____, 20____, I, _____, ACKNOWLEDGE THAT 3875 & 3885 BOARD ROAD, LLC, IS THE LEGAL AND/OR OWNER OF THE TRACT OF LAND CONTAINED HEREIN, AND THAT THIS PLAN IS THEIR ACT AND WILL AND THEY DESIRE THE SAME TO BE RECORDED AS SUCH, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY ARE HEREBY DEDICATED TO THE PUBLIC USE.

SIGNATURE & TITLE

PRINT NAME & TITLE

STORMWATER ACKNOWLEDGE(OWNER)

I HEREBY ACKNOWLEDGE THAT THE STORMWATER FACILITIES ARE TO BE PERMANENT FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE TOWNSHIP.

LANDOWNER

DATE

PLANNING COMMISSION

THIS PLAN REVIEWED BY THE MANCHESTER TOWNSHIP PLANNING COMMISSION
THIS _____ DAY OF _____, 20____

BOARD OF SUPERVISORS

THIS PLAN APPROVED BY THE MANCHESTER TOWNSHIP BOARD OF SUPERVISORS
THIS _____ DAY OF _____, 20____

TOWNSHIP ENGINEER REVIEW CERTIFICATE

THIS PLAN REVIEWED BY THE MANCHESTER TOWNSHIP ENGINEER THIS _____ DAY OF _____, 20____

YORK COUNTY PLANNING COMMISSION REVIEW CERTIFICATE

THE YORK COUNTY PLANNING COMMISSION, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247 OF 1968, AS AMENDED, REVIEWED THIS PLAN ON _____, 20____, AND A COPY OF THE REVIEW IS ON FILE AT THE OFFICE OF THE PLANNING COMMISSION IN FILE NO. _____. THIS CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL OF THE PLAN BY THE YORK COUNTY PLANNING COMMISSION, AND THE COMMISSION DOES NOT REPRESENT THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH OR THE FEDERAL GOVERNMENT.

RECORDER OF DEEDS:

RECORDED IN THE OFFICE OF THE YORK COUNTY RECORDER OF DEEDS PLAN BOOK _____, PAGE _____ ON _____ DAY OF _____, 20____



3875-3885 BOARD RD-MANCHESTER TOWNSHIP -24005

TOWNSHIP STANDARD NOTES:

1. THE OWNERS, HEIRS, ASSIGNS OR SUCCESSORS IN THE TITLE AGREE THAT THEY SHALL INSTALL AT THE OWNERS EXPENSE CONCRETE CURBING, CONCRETE SIDEWALK, OR BOTH CONCRETE CURBING AND CONCRETE SIDEWALK; AND ANY NECESSARY ROAD WIDENING TO ACCOMPANY THE CURBING TO TOWNSHIP AND/OR STATE SPECIFICATIONS WITHIN SIX MONTHS FROM THE RECEIPT OF CERTIFIED NOTIFICATION FROM THE TOWNSHIP.
2. THE OWNER HEREBY GRANTS MANCHESTER TOWNSHIP OR ITS REPRESENTATIVE A GENERAL ACCESS EASEMENT ACROSS THE ENTIRE LOT FOR ACCESS TO THE PUBLIC SEWER AND SAMPLING MANHOLES.
3. ANY NONCONFORMING BUILDING OR STRUCTURE IS DESTROYED OR DAMAGE BY REASON OF WINDSTORM, FIRE,FLOOD, EXPLOSION OR OTHER ACT OF GOD OR PUBLIC ENEMY TO AN EXTENT OF MORE THAN 50% OF ITS FAIR MARKET VALUE AT THE TIME OF THE CASUALTY SHALL NOT BE REBUILT, RESTORED, OR REPAIRED EXCEPT IN CONFORMANCE OF THE PROVISIONS OF THE MANCHESTER TOWNSHIP ZONING ORDINANCE [CHAPTER 27].
4. ALL PUBLIC IMPROVEMENT CONSTRUCTION SHALL CONFORM TO THE MANCHESTER TOWNSHIP CONSTRUCTION AND MATERIALS SPECIFICATIONS UNLESS SPECIFIC WAIVERS HAVE BEEN GRANTED.
5. ALL WORK SHALL CONFORM TO THE MANCHESTER TOWNSHIP MUNIOPAL AUTHORITY'S PLAN, DESIGN AND CONSTRUCTION STANDARDS.
6. NONRESIDENTIAL A STREET ADDRESS SHALL BE MOUNTED TO THE BUILDING WITH MINIMUM EIGHT INCHES HIGH NUMBERS AND SHALL BE VISIBLE FROM THE STREET.
7. ALL NEW AND EXISTING BUILDINGS (EXCEPT ONE- AND TWO-FAMILY DWELLINGS) ARE REQUIRED TO IN STALL A RAPID ENTRY KEY BOX (SUCH AS KNOX BOX) AS REQUIRED BY THE FIRE CHIEF FOR FIRE DEPARTMENT USE ONLY IN ACCORDANCE WITH THE MANCHESTER TOWNSHIP CODE OF ORDINANCES CHAPTER 7, PART 5.
8. LANDOWNER IS RESPONSIBLE FOR PAVEMENT AND CURBING RESTORATION IF PAVING AND CURBING IS CONSTRUCTED OVER OR THROUGH THE SANITARY SEWER EASEMENT/RIGHT OF WAY.
9. STREETS CONSTRUCTED WITH STORMWATER MANAGEMENT DIVERSION BERMS WILL NOT BE CONSIDERED FOR ADOPTION UNTIL SUCH BERMS ARE REMOVED.
10. THE USE OF GRINDER PUMPS OR PRESSURE SEWERS SHALL NOT BE PERMITTED.
- 11.THE REAR YARD BUILDING SETBACK SHALL BE THE YARD OPPOSITE THE STREET OF ADDRESS.
12. NO PARKING SHALL BE PERMITTED IN THE FOLLOWING PUBLIC STREETS, ALONG THE FRONTAGES OF THE LOTS NUMBERS
13. NO BUILDING CONSTRUCTION MAY OCCUR WITHOUT PERMITS FIRST BEING ISSUED IN ACCORDANCE WITH THE ORDINANCES OF MANCHESTER TOWNSHIP.
14. NO BLASTING IS PERMITTED WITHOUT A STATE PERMIT AND ADVANCE NOTIFICATION TO THE MANCHESTER TOWNSHIP FIRE CHIEF.
15. THE MANCHESTER TOWNSHIP FIRE CHIEF SHALL APPROVE THE LOCATION OF ALL FIRE HYDRANTS.
16. DEVELOPER OFFERS FOR DEDICATION TO THE MANCHESTER TOWNSHIP MUNICIPAL AUTHORITY ALL SANITARY SEWER COLLECTION AND/OR INTERCEPTOR LINES AND APPURTENANCES CONSTRUCTED BY THE DEVELOPER AND A TWENTY-FOOT WIDE PERPETUAL EASEMENT CONSISTING OF 10 FEET ON EITHER SIDE OF THE CENTERLINE FOR MAINTENANCE, REPAIR, REPLACEMENT OR ENLARGEMENT THEREOF TOGETHER WITH THE RIGHT OF INGRESS, EGRESS AND REGRESS THEREOF.

SURVEY NOTES:

1. BENCHMARK:
BM1: CAPPED REBAR AT THE NORTHERN CORNER OF THE INTERSECTION OF BOARD ROAD (SR-1015) AND WILLOW SPRINGS LANE (T-941), BEING 5'X 8" EAST OF THE STREET LIGHT.
NORTHING: 225655.13
EASTING: 2252562.76
ELEVATION: 534.59
BM2: CAPPED REBAR ON THE EAST SIDE OF BOARD ROAD (SR-1015), BEING 14'X 8" NORTHWEST OF UTILITY POLE 25378-25914.
NORTHING: 225105.84
EASTING: 2252371.06
ELEVATION: 535.26
- VERTICAL DATUM: NAVD 83
HORIZONTAL DATUM: NAD83 - PA SOUTH ZONE
UNDERGROUND UTILITIES ARE SHOWN ACCORDING TO INFORMATION PROVIDED BY OTHERS AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION, EXCAVATION OR BLASTING. THE ACTUAL LOCATIONS OF THESE UTILITIES HAVE NOT BEEN FIELD VERIFIED AND THE LOCATIONS ARE APPROXIMATE. STEEDCOX ENGINEERING & SURVEYING, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE, OR GUARANTEE THAT THE UNDERGROUND UTILITY LOCATION PROVIDED BY OTHERS AND REFLECTED ON THESE DRAWINGS ARE CORRECT AND ACCURATE. STEEDCOX ENGINEERING & SURVEYING, INC. ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACURATELY SHOWN.
3. RIGHT-OF-WAY FOR BOARD ROAD (SR-1015) AND WILLOW SPRINGS LANE (T-941) ARE SHOWN PER PENNDOT DRAWINGS DEPICTING RIGHT-OF-WAY TO BE DECEDED TO THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION UNDER HOP APPLICATION NO. 227267 BY EAST MANCHESTER TOWNSHIP AND WF 8/YORK, L.P. FOR STATE ROUTE 1031, SECTION 005 R/W IN YORK COUNTY AND PENNDOT DRAWINGS DEPICTING RIGHT-OF-WAY TO BE DECEDED TO THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION UNDER HOP APPLICATION NO. 104414 BY EAST MANCHESTER TOWNSHIP FOR STATE ROUTE 1013 SECTION 008 R/W IN YORK COUNTY.
4. IN ACCORDANCE WITH THE U.S. FISH AND WILDLIFE SERVICES NATIONAL WETLANDS INVENTORY THERE ARE NO WETLANDS ON THE SUBJECT PREMISES.
5. IN ACCORDANCE WITH THE FLOOD INSURANCE RATE MAP NUMBER 42133C0221F, EFFECTIVE DATE DECEMBER 16, 2015, THE ENTIRE SITE IS IN THE ZONE "X" FLOOD CLASSIFICATION.

GENERAL NOTES:

1. THE TOWNSHIP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION OR MAINTENANCE OF ANY AREA, IMPROVEMENT, LANDSCAPING, ETC. NOT DEDICATED TO AND ACCEPTED FOR PUBLIC USE.
2. ANY REVISIONS TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF PENNTERRA ENGINEERING, INC. SUBSTITUTIONS FOR ANY MATERIAL NOTED ON THESE PLANS REQUIRES PRIOR WRITTEN APPROVAL OF PENNTERRA ENGINEERING, INC.
3. NO ONE SHALL SCALE FROM THESE PLANS FOR CONSTRUCTION PURPOSES.
4. PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER RESPONSIBLE FOR THE PLANS.
5. ALL DIMENSIONS SHOWN ON THE PLANS ARE TAKEN FROM THE FACE OF CURB AND EXTERIOR FACE OF THE BUILDINGS, UNLESS OTHERWISE NOTED ON THE PLAN.
6. NO WALL, FENCE, OR OTHER STRUCTURE SHALL BE ERRECTED, ALTERED OR MAINTAINED, AND NO HEDGE, TREE, SHRUB OR GROWTH SHALL BE PLANTED OR MAINTAINED WHICH RESULTS IN A VISUAL OBSTRUCTION WITHIN THE CLEAR SIGHT TRIANGLES AT STREET INTERSECTIONS.
7. GROSS LOT AREA IS CALCULATED TO THE TITLE LINE. NET LOT AREA WILL EXCLUDE EXISTING STREET RIGHT-OF-WAYS BUT WILL INCLUDE ANY INTERNAL EASEMENTS OR RIGHT-OF-WAYS.
8. PROPOSED LIGHTING SHALL BE SHIELDED FROM ADJACENT PROPERTIES.
9. ALL PROPOSED CURBING MUST CONFORM WITH PENNDOT PC-64 STANDARDS.
10. AS-BUILT PLANS WILL BE PROVIDED UPON COMPLETION OF IMPROVEMENTS.
11. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW," BEFORE ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL BE AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT AND TOWNSHIP APPROVAL OF THIS PLAN IN NO WAY IMPLIES THAT SUCH A PERMIT CAN BE ACQUIRED.
12. ALL SIGNS MUST RECEIVE SEPARATE APPROVAL FROM THE TOWNSHIP ZONING OFFICER. APPROVAL OF THE LAND DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNS.
13. ALL REQUIRED SCREEN PLANTING AND INTERIOR PARKING LOT LANDSCAPING SHALL BE PERMANENTLY MAINTAINED BY THE LANDOWNER OF THE LOT. ALL REQUIRED VEGETATION THAT DIES MUST BE REPLACED BY THE LANDOWNER WITHIN SIX (6) MONTHS.
14. THE LAND OWNER SHALL KEEP ON FILE WITH THE TOWNSHIP THE NAME, ADDRESS, AND TELEPHONE NUMBER OF THE PERSON OR COMPANY RESPONSIBLE FOR MAINTENANCE ACTIVITIES, IN THE EVENT OF A CHANGE, NEW INFORMATION SHALL BE SUBMITTED TO TOWNSHIP WITHIN TEN (10) DAYS OF THE CHANGE.
15. SCHEDULE OF REQUIRED INSPECTIONS SHALL BE DETERMINED THROUGH A PRE-CONSTRUCTION MEETING WITH TOWNSHIP STAFF.
16. REQUIRED INSPECTIONS SHALL BE SCHEDULED THROUGH THE TOWNSHIP A MINIMUM OF FORTY-EIGHT(48) HOURS PRIOR TO THE TIME OF THE INSPECTION IS REQUESTED.
17. THERE ARE NO KNOWN HISTORIC OR ARCHAEOLOGICAL SITES LOCATED ON THE PROPERTY.
18. ANY CHANGES TO THE EROSION & SEDIMENTATION CONTROL PLAN OR SEQUENCE SHALL BE PROVIDED TO THE TOWNSHIP.
19. NO FENCES, HEDGES, WALL, PLANTINGS OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN RIGHT OF WAY UNLESS APPROVED BY JURISDICTION AUTHORITY.
20. ALL SIGNS MUST COMPLY WITH ARTICLE VI OF THE ZONING ORDINANCE.
21. ALL TRAFFIC SIGNS ARE TO BE INSTALLED PER THE CONSTRUCTION STANDARD FOR THE INSTALLATION OF TYPE B POST-MOUNTED SIGNS. REFER TO SECTION 931 IN THE CURRENT VERSION OF PENNDOT PUBLICATION 408, SPECIFICATIONS.
22. THE PROPOSED STOP SIGN ON THE ACCESS DRIVE AT THE INTERSECTION WITH BOARD ROAD SHALL BE 30"X30".

CONTRACTOR NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS ON SITE PRIOR TO THE START OF CONSTRUCTION. UNDERGROUND UTILITIES HAVE BEEN SHOWN ACCORDING TO INFORMATION PROVIDED BY OTHERS AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION, EXCAVATION OR BLASTING. THE ACTUAL LOCATIONS OF THESE UTILITIES HAVE NOT BEEN FIELD VERIFIED AND THE LOCATIONS ARE APPROXIMATE. PENNTERRA ENGINEERING, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE UNDERGROUND UTILITY LOCATION INFORMATION PROVIDED BY OTHERS AND REFLECTED ON THESE DRAWINGS IS CORRECT AND ACCURATE. PENNTERRA ENGINEERING, INC. ASSUMES NO LIABILITY FOR ANY DAMAGE INCURRED AS A RESULT OF UNDERGROUND UTILITIES OMITTED OR INACURATELY SHOWN.
2. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. DAMAGE TO ANY UTILITY SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER, UTILITY COMPANY OR AUTHORITY, AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS FROM TOWNSHIP, COUNTY, STATE OR AUTHORITY RELATIVE TO THE CONSTRUCTION SHOWN ON THIS PLAN.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL TESTING AND RECORD DRAWINGS AS MAY BE REQUIRED BY TOWNSHIP AND/OR THE VARIOUS AUTHORITIES RELATIVE TO THE CONSTRUCTION SHOWN ON THESE PLANS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRENCH BARRICAADING, COVERING, SHEETING AND SHORING, AS THE NEED ARISES.
6. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE GRADING PLAN IS IMPLEMENTED CORRECTLY, THAT A MINIMUM COVER IS MAINTAINED OVER ALL UTILITY PIPES, AND THAT PROPER DRAINAGE IS PROVIDED DURING CONSTRUCTION.
7. PROVIDE 65% MODIFIED PROCTOR DENSITY PER ASTM-D-698 IN AREAS WHERE PROPOSED UTILITIES ARE LOCATED ON FILL.
8. ALL TOPS AND INVERTS PROVIDED FOR MANHOLES, INLETS, ETC. ARE FOR THE PURPOSE OF SHOWING GENERAL CONFORMANCE TO DESIGN STANDARDS ONLY. CUT SHEETS SHALL BE PREPARED BY A REGISTERED SURVEYOR PRIOR TO THE ORDERING OF ANY STRUCTURES. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO THE START OF WORK.
9. THESE PLANS, PREPARED BY PENNTERRA ENGINEERING, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR, OF ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF PENNTERRA ENGINEERING, INC. REGISTERED PROFESSIONAL HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED IN THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY OSHA.
10. ALL MUD FROM CONSTRUCTION ACTIVITIES THAT GETS TRACKED ONTO STREETS, EITHER DEDICATED OR UNDEDICATED, SHALL BE CLEANED BY THE BUILDER/CONTRACTOR AT THE END OF EACH WORKDAY.
11. CONTRACTOR TO PROVIDE DETAILS OF FIRE PROTECTION BACKFLOW PREVENTION AS SHOP DRAWINGS PRIOR TO CONSTRUCTION AND A COPY OF ALL SHOP DRAWINGS SHALL BE PROVIDED TO TOWNSHIP.

UTILITY NOTES:

1. SEWAGE DISPOSAL FOR THE SITE IS TO BE PROVIDED BY USE OF PUBLIC SYSTEM, AS SHOWN HEREON.
2. WATER FOR THE SITE IS TO BE PROVIDED BY USE OF PUBLIC SYSTEM, AS SHOWN HEREON.
3. ALL WATER SUPPLY FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH TOWNSHIP SPECIFICATIONS.
4. ALL SANITARY SEWER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEP REGULATIONS FOR SANITARY SEWER.
4. WATER AND SEWER LINES MUST MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 10', OTHERWISE A VERTICAL SEPARATION OF 18" SHALL BE PROVIDED. IF NEITHER IS POSSIBLE, THEN A 6" CONCRETE ENCASEMENT SHALL BE PROVIDED FOR THE SEWER LINE.
5. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND INCLUDING BUT NOT LIMITED TO TELEPHONE, CABLE, ELECTRIC, GAS, WATER AND SANITARY SEWER.
6. ACCESS TO ALL UTILITY FACILITIES SHALL BE GRANTED TO REPRESENTATIVES OF THE TOWNSHIP AT ALL TIMES FOR THE PURPOSES OF INSPECTION AND MAINTENANCE.
7. SANITARY SEWER LATERAL CONNECTIONS FROM THE BUILDING SHALL BE PRIVATELY OWNED AND MAINTAINED.
8. LOCATIONS AND ELEVATIONS OF THE EXISTING WATER AND SANITARY SEWER AS SHOWN ON THIS PLAN ARE APPROXIMATE. PRIOR TO CONSTRUCTION, EXCAVATION, BLASTING, OR PURCHASING CONSTRUCTION MATERIALS THE CONTRACTOR SHALL FIELD VERIFY BOTH THE LOCATION AND ELEVATION OF THE SANITARY SEWER AND WATER LATERALS TO ENSURE THE PROPOSED LATERAL CONNECTION WILL FUNCTION AS DESIGNED.
9. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST STANDARDS OF THE TOWNSHIP AND SHALL BE SUBJECT TO APPROVAL BY THE TOWNSHIP'S ENGINEER.
10. PROVIDE A MINIMUM COVER FIVE(5) FEET FOR SANITARY SEWER, FOUR(4) FEET FOR WATER MEASURED FROM THE FINISHED GRADE ELEVATION TO TOP OF PIPE.
11. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST STANDARD OF THE TOWNSHIP AND SHALL BE SUBJECT TO APPROVAL BY THE TOWNSHIP'S ENGINEER.
12. THE NEAREST FIRE HYDRANTS ARE LOCATED AT 3835 BOARD ROAD AND AT THE INTERSECTION OF BOARD ROAD AND BESHORE SCHOOL ROAD.

SITE WORK NOTES:

1. ALL MATERIALS AND WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THE SITE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF PENNDOT PUB. FORM 408, UNLESS OTHERWISE NOTED.
2. ALL WATER SERVICE CONNECTIONS AND INSTALLATION SHALL BE IN ACCORDANCE WITH TOWNSHIP RULES AND REGULATIONS.
3. ALL SANITARY SEWER SERVICE CONNECTIONS AND INSTALLATION SHALL BE IN ACCORDANCE WITH MANCHESTER TOWNSHIP MUNICIPAL AUTHORITY'S PLAN, DESIGN, AND CONSTRUCTION STANDARDS AND DEP REGULATIONS FOR SANITARY SEWER.
4. ALL HANDICAPPED ACCESSIBLE RAMPS SHALL COMPLY WITH ANSI AND PENNDOT STANDARDS.
5. NO DRIVEWAYS MAY BE CONNECTED TO AN EXISTING ROAD WITHOUT FIRST OBTAINING AN APPROPRIATE HIGHWAY OCCUPANCY PERMIT (TOWNSHIP OR COMMONWEALTH).

BUILDING CODE NOTE:

ALL CONSTRUCTION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE TOWNSHIP.

PURPOSE OF PLAN:

THIS PLAN PROPOSES THE LOT CONSOLIDATION OF LOTS 3875 & 3885 INTO ONE LOT ALONG WITH CONSTRUCTION OF BUILDING, RELATED STORMWATER IMPROVEMENTS, PARKING AND ENTRANCE DRIVE.

STORMWATER MANAGEMENT NOTES:

1. ALL PROPOSED STORMWATER FACILITIES ARE LOCATED ON PRIVATE PROPERTY AND WILL BE OWNED AND MAINTAINED, IN DESIGN CONDITION BY THE CURRENT PROPERTY OWNER, OWNERSHIP AND MAINTENANCE RESPONSIBILITY WILL TRANSFER TO SUBSEQUENT OWNERS WITH THE TRANSFER OF THE PROPERTY OWNERSHIP.
2. ALL STORM WATER FACILITIES NOT WITHIN THE PUBLIC STREET RIGHTS-OF-WAY SHALL BE PROVIDED WITH EASEMENTS AS SHOWN ON THE PLANS. TOWNSHIP IS NOT RESPONSIBLE FOR CONSTRUCTION OR MAINTENANCE OF ANY FACILITY NOT DEDICATED TO AND ACCEPTED FOR PUBLIC USE.
3. NO ALTERATION TO SWALES, BASINS, OR OTHER DRAINAGE STRUCTURES SHALL BE PERMITTED WITHIN EASEMENTS WITHOUT PRIOR TOWNSHIP APPROVAL.
4. THE MAINTENANCE OF ALL STORMWATER CONVEYANCE AND MANAGEMENT FACILITIES SHALL BE BY THE PROPERTY OWNER. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
A. REMOVAL OF SILT AND DEBRIS FROM ALL STORM WATER MANAGEMENT STRUCTURES
B. PERIODIC REPLACEMENT OF SILT FENCE OR OTHER SIMILAR MEASURES
C. ESTABLISHMENT OR RE-ESTABLISHMENT OF VEGETATION BY SEEDING AND MULCHING OR SOODING OF SCOURED AREAS OR AREAS WHERE VEGETATION HAS NOT BEEN SUCCESSFULLY ESTABLISHED.
D. INSTALLATION OF NECESSARY CONTROLS TO CORRECT UNFORESEEN PROBLEMS CAUSED BY STORM EVENTS.
E. REMOVAL OF ALL TEMPORARY STORMWATER MANAGEMENT CONTROL FACILITIES UPON THE INSTALLATION OF PERMANENT STORMWATER FACILITIES AT THE COMPLETION OF THE DEVELOPMENT.
- F. REPAIR OF STRUCTURAL DAMAGE OR DETERIORATION OF ANY KIND, INCLUDING THAT CAUSED BY SNOWHOLES OR OTHER EVENTS.
5. POST CONSTRUCTION STORMWATER OPERATIONS AND MAINTENANCE:
A. THE PROPERTY OWNER SHALL OWN, MAINTAIN AND BE RESPONSIBLE FOR ALL STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES (I.E. BASINS, SWALES, ETC.) THAT ARE LOCATED OUTSIDE OF THE STREET RIGHT-OF-WAYS AS PROPOSED ON THE PLANS.
B. THE OWNER SHALL CONDUCT A VISUAL INSPECTION OF ALL STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES AT LEAST ONCE EVERY THREE MONTHS AND IMMEDIATELY AFTER STORM EVENTS. SUCH VISUAL EXAMINATION SHALL AT LEAST INVOLVE AN EXAMINATION OF THE STORMWATER COLLECTION, CONVEYANCE AND BMP FACILITIES FOR DEBRIS DEPOSITION (SUCH DEBRIS MAY INCLUDE, BUT SHALL NOT BE LIMITED TO AGGREGATE MATERIAL, LEAVES, GRASS CLIPPINGS, SOILS AND TRASH), AND AN EXAMINATION OF THE STORMWATER/BMP FACILITIES FOR SOIL AND STRUCTURAL SETTLEMENT, DEPRESSIONS, SINK HOLES, SEEPS, STRUCTURAL CRACKING, ANIMAL BURROWS, EXCESSIVE VEGETATION, CLOGGING, EROSION AND FOUNDATION MOVEMENT.
C. THE OWNER SHALL REMOVE ANY ACCUMULATION OF DEBRIS AND REPAIR ANY DAMAGE TO THE STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES. REPAIRS SHALL BE MADE USING MATERIALS THAT MEET OR EXCEEDS THE SPECIFICATIONS PROVIDED ON THE PLANS.
D. THE OWNER IS REQUIRED TO MAINTAIN A RECORD OF ALL INSPECTIONS, REPAIRS AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES AT THIS PROJECT SITE. THE OWNER SHALL IMMEDIATELY NOTIFY THE MUNICIPALITY AND THE CONSERVATION DISTRICT PRIOR TO INITIATING ANY MAJOR REPAIR ACTIVITIES (SUCH AS REPAIRS THAT MAY BE REQUIRED AS A RESULT OF SETTLEMENT, SINK HOLES, SEEPS, STRUCTURAL CRACKING OR FOUNDATION MOVEMENT). THE OWNER SHALL ALSO COMPLY WITH ANY OTHER MAINTENANCE NOTES THAT MAY BE ON THESE PLANS.
6. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF ANY EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT. TOWNSHIP SHALL HAVE THE RIGHT TO:
A. ACCESS THE SITE TO INSPECT STORM WATER FACILITIES AT ANY TIME INCLUDING INLETS, MANHOLES, STORM PIPES, ENDWALLS, HEADWALLS, SWALES AND DETENTION BASIN
B. REQUIRE THAT THE LAND OWNER TAKE CORRECTIVE MEASURES AND ASSIGN THE LAND OWNER A REASONABLE PERIOD TO TAKE CORRECTIVE ACTION.
C. AUTHORIZE MAINTENANCE TO BE DONE AND LIEN ALL COSTS OF ALL WORK AGAINST THE PROPERTIES OF THE PRIVATE ENTITY RESPONSIBLE FOR MAINTENANCE. THE MAINTENANCE OF ALL STORMWATER CONVEYANCE AND MANAGEMENT FACILITIES SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
A. PERIODIC REMOVAL OF SILT AND DEBRIS FROM ALL STORM WATER MANAGEMENT STRUCTURES
B. ESTABLISHMENT OR RE-ESTABLISHMENT OF VEGETATION BY SEEDING AND MULCHING OR SOODING OF SCOURED AREAS OR AREAS WHERE VEGETATION HAS NOT BEEN SUCCESSFULLY ESTABLISHED.
C. INSTALLATION OF NECESSARY CONTROLS TO CORRECT UNFORESEEN PROBLEMS CAUSED BY STORM EVENTS.
D. REMOVAL OF ALL TEMPORARY STORMWATER MANAGEMENT CONTROL FACILITIES UPON THE INSTALLATION OF PERMANENT STORMWATER FACILITIES AT THE COMPLETION OF THE DEVELOPMENT.
E. REPAIR OF STRUCTURAL DAMAGE OR DETERIORATION OF ANY KIND, INCLUDING THAT CAUSED BY SNOWHOLES OR OTHER EVENTS.
7. STORMWATER MANAGEMENT FACILITIES (DETENTION FACILITIES, STORM DRAINAGE PIPES, INLETS AND ENDWALLS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF TOWNSHIP ORDINANCES.
8. ALL STORM SEWER JOINTS SHALL BE WATERTIGHT.
9. ALL STORM SEWERS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH PENNDOT FORM 408 SPECIFICATIONS AND AS SHOWN ON THESE DRAWINGS.
10. RUNOFF FROM THE LOT IMPROVEMENTS SHALL BE DIRECTED TO THE STORM WATER MANAGEMENT FACILITIES AS APPLICABLE.
11. TOWNSHIP AND THEIR AGENTS OR EMPLOYEES HAVE THE RIGHT OF ACCESS FOR INSPECTION AND, IN CASES OF CONSTRUCTION DEFAULT, CONSTRUCTION OF THE STORM WATER MANAGEMENT FACILITIES.
12. ANY ADDITIONAL IMPERVIOUS COVER BEYOND THE AMOUNT APPROVED BY TOWNSHIP WILL REQUIRE THE OWNER TO IMPLEMENT ADDITIONAL STORMWATER MANAGEMENT CONTROLS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT CRITERIA OF TOWNSHIP.
13. THE STORMWATER INLET TOP OF GRATE ELEVATIONS SPECIFIED ON THE PLAN INCLUDE A TWO INCH SLUMP UNLESS OTHERWISE NOTED ON THE PLANS.
14. TOWNSHIP RESERVES THE RIGHT OF ENTRY FOR THE PURPOSES OF INSPECTING ALL STORM WATER CONVEYANCE, TREATMENT, OR STORAGE FACILITIES. THE DEVELOPER/OWNER GRANTS TOWNSHIP THE RIGHT OF ACCESS TO ALL STORMWATER MANAGEMENT EASEMENTS ON THE SUBJECT TRACT.
15. NO PERSON SHALL MOODY, REMOVE, FILL, LANDSCAPE OR ALTER STORM WATER MANAGEMENT FACILITIES AND/OR BMP FACILITIES WHICH MAY HAVE BEEN INSTALLED ON A PROPERTY UNLESS A STORM WATER MANAGEMENT PERMIT HAS BEEN OBTAINED TO PERMIT SUCH MODIFICATION, REMOVAL, FILLING, LANDSCAPING OR ALTERATION. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPE OR VEGETATION INTO A STORM WATER MANAGEMENT FACILITY, A BMP FACILITY, OR WITHIN A DRAINAGE EASEMENT.
16. SWM BMP'S SHALL BE INSPECTED BY THE LANDOWNER, OR THE OWNER'S DESIGNEE, INCLUDING THE TOWNSHIP FOR DEDICATED AND OWNED FACILITIES, ACCORDING TO THE FOLLOWING LIST OF MINIMUM FREQUENCIES:
A. ANNUALLY FOR THE FIRST FIVE(5) YEARS.
B. ONCE EVERY TWO(2) YEARS THEREAFTER.
C. A REPORT OF ALL INSPECTIONS SHALL BE SUBMITTED TO THE TOWNSHIP BY THE END OF THE CALENDAR YEAR IN WHICH THE INSPECTIONS WERE CONDUCTED.
D. ALL INSPECTION RECORDS SHALL BE MAINTAINED BY THE LANDOWNER OR SUCCESSOR FOR A PERIOD NOT LESS THAN FIVE(5) YEARS FROM THE DATE OF INSPECTION AND SHALL BE MADE AVAILABLE TO THE TOWNSHIP WITHIN FIVE(5) CALENDAR DAYS OF RECEIPT OF WRITTEN REQUEST BY THE TOWNSHIP.
E. THE TOWNSHIP OR ITS DESIGNEE MAY INSPECT, AT THE EXPENSE OF THE LANDOWNER, ALL PHASES OF THE CONSTRUCTION, OPERATION, MAINTENANCE AND ANY OTHER IMPLEMENTATION OF SWM BMP'S.



3904 B ABEL DRIVE
COLUMBIA, PA 17512
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Designer	WAM
Draftsman	PAG
Proj Manager	WAM
Surveyor	SFS
Perimeter Dk.	
Book	Pg
Acad	1-COMEX
Layout	02-NOTES

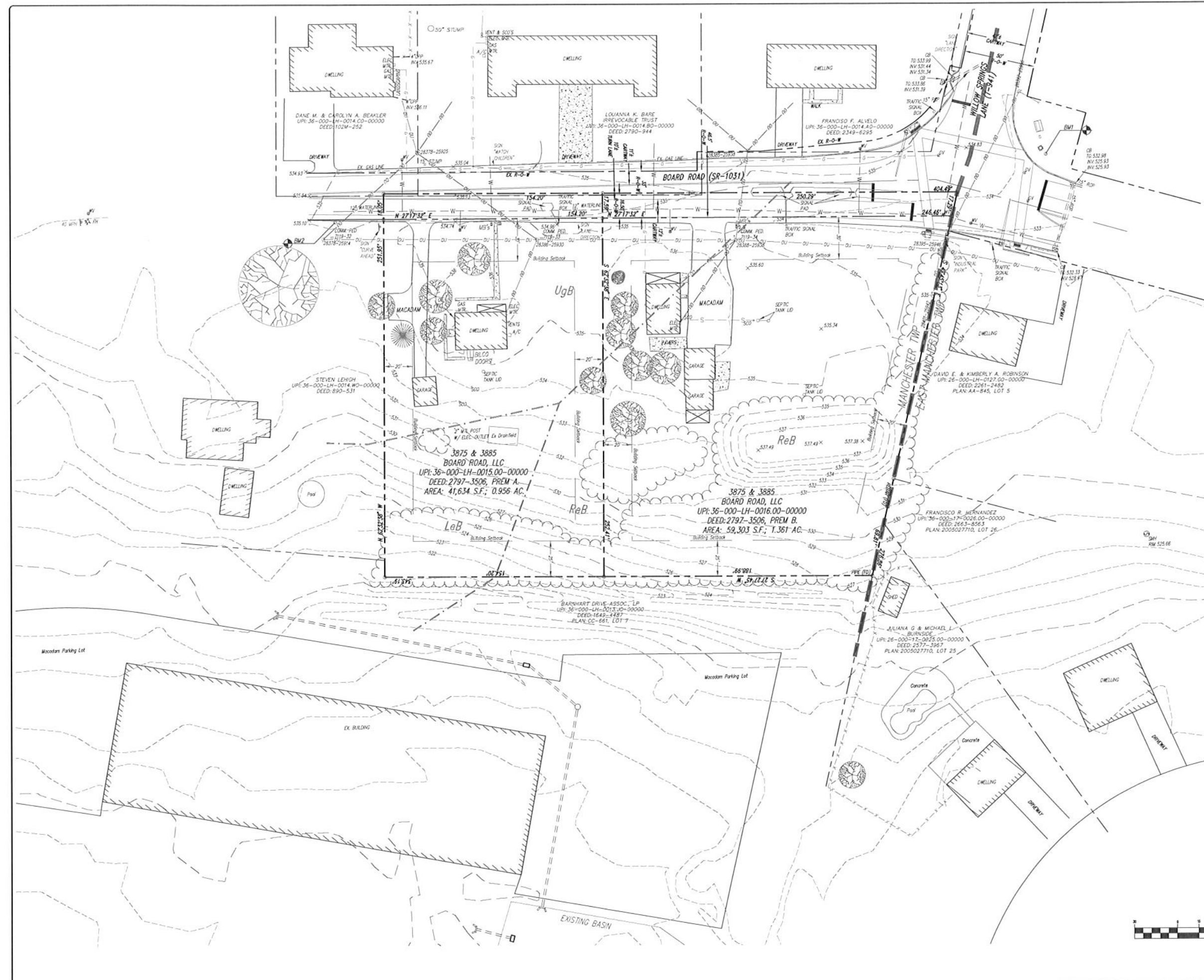
DATE	NO. CHANGES	ENTER DATE	1/26/25
Date	Description	REVISIONS	

3875-3885
BOARD ROAD

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN

PROJECT NO.	24005
DATE	JUNE 3, 2025
SCALE	NTS
SHEET NO.	2 OF 18



- SOILS LEGEND**
Soil cover on the site consists of:
LeB - Lonsdale Loom, 3X-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
PaB - Readington Silty Loom, 3X-8% Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Penn, 0X-8% Slopes,
Not Hydric, Group B, K Factor - N/A
- SURVEY FEATURES LEGEND**
Property Line, Lot Line
Right-of-Way Line
Aspiring Property Line
Building Setback Line
Easement Line
Roadway Center Line
I.P. Found
Project Benchmark
- EXISTING FEATURES LEGEND**
Existing Building
Existing Outbuilding
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
HcB
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/Inlet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

PennTerra
ENGINEERING OF
LANCASTER INC.

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Designer: MAM
Draftsman: PAG
Proj Manager: MAM
Surveyor: SPS
Perimeter Dk: _____
Book: Pg _____
Acad: 2-EX COND
Layout: 3-EX COND

Date	Description	REVISIONS

**3875-3885
BOARD ROAD**

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

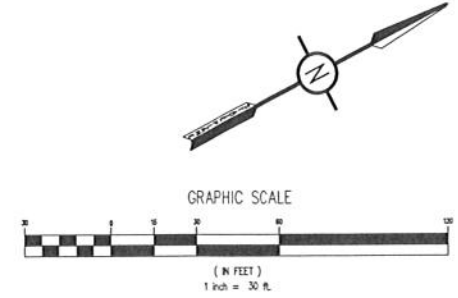
**FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN**

**EXISTING
CONDITIONS
PLAN**

PROJECT NO:
24005

DATE:
JUNE 3, 2025

SCALE: 1"=30'
SHEET NO:
3 OF 18



SOILS LEGEND

Soil cover on the site consists of:
LeB - Lonsdale Loom, 3%-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
ReB - Readington Silt Loom, 3%-8% Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Perk, 0%-8% Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
L.P. Found
Project Benchmark

EXISTING FEATURES LEGEND

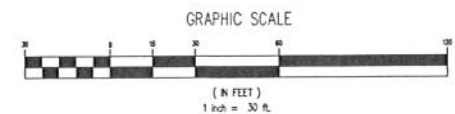
Existing Building
Existing Curbing
Existing Contours (1's)
Existing Contours (5's)
Existing Soil Limit Line/Boundary
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/inlet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole
PROPOSED ULTIMATE R-O-W

EXISTING LOT AREAS

3875 BOARD RD. EXISTING 41,634 S.F. (0.956 AC.) (GROSS) 38,886 S.F. (0.893 AC.) (NET)	3885 BOARD RD. EXISTING 59,303 S.F. (1.361 AC.) (GROSS) 55,024.31 S.F. (1.263 AC.) (NET)
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PROPOSED LOT AREA

PROVIDED AFTER CONSOLIDATION
90,513.39 S.F. (2.078 AC.) (NET)



Designer: MAM
Draftsman: PAG
Proj Manager: MAM
Surveyor: SES
Perimeter: DL
Book: Pg
Acad: 3A-LOT ADD ON
Layout: 4-LOT ADD ON

DATE: 1/28/25
DESCRIPTION: REVISIONS

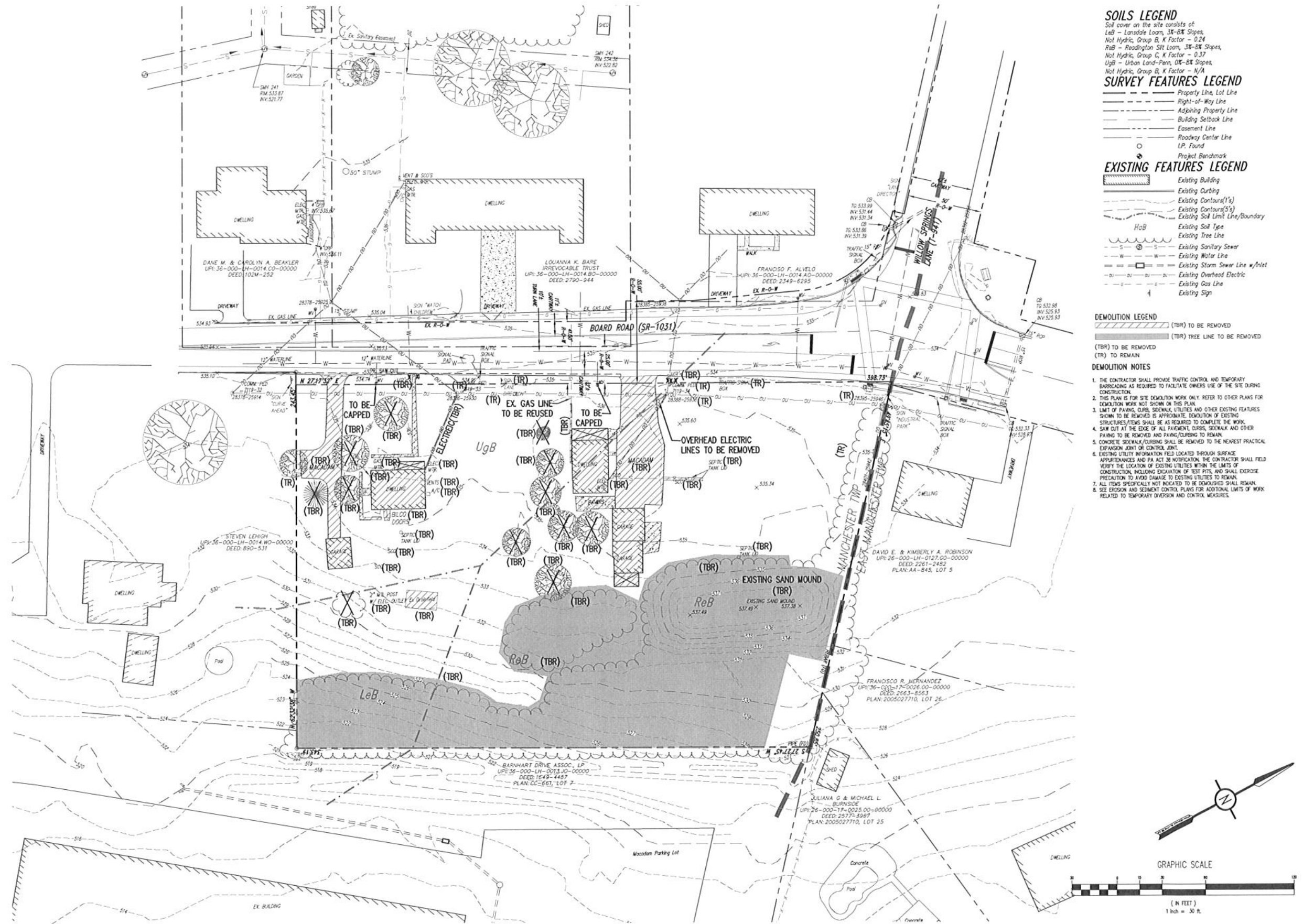
**3875-3885
BOARD ROAD**

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

**FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN**

**LOT ADD ON
PLAN**

PROJECT NO.
24005
DATE
JUNE 3, 2025
SCALE: 1" = 30'
SHEET NO.
4 OF 18



SOILS LEGEND

Soil cover on the site consists of:
LeB - Lonsdale Loom, 3%-6% Slopes,
Not Hydric, Group B, K Factor - 0.24
ReB - Readington Silt Loom, 3%-6% Slopes,
Not Hydric, Group C, K Factor - 0.37
UpB - Urban Land-Plan, 0%-6% Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
LP Found
Project Benchmark

EXISTING FEATURES LEGEND

Existing Building
Existing Curbing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
HoB
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/Inlet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

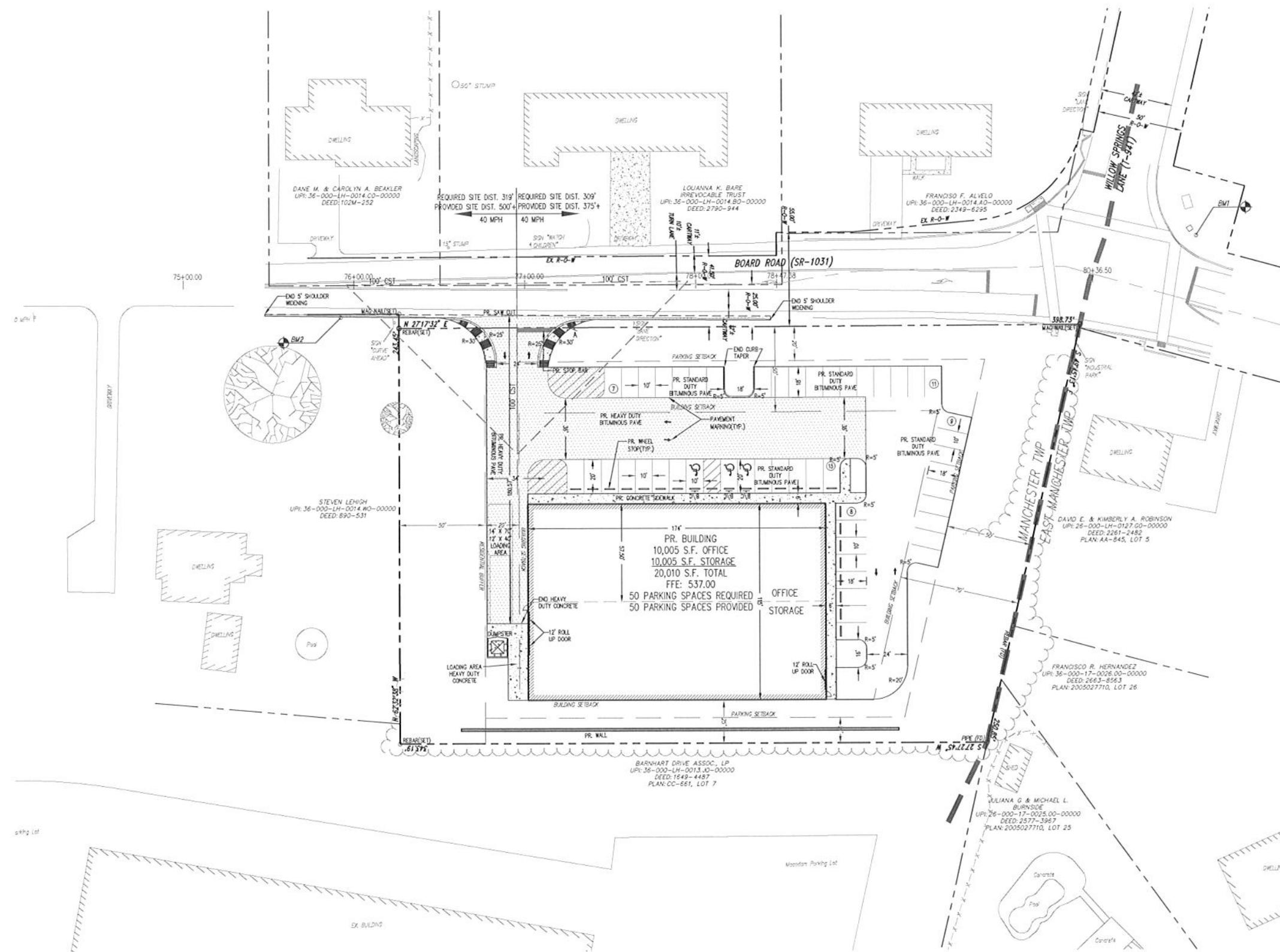
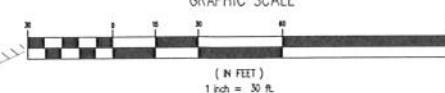
PROPOSED FEATURES LEGEND

PROPOSED BUILDING
PROPOSED CURBING
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE

SIGNAGE LEGEND

SYMBOL	DESCRIPTION	SIZE	PA DOT DESIG.
A	STOP SIGN	24"x24"	R1-1
B	HAND-CAP VAN ACCESSIBLE	6"x12"	R7-BB
C	HAND-CAP SIGN	12"x18"	R7-B

GRAPHIC SCALE



SOILS LEGEND

Soil cover on the site consists of:
LeB - Lonsdale Loom, 3%-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
ReB - Readington Silt Loom, 3%-8% Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Penn, 0%-8% Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
I.P. Found
Project Benchmark

EXISTING FEATURES LEGEND

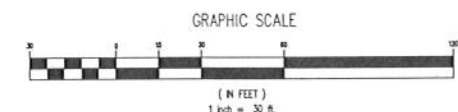
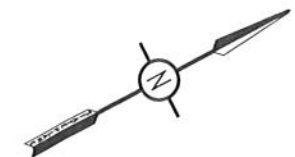
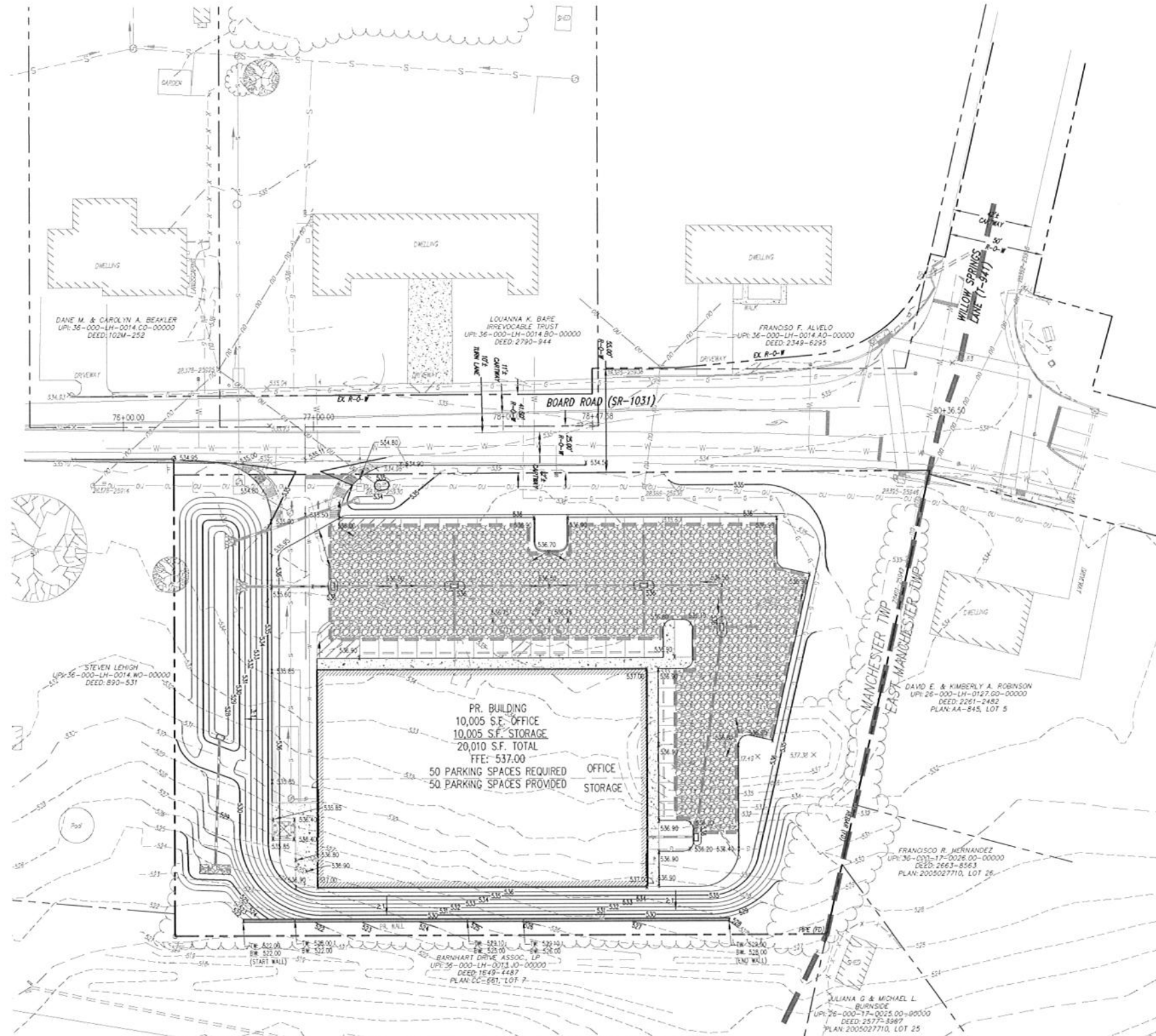
Existing Building
Existing Curbing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
HoB
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/Inlet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

PROPOSED FEATURES LEGEND

PROPOSED BUILDING
PROPOSED CURBING
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE

NOTES:

1. ALL HANDICAPPED ACCESSIBLE RAMPS ARE TO BE BUILT TO CURRENT ADA SPECIFICATIONS.
2. ALL HANDICAPPED ACCESSIBLE PARKING SPACES, NOT TO EXCEED 2% IN ANY DIRECTION.
3. ALL SIDEWALKS AND CROSSWALKS, NOT EXCEED 5% WALKING SLOPE OR 2% CROSS SLOPE.



Designer: MAM
Draftsman: PAC
Proj Manager: MAM
Surveyor: SSS
Partner: DL
Book: Pg
Acad: S-GRADING
Layout: T-GRADING

**3875-3885
BOARD ROAD**

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

**FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN**

GRADING PLAN

PROJECT NO.
24005
DATE
JUNE 3, 2025
SCALE
1"=30'
SHEET NO.
7 OF 18

SOILS LEGEND

Soil cover on the site consists of:
LeB - Lonsdale Loom, 3%-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
ReB - Readington Silt Loom, 3%-8% Slopes,
Not Hydric, Group G, K Factor - 0.37
UgB - Urban Land-Penn, 0%-8% Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

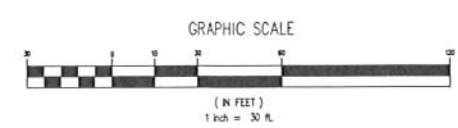
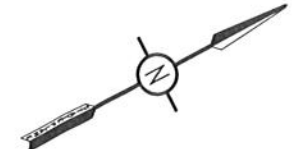
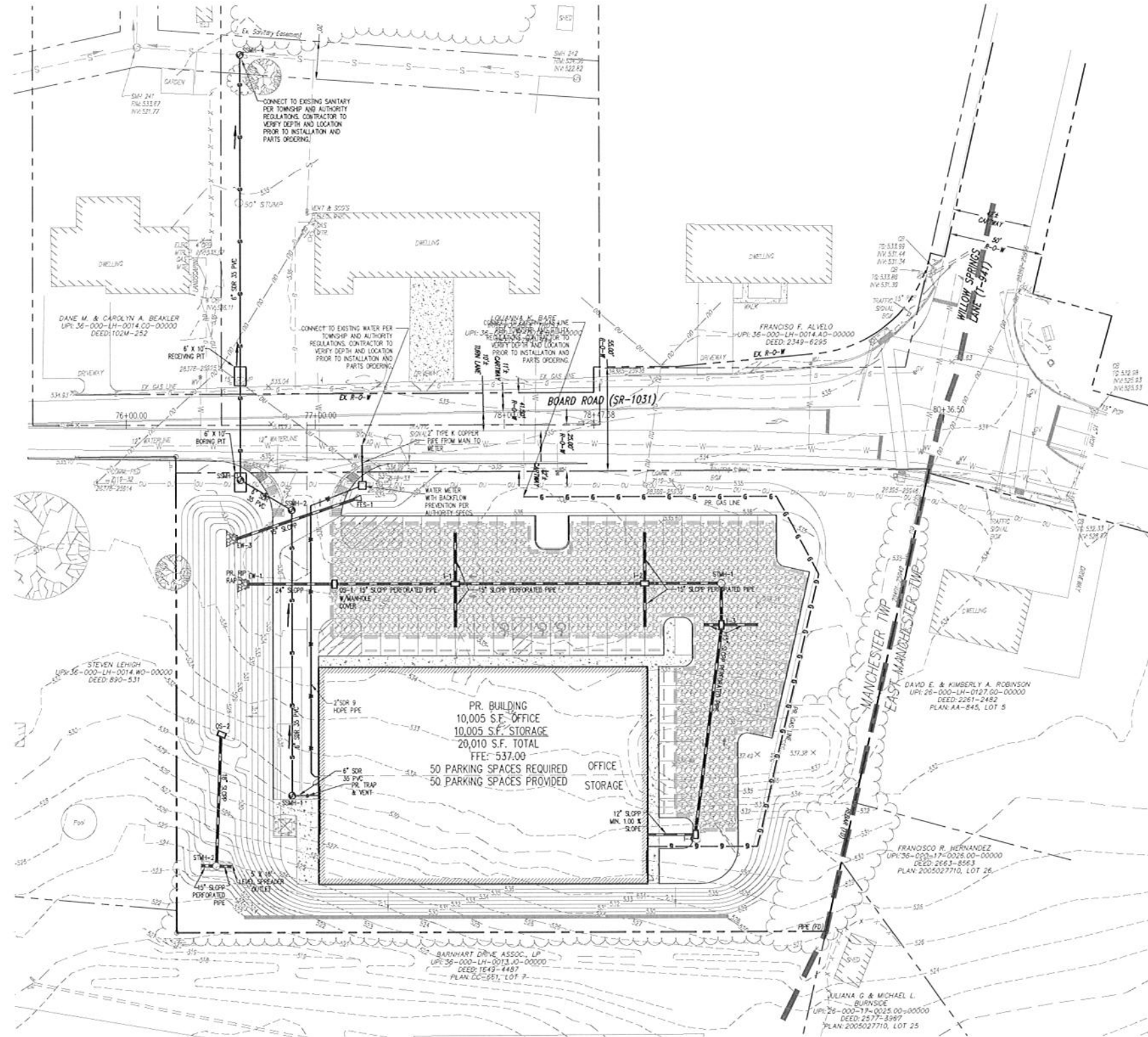
Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
LP, Found
Project Benchmark

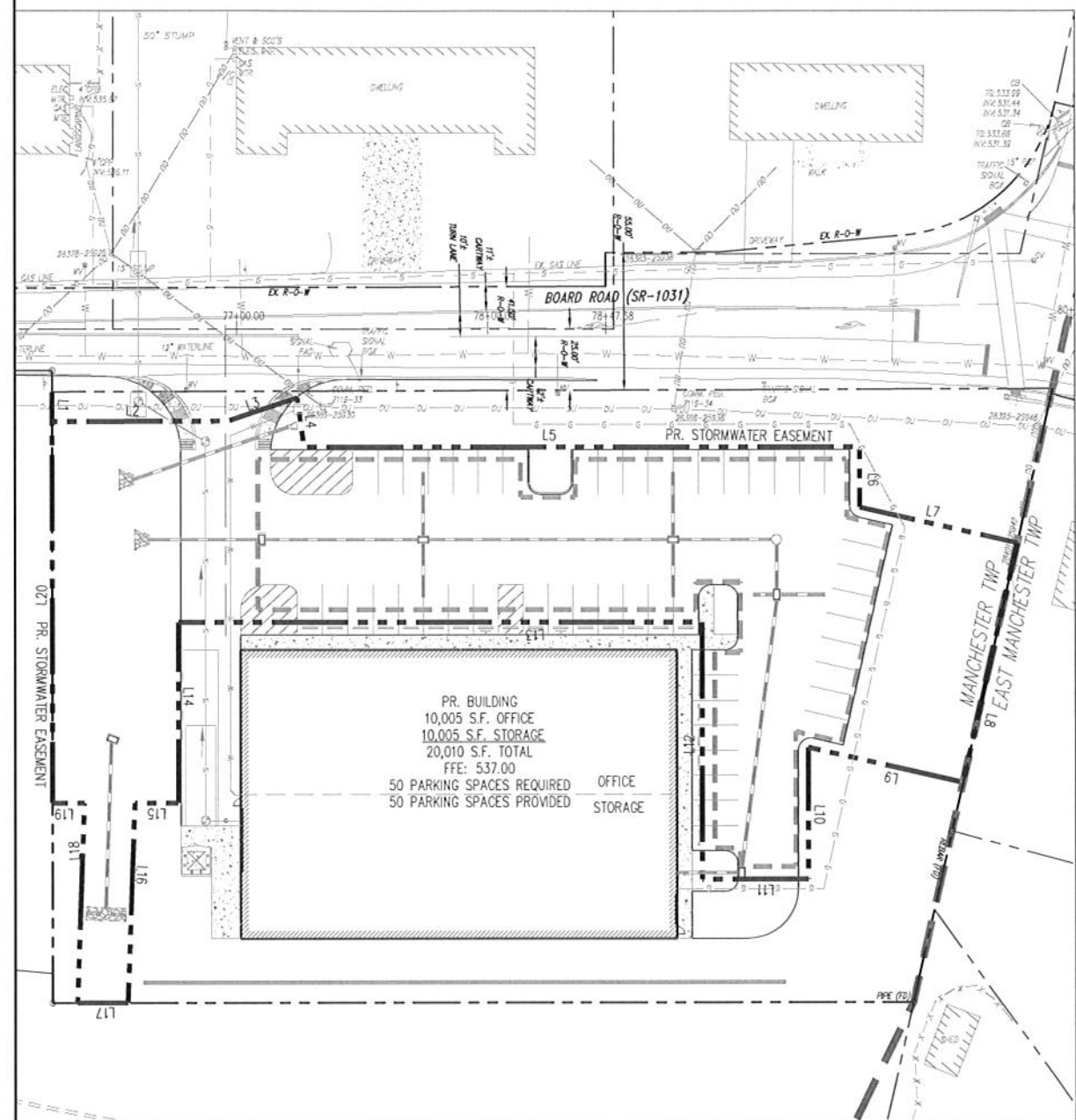
EXISTING FEATURES LEGEND

Existing Building
Existing Curbing
Existing Contours (1's)
Existing Contours (5's)
Existing Soil Limit Line/Boundary
HoB
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/rirel
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

PROPOSED FEATURES LEGEND

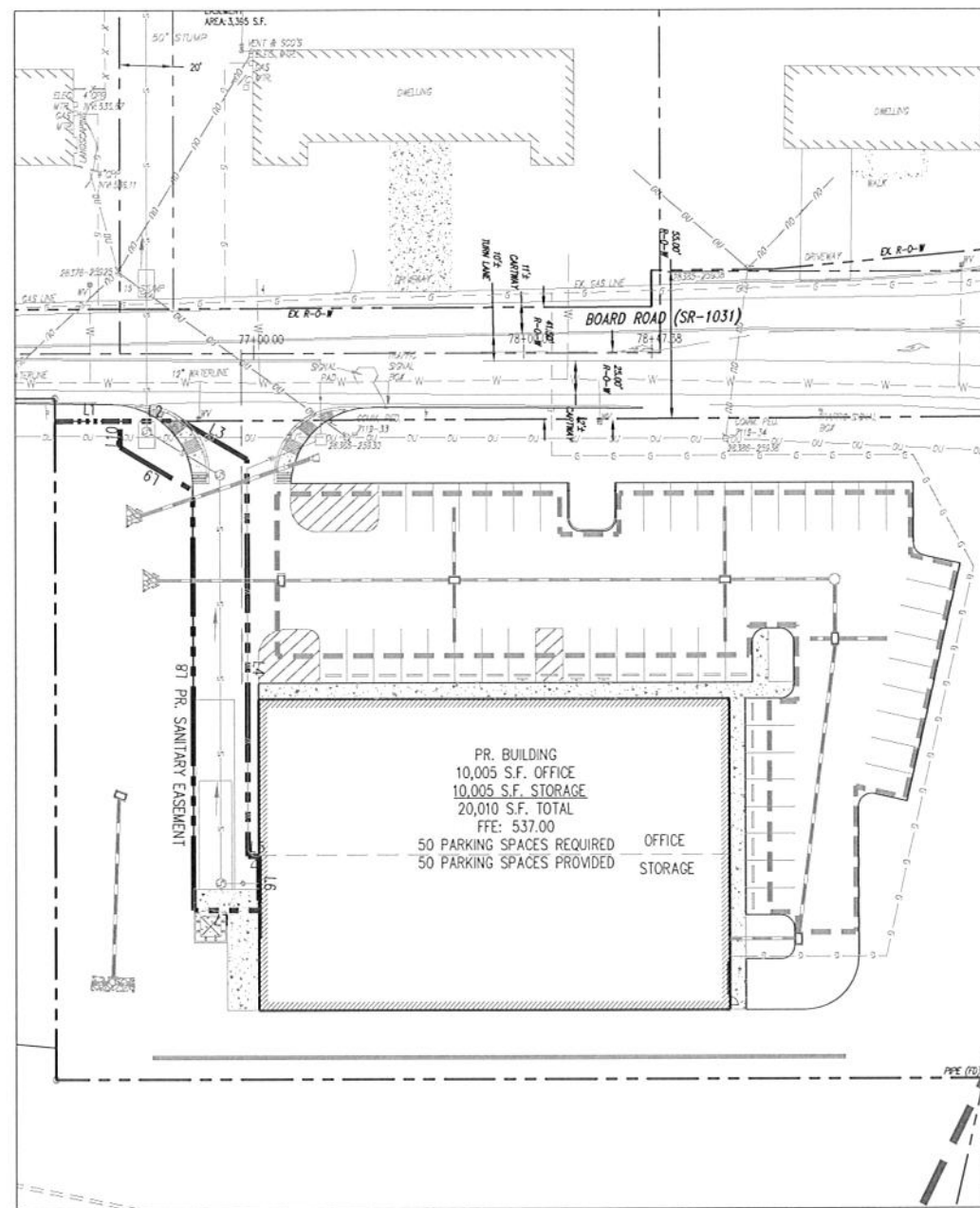
PROPOSED BUILDING
PROPOSED CURBING
500' PROPOSED MAJOR CONTOURS
499' PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE





STORMWATER EASEMENT TABLE		
LINE	DIRECTION	LENGTH
L1	S 62° 32' 38" E	11.89
L2	N 27° 17' 32" E	69.99
L3	N 08° 57' 08" E	29.33
L4	S 70° 36' 01" E	19.78
L5	N 27° 27' 45" E	221.22
L6	S 62° 31' 44" E	24.12
L7	N 40° 14' 47" E	64.57
L8	S 49° 45' 13" E	98.00
L9	S 40° 14' 45" W	63.53
L10	S 62° 32' 15" E	52.28

STORMWATER EASEMENT TABLE		
LINE	DIRECTION	LENGTH
L11	S 27° 27' 45" W	42.00
L12	N 62° 32' 15" W	102.50
L13	S 27° 27' 45" W	209.00
L14	S 62° 32' 15" E	71.93
L15	S 27° 27' 45" W	17.47
L16	S 60° 32' 36" E	79.61
L17	S 27° 27' 45" W	20.01
L18	N 60° 32' 36" W	79.61
L19	S 27° 27' 45" W	12.62
L20	N 62° 32' 38" W	152.00



SANITARY EASEMENT TABLE		
LINE	DIRECTION	LENGTH
L1	N 27° 17' 32" E	24.18
L2	N 27° 17' 32" E	22.86
L3	N 58° 06' 18" E	27.99
L4	S 62° 32' 15" E	146.82
L5	N 27° 27' 45" E	4.00
L6	S 62° 32' 15" E	20.00
L7	S 27° 27' 45" W	24.00
L8	N 62° 32' 15" W	155.43
L9	S 58° 06' 18" W	32.32
L10	N 62° 32' 28" W	9.63

SOILS LEGEND

Soil cover on the site consists of:
LeB - Lonsdale Loom, 3%-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
ReB - Readington Silt Loom, 3%-8% Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Penn., 0%-8% Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

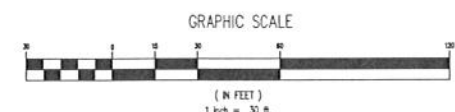
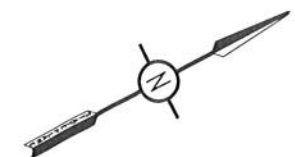
Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
I.P. Found
Project Benchmark

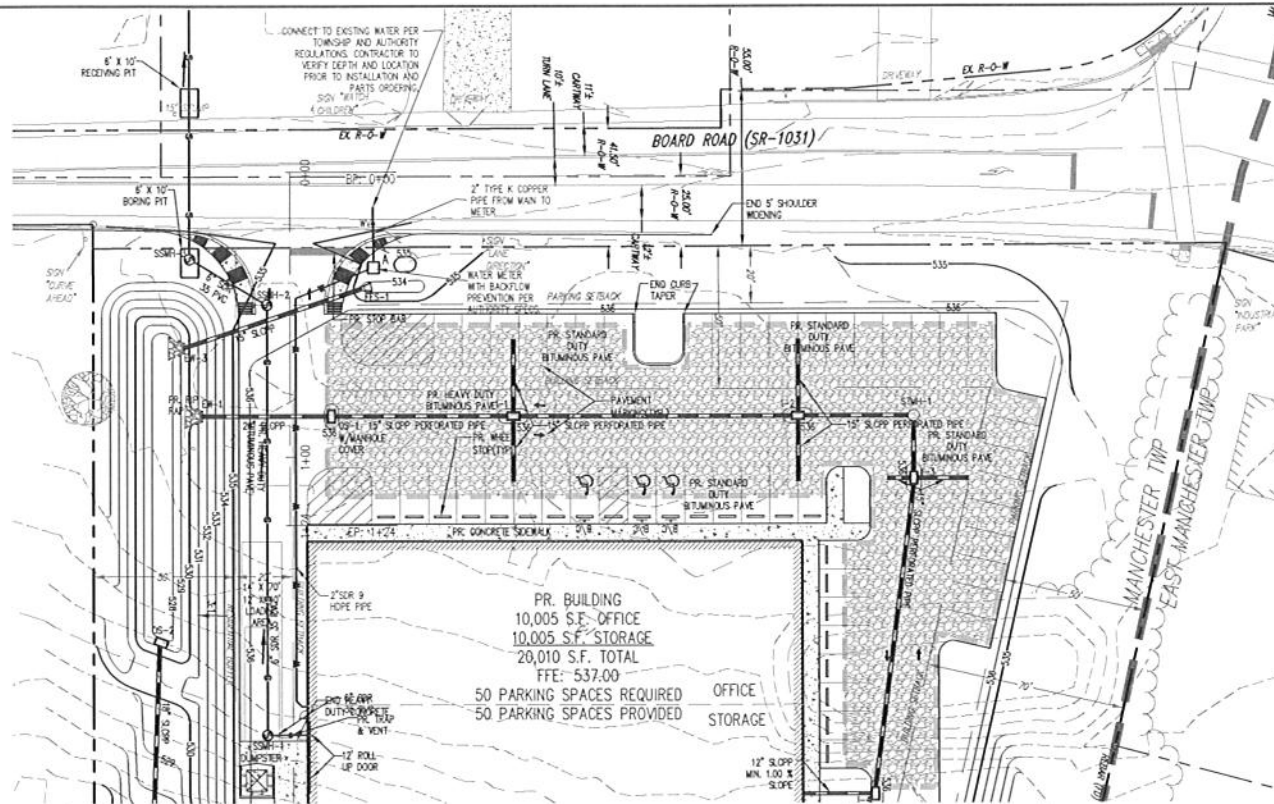
EXISTING FEATURES LEGEND

Existing Building
Existing Curbing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/Inlet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

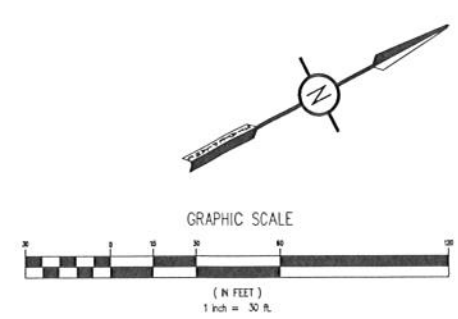
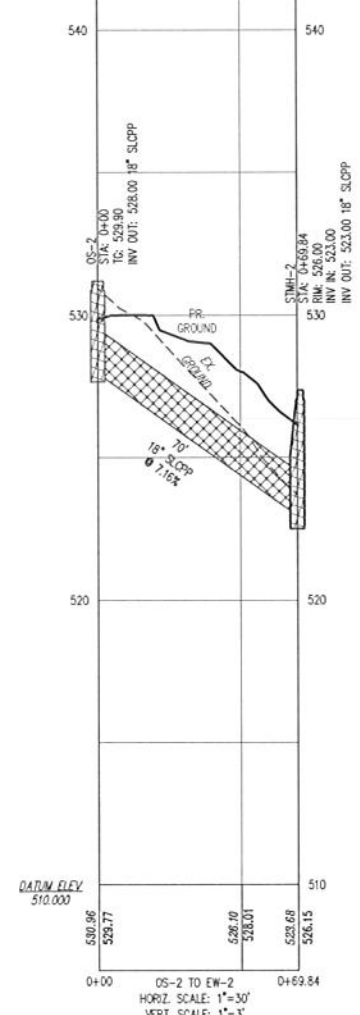
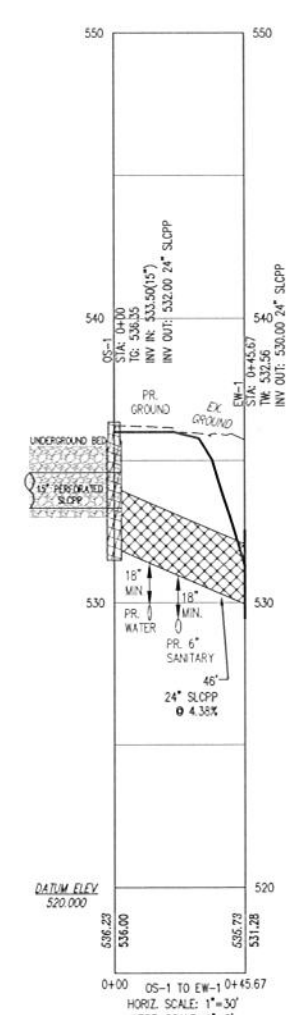
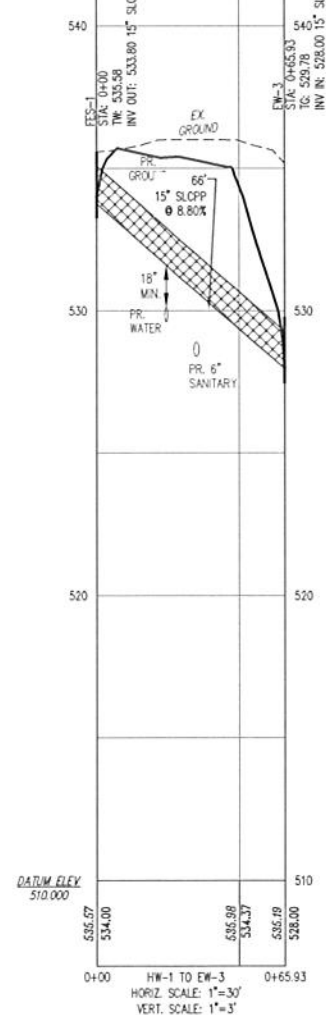
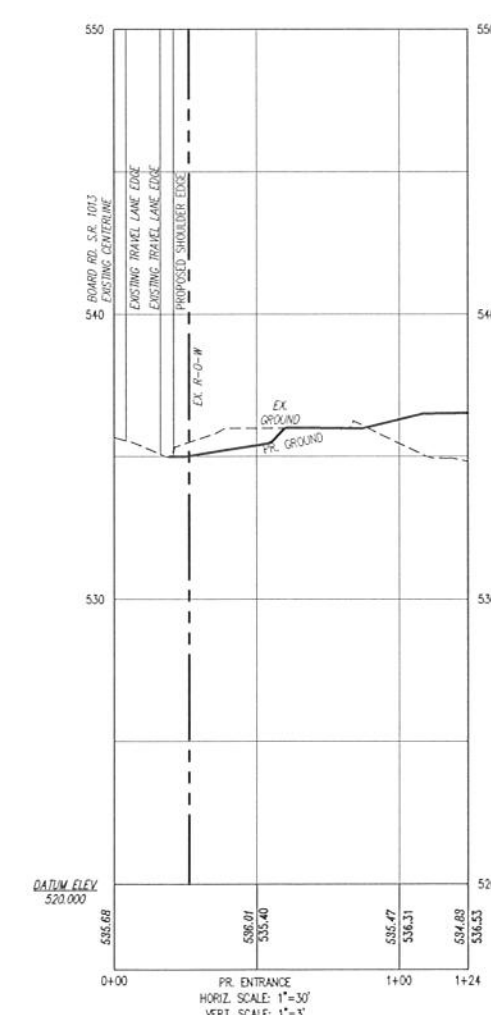
PROPOSED FEATURES LEGEND

PROPOSED BUILDING
PROPOSED CURBING
500' PROPOSED MAJOR CONTOURS
499' PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE





- SOILS LEGEND**
Soil cover on the site consists of:
LeB - Lonsdale Loom, 3X-6X Slopes, Not Hydric, Group B, K Factor - 0.24
ReB - Readington Silt Loom, 3X-6X Slopes, Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Plan, 0X-6X Slopes, Not Hydric, Group B, K Factor - N/A
- SURVEY FEATURES LEGEND**
Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
I.P. Found
Project Benchmark
- EXISTING FEATURES LEGEND**
Existing Building
Existing Curbing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/triet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole
- PROPOSED FEATURES LEGEND**
PROPOSED BUILDING
PROPOSED CURBING
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE



3904 B ABEL DRIVE
COLUMBIA, PA 17512
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Fax: 717-522-5046
WWW.PTELANC.COM

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Designer: WJM
Draftsman: PAG
Proj Manager: WJM
Surveyor: SES
Perimeter Dk: _____
Book: _____ Pg: _____
Acad: _____ 7-PROFILES
Layout: _____ 10-PROFILES

Date	Description

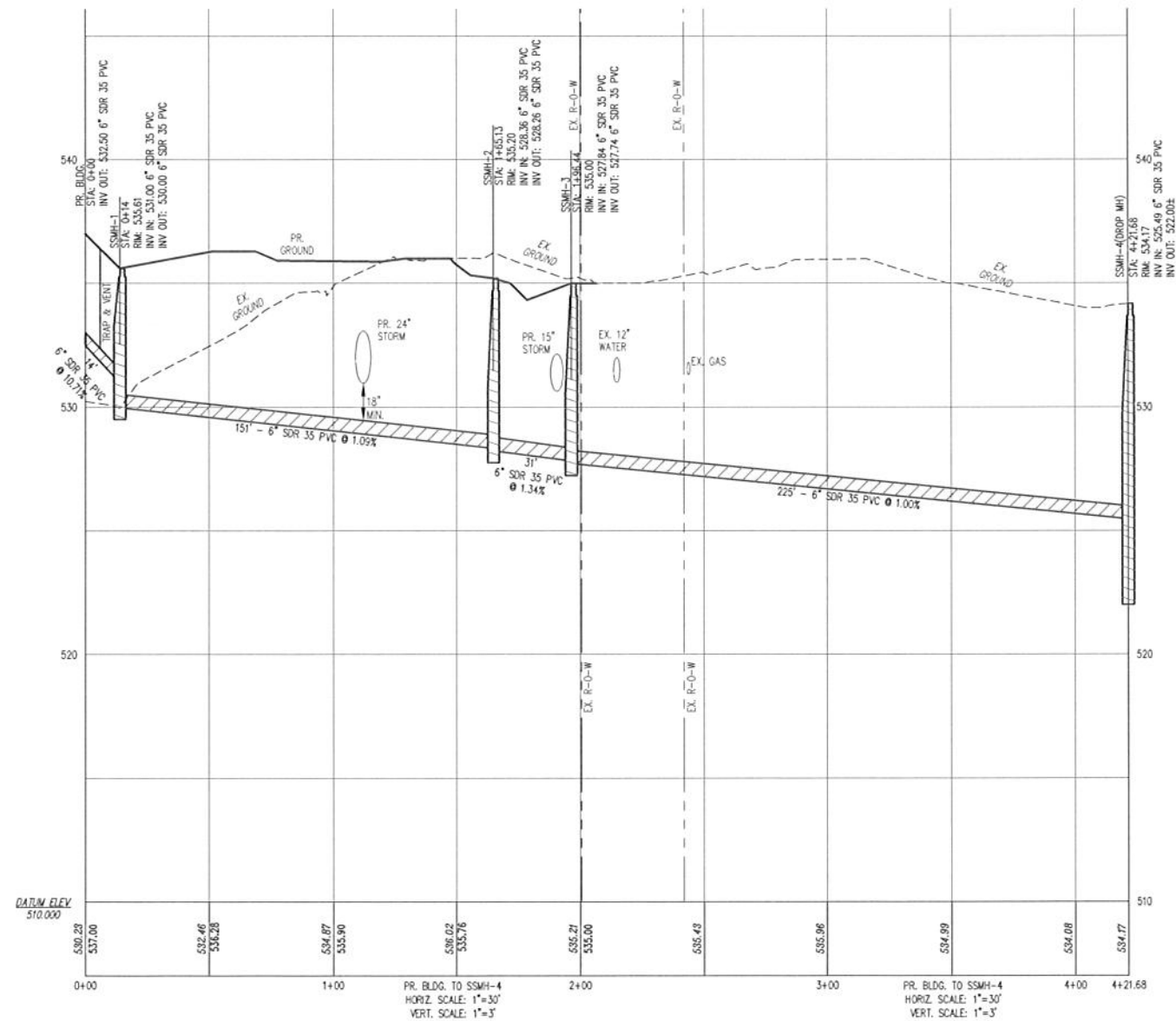
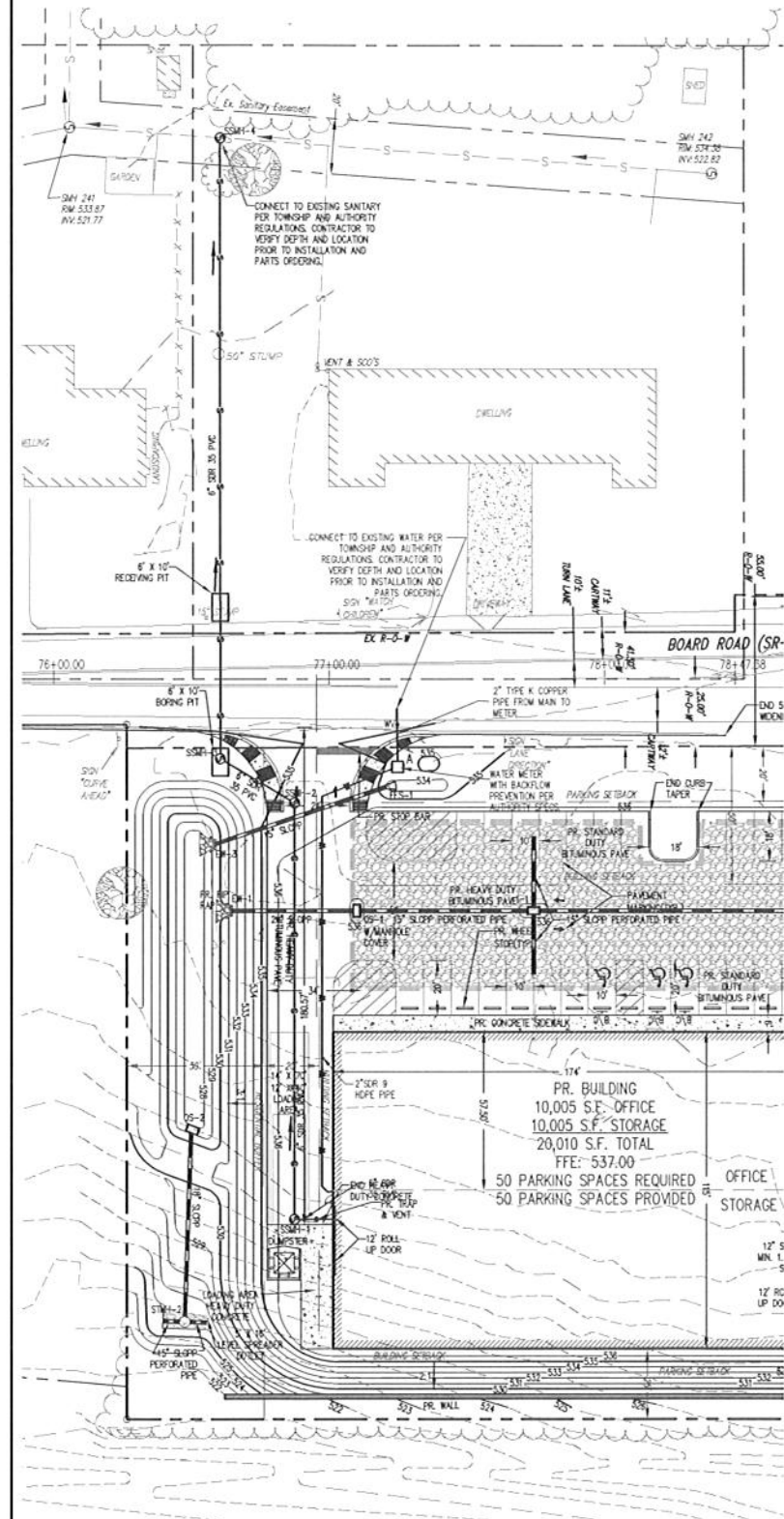
**3875-3885
BOARD ROAD**

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

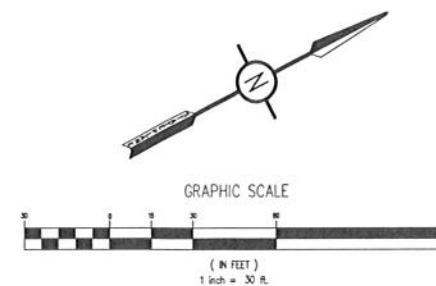
**FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN**

PROFILES

PROJECT NO. 24005
DATE JUNE 3, 2025
SCALE 1"=30'
SHEET NO. 10 OF 18



- SOILS LEGEND**
Soil cover on the site consists of:
LaB - Lonsdale Loom, 3%-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
RuB - Readington SR Loom, 3%-8% Slopes,
Not Hydric, Group C, K Factor - 0.37
UyB - Urban Land-Penn, 0%-8% Slopes,
Not Hydric, Group B, K Factor - N/A
- SURVEY FEATURES LEGEND**
Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
I.P. Found
Project Benchmark
- EXISTING FEATURES LEGEND**
Existing Building
Existing Curbing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/Inlet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole
- PROPOSED FEATURES LEGEND**
PROPOSED BUILDING
PROPOSED CURBING
500' PROPOSED MAJOR CONTOURS
499' PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE



PennTerra
ENGINEERING OF
LANCASTER INC.

3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5048
WWW.PTELANC.COM

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Designer: WAM
Draftsman: FAG
Proj Manager: WAM
Surveyor: SES
Perimeter Dk: _____
Book: Pg. _____
Acad: 1-PROFILES
Layout: 11-PROFILES SAN

REVISIONS

**3875-3885
BOARD ROAD**

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

**FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN**

PROFILES

PROJECT NO:
24005
DATE:
JUNE 3, 2025
SCALE:
1"=30'
SHEET NO:
11 OF 18

SOILS LEGEND

Soil cover on the site consists of:
LeB - Lonsdale Loam, 3%-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
ReB - Readington Silty Loam, 3%-8% Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Penn, 0%-8% Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
L.P. Found
Project Benchmark

EXISTING FEATURES LEGEND

Existing Building
Existing Cutting
Existing Contour(1's)
Existing Contour(5's)
Existing Soil Limit Line/Boundary
HoB
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/Inlet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

PROPOSED FEATURES LEGEND

PROPOSED BUILDING
PROPOSED CURBS
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE

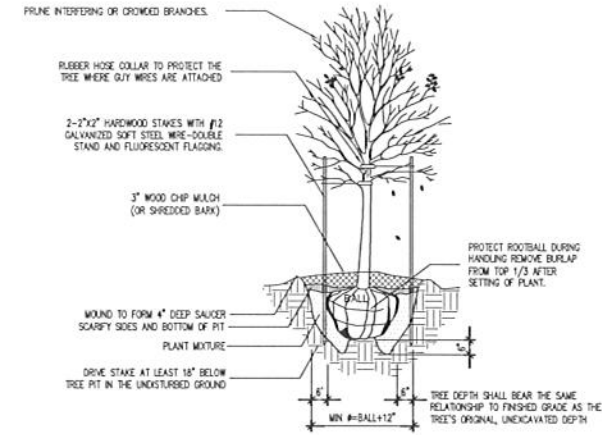
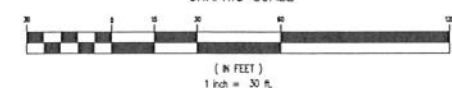
TOTAL INTERIOR LANDSCAPE PARKING 23,615 S.F.
REQUIRED - 1,181 S.F.
PROVIDED - 1,330 S.F.

PLANT SYMBOL LEGEND

DECIDUOUS TREE
SHRUB
PLANT KEY

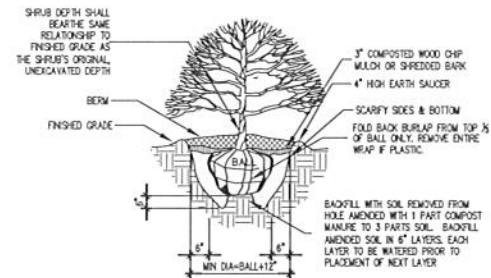


GRAPHIC SCALE



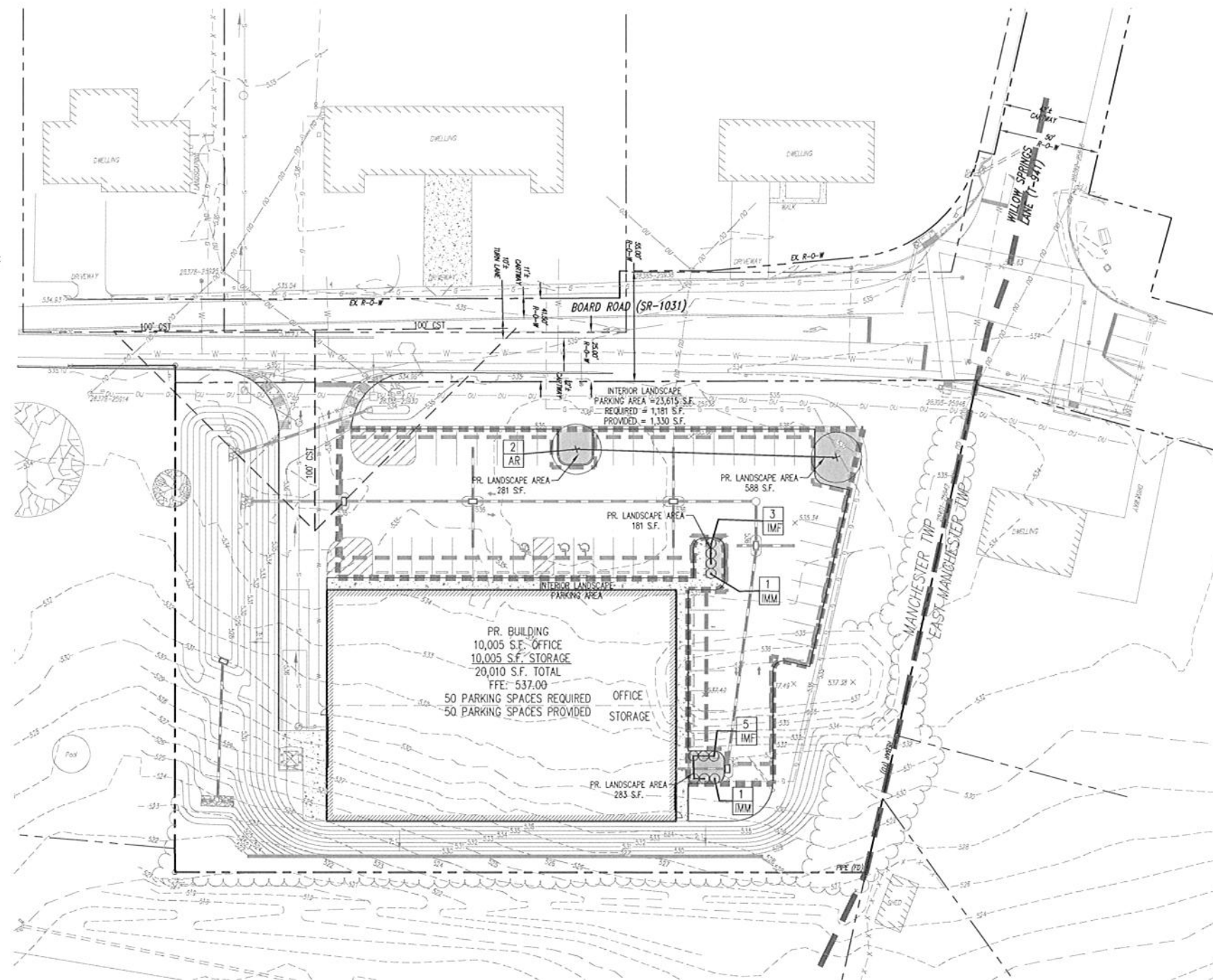
TYPICAL TREE PLANTING DETAIL

NOT TO SCALE



TYPICAL SHRUB PLANTING DETAIL

NOT TO SCALE



PLANT LIST - Board Road

KEY	QTY.	BOTANICAL/ COMMON NAME	TYPE	SIZE	CONDITION
AR	2	ACER RUBRUM - RED MAPLE	MAJOR DECIDUOUS	2" CAL.	B & B
IMF	8	ILEX X MESERVEAE 'BLUE PRINCESS'- BLUE PRINCESS HOLLY (FEMALE)	SHRUB	3 GALLON	CONTAINER
IMM	2	ILEX X MESERVEAE 'BLUE PRINCE'- BLUE PRINCE HOLLY (MALE)	SHRUB	3 GALLON	CONTAINER

Designer: MAM
Draftsman: PAG
Proj Manager: MAM
Surveyor: SES
Perimeter Dk: _____
Book: Pg _____
Acad: B-LANDSCAPE
Layout: 12-LANDSCAPE

3875-3885
BOARD ROAD

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN

LANDSCAPE PLAN

PROJECT NO.
24005
DATE
JUNE 3, 2025
SCALE
1"=30'
SHEET NO.
12 OF 18

LUMINAIRE SCHEDULE				HEIGHT FOR POLE MOUNTED FIXTURES: 20' HEIGHT FOR BUILDING MOUNTED FIXTURES: 12'					
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	WATTS
	A	2	DSK2 LED P4 40K 800R BLC4	DSK2 LED P4 4000K CCT 80 CRI Type 4 Extreme Backlight Control	LED	DSK2_LED_P4_40K_800R_BLC4.lis	ABSOLUTE	0.95	272.7
	B	2	DSK2 LED P4 40K 14W WVOLT HS	DSK2 LED P4 40K 14W WVOLT with housewide shield	LED	DSK2_LED_P4_40K_14W_WVOLT_HS.lis	ABSOLUTE	0.95	270
	C	8	WFL1 LED P2 40K Wvlt	WFL1 LED w/spot 3000m 4000K color temperature 120-277 Volts	LED	WFL1_LED_P2_40K_Wvlt.lis	ABSOLUTE	0.95	24.4

SURVEY FEATURES LEGEND

- Property Line, Lot Line
- Right-of-Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- I.P. Found
- Project Benchmark

EXISTING FEATURES LEGEND

- Existing Building
- Existing Curbing
- Existing Contours(1's)
- Existing Contours(5's)
- Existing Soil Limit Line/Boundary
- Existing Soil Type
- Existing Tree Line
- Existing Sanitary Sewer
- Existing Water Line
- Existing Storm Sewer Line w/Inlet
- Existing Overhead Electric
- Existing Gas Line
- Existing Sign
- Existing Utility Pole

PROPOSED FEATURES LEGEND

- PROPOSED BUILDING
- PROPOSED CURBING
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED STORM SEWER
- PROPOSED CONCRETE AREAS
- PROPOSED HEAVY DUTY PAVE
- PROPOSED STANDARD DUTY PAVE

NO.	DATE	BY	DESCRIPTION
1	06/12/25	MM	ISSUED FOR PERMIT
2	06/12/25	MM	REVISED

Designer	MM
Draftsman	PAO
Proj Manager	MM
Surveyor	SFS
Perimeter Dk.	
Book	Pg
Acad	8-LIGHTING
Layout	13-LIGHTING

3875-3885
BOARD ROAD

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

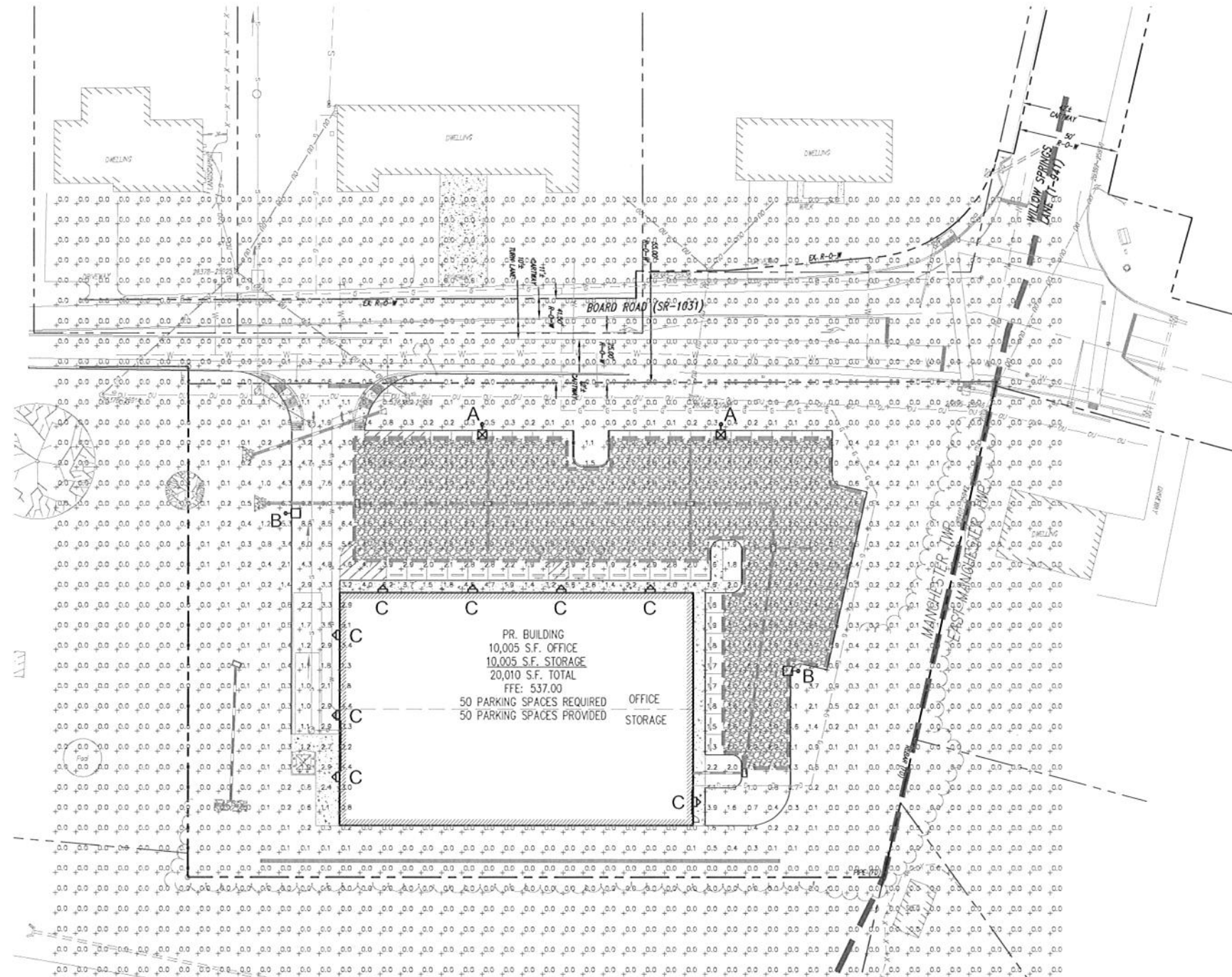
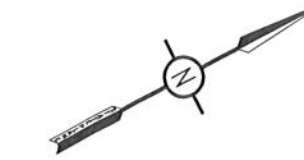
FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN

LIGHTING PLAN

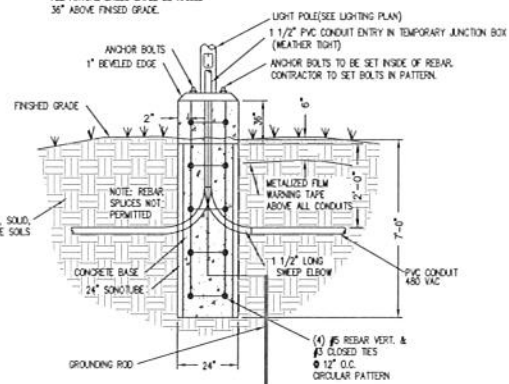
PROJECT NO.	24005
DATE	JUNE 3, 2025
SCALE	1"=30'
SHEET NO.	13 OF 18

GRAPHIC SCALE

(IN FEET)
1" = 30'



NOTE:
ALL FIXTURE BASES SHALL BE RAISED
36" ABOVE FINISHED GRADE.



LIGHT POLE FOUNDATION DETAIL

NOT TO SCALE

SOILS LEGEND

Soil cover on the site consists of:
LeB - Lonsdale Loam, 3%-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
ReB - Readington Silt Loam, 3%-8% Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Pans, 0%-8% Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
LP Found
Project Benchmark

EXISTING FEATURES LEGEND

Existing Building
Existing Curbing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
HaB
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/Inlet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

PROPOSED FEATURES LEGEND

PROPOSED BUILDING
PROPOSED CURBING
PROPOSED MAJOR CONTOURS
499
PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE

Designer: MAM
Draftsman: PAC
Proj Manager: MAM
Surveyor: SES
Perimeter Ok: _____
Book: _____ Pg: _____
Acut: 10-TRUCK
Layout: 14-TRUCK

DATE: 1/1/25
Date: _____
Description: _____
REVISIONS

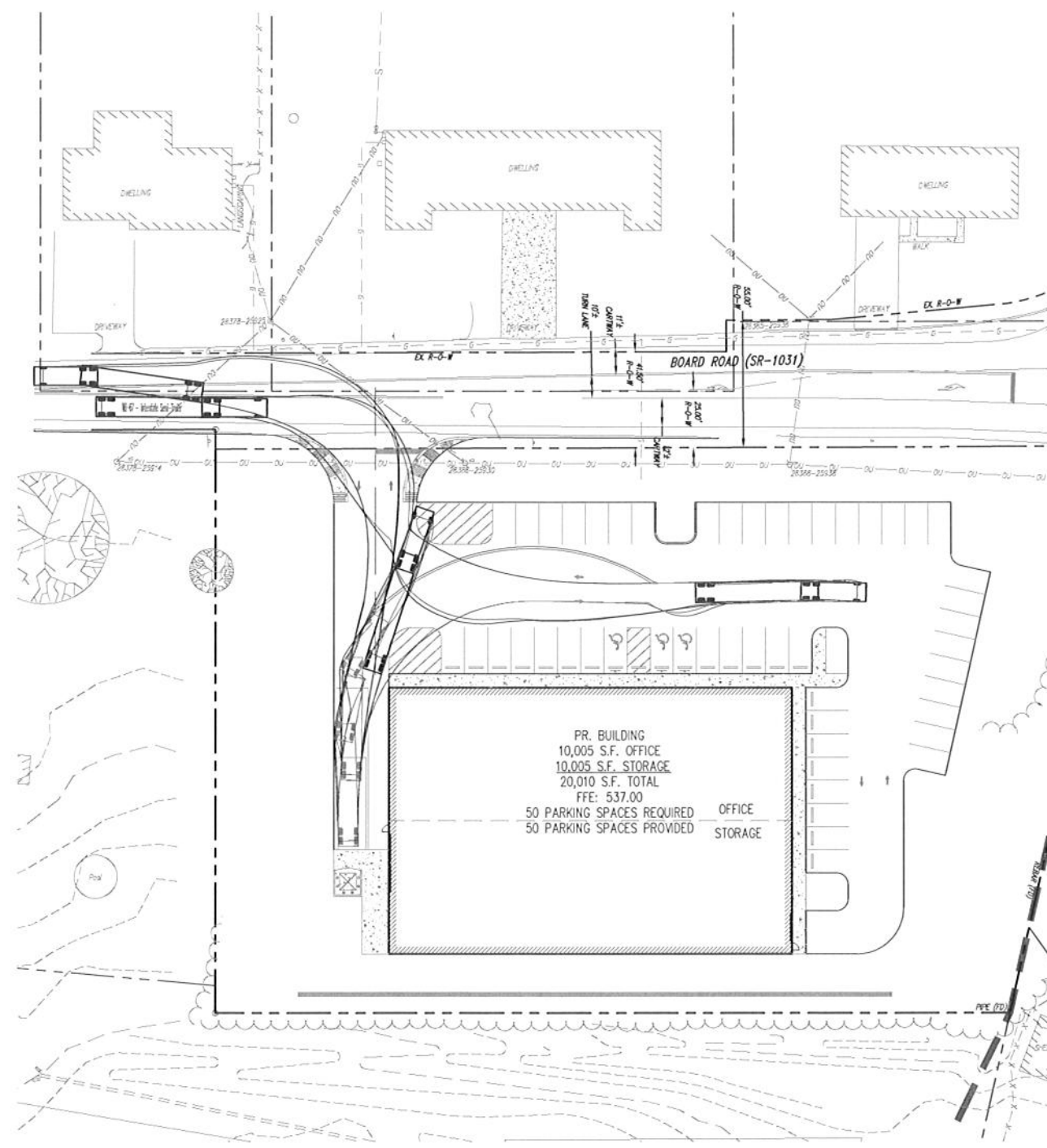
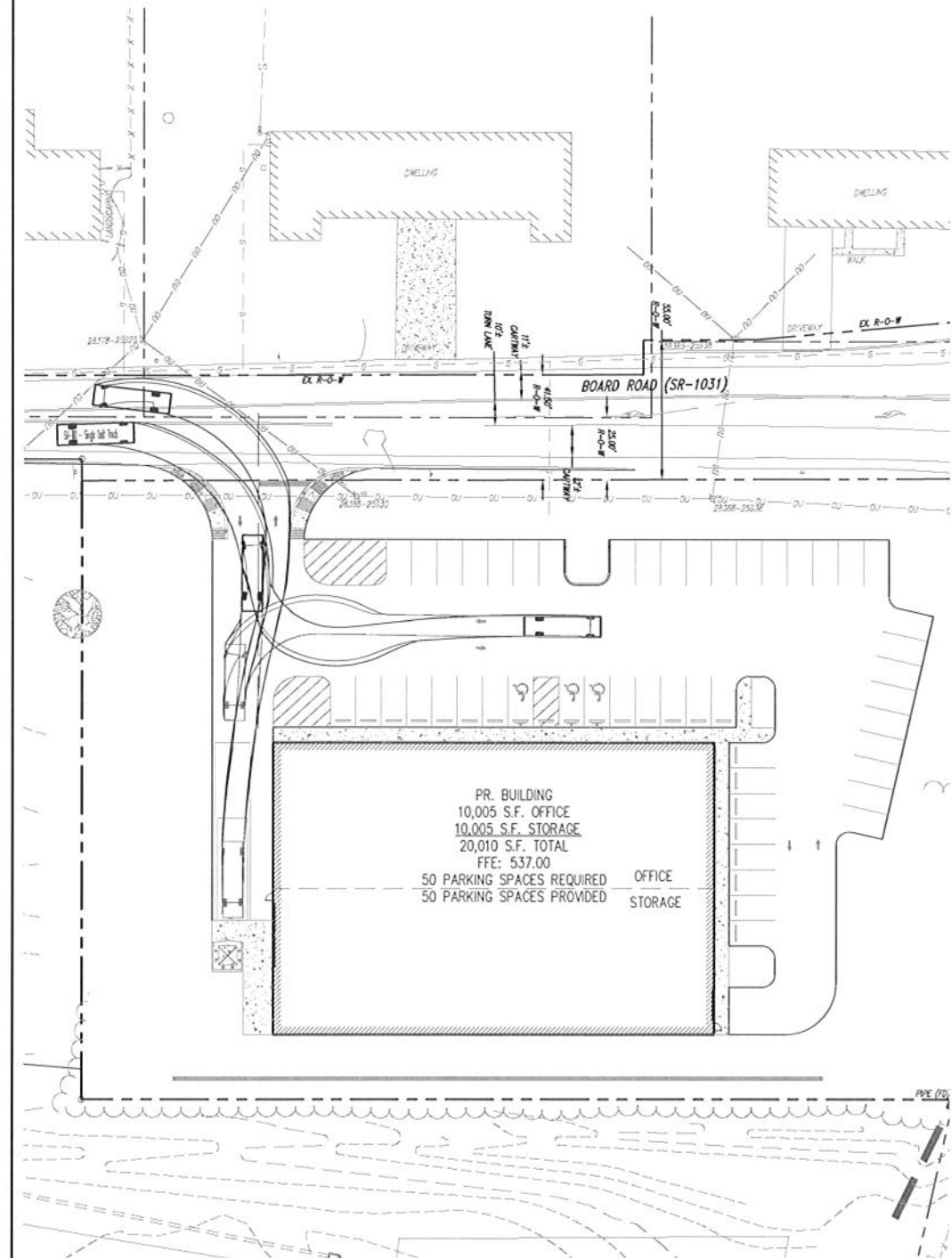
**3875-3885
BOARD ROAD**

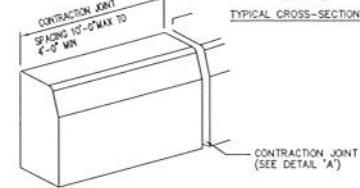
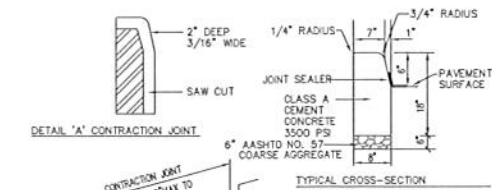
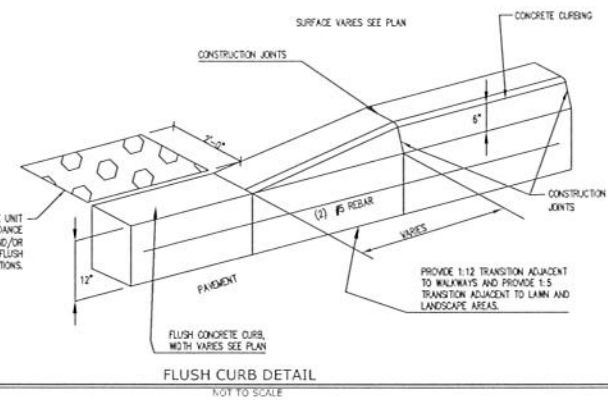
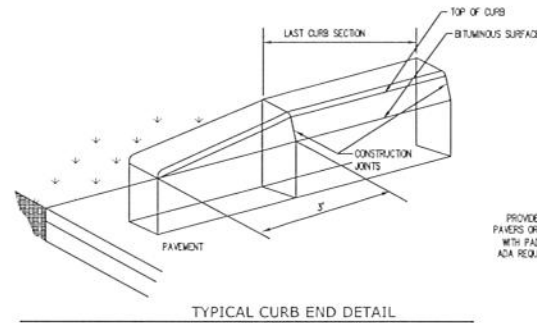
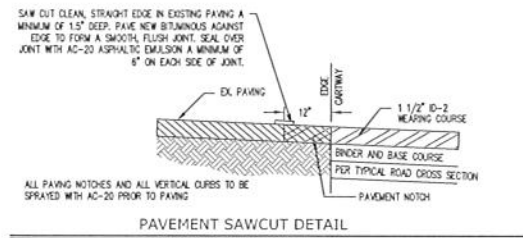
MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

**FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN**

**TRUCK
MOVEMENT PLAN**

PROJECT NO:
24005
DATE:
JUNE 3, 2025
SCALE: 1"=30'
SHEET NO:
14 OF 18

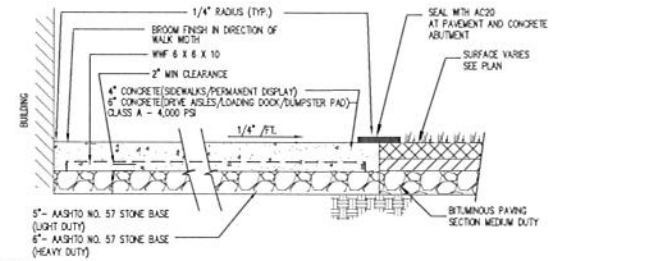




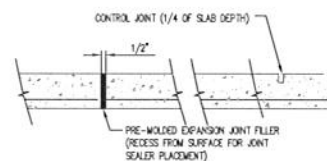
- NOTES:
1. MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 408, SECTION 630, FOR PLAN CEMENT CONCRETE CURB AND FOR DEPRESSION CURB, SECTION 640 FOR PLAN CEMENT CONCRETE CURB AND FOR PLAN CEMENT CONCRETE CURB BUTTER.
 2. PLACE 3/4-INCH PREMOULDED EXPANSION JOINT AT MAXIMUM INTERVALS OF 50'-0" AT ALL STRUCTURES/INLETS AND AT THE END OF EACH WORKDAY.
 3. SEE R1-1 FOR PLAN CEMENT CONCRETE CURB BUTTER TREATMENT AT END OF STRUCTURES.
 4. CONCRETE CURB CONSTRUCTED PER SECTION 641 "PLAN CEMENT CONCRETE CURB BUTTER" PA DOT SPECIFICATION, 1970, AS AMENDED.

STANDARD CONCRETE CURB

NOT TO SCALE

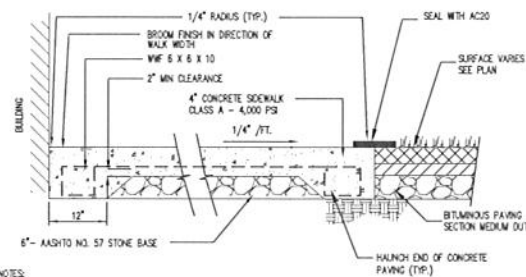


- NOTES:
1. EXPANSION JOINTS LOCATED AT 3 TIMES WALK WIDTH, 25' O.C. MAXIMUM.
 2. TOOLED JOINTS LOCATED AT INCREMENTS EQUAL TO WALK WIDTH.
 3. SIDEWALK IS TO BE STIFF BROOM FINISHED IN THE DIRECTION OF SIDEWALK WIDTH.
 4. WIDTH PER PLAN.
 5. CONTROL JOINTS SHALL BE CUT WITHIN 72 HOURS OF PLACEMENT.
 6. ALL EXPANSION JOINTS MUST BE SEALED OR CAULKED.



CONCRETE SIDEWALK/PAVEMENT DETAIL

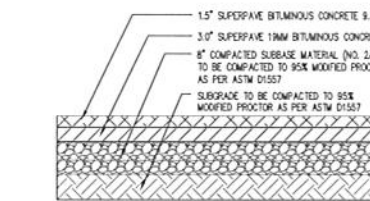
NOT TO SCALE



- NOTES:
1. EXPANSION JOINTS LOCATED AT 3 TIMES WALK WIDTH, 25' O.C. MAXIMUM.
 2. TOOLED JOINTS LOCATED AT INCREMENTS EQUAL TO WALK WIDTH.
 3. SIDEWALK IS TO BE STIFF BROOM FINISHED IN THE DIRECTION OF SIDEWALK WIDTH.
 4. WIDTH PER PLAN.
 5. CONTROL JOINTS SHALL BE CUT WITHIN 72 HOURS OF PLACEMENT.
 6. ALL EXPANSION JOINTS MUST BE SEALED OR CAULKED.

CONCRETE SIDEWALK/PAVEMENT DETAIL (BUILDING AREAS)

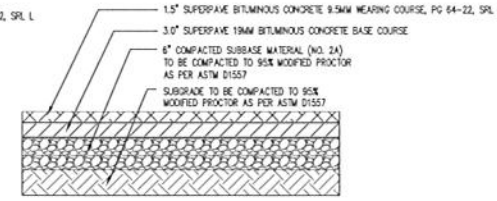
NOT TO SCALE



- NOTE: 1. ALL PAVING MATERIALS AND INSTALLATION PROCEDURES SHALL CONFORM TO PA DOT PUBLICATION 408, MOST RECENT AMENDMENT.
2. DESIGN ESALS TO BE < 0.3 MILLION.

HEAVY-DUTY BITUMINOUS PAVING

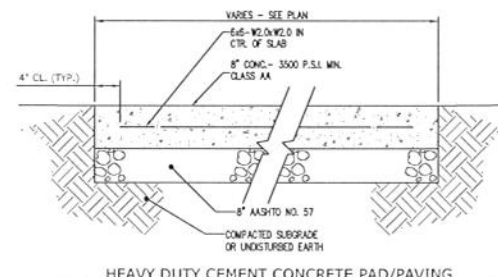
NOT TO SCALE



- NOTE: 1. ALL PAVING MATERIALS AND INSTALLATION PROCEDURES SHALL CONFORM TO PA DOT PUBLICATION 408, MOST RECENT AMENDMENT.
2. DESIGN ESALS TO BE < 0.3 MILLION.

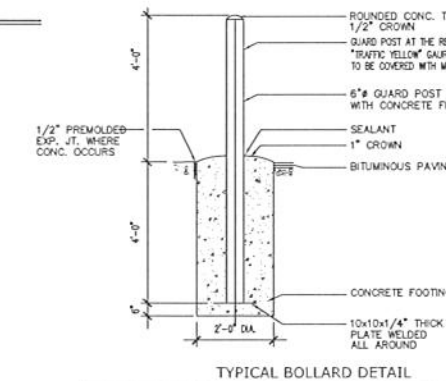
STANDARD-DUTY BITUMINOUS PAVING

NOT TO SCALE



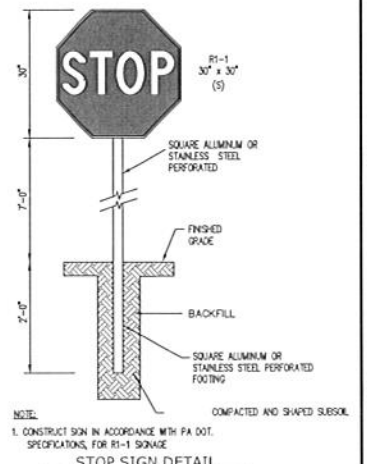
HEAVY DUTY CEMENT CONCRETE PAD/PAVING

NOT TO SCALE



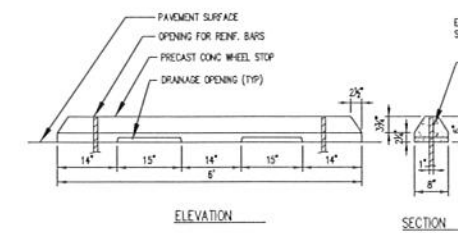
TYPICAL BOLLARD DETAIL

NOT TO SCALE



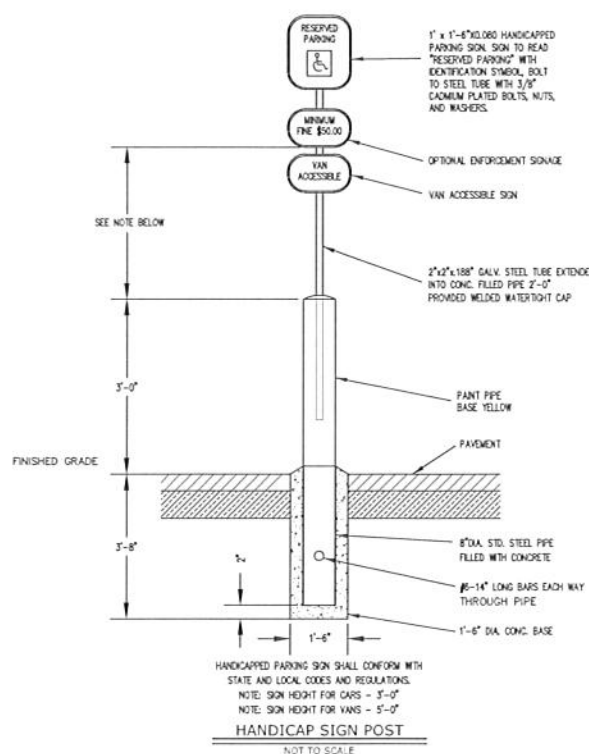
STOP SIGN DETAIL

NOT TO SCALE



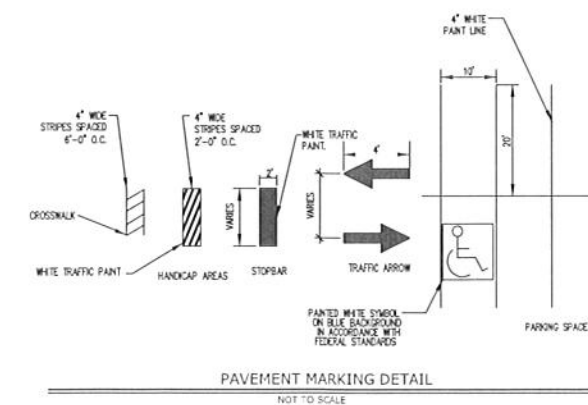
TYPICAL WHEEL STOP

NOT TO SCALE



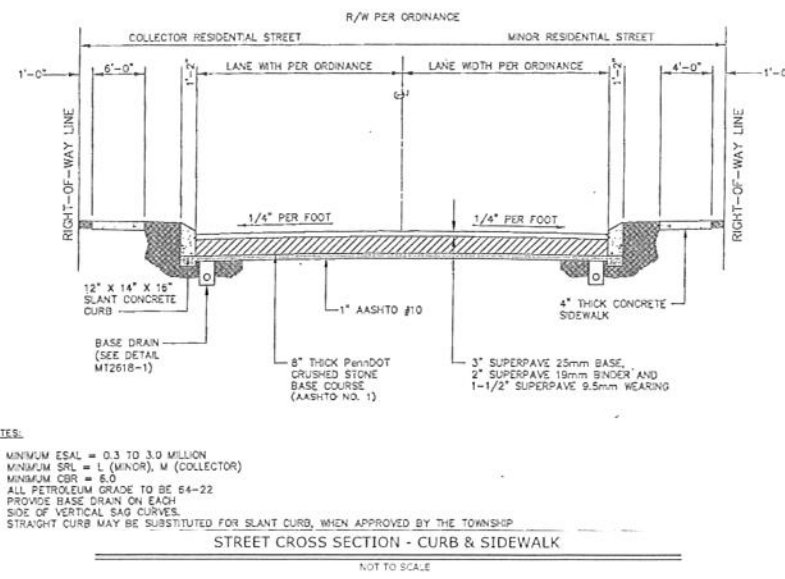
HANDICAPPED SIGN POST

NOT TO SCALE



PAVEMENT MARKING DETAIL

NOT TO SCALE



- NOTES:
1. MINIMUM ESAL = 0.3 TO 3.0 MILLION
 2. MINIMUM SRL = L (MINOR), M (COLLECTOR)
 3. MINIMUM CBR = 6.0
 4. ALL PETROLEUM GRADE TO BE 64-22
 5. PROVIDE BASE DRAIN ON EACH SIDE OF VERTICAL SAG CURVES.
 6. STRAIGHT CURB MAY BE SUBSTITUTED FOR SLANT CURB, WHEN APPROVED BY THE TOWNSHIP

STREET CROSS SECTION - CURB & SIDEWALK

NOT TO SCALE

Designer	WAM
Draftsman	PAC
Proj Manager	WAM
Surveyor	SFS
Perimeter Dk.	
Book	Pg
Acad	11-DETAILS
Layout	15-DETAILS

REVISIONS

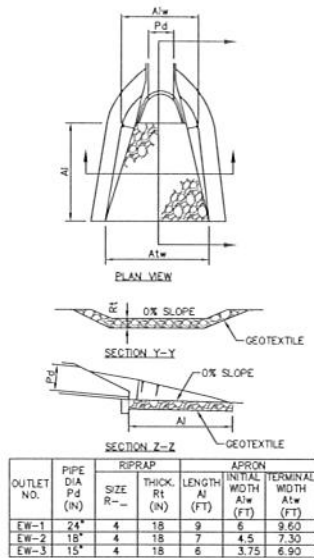
**3875-3885
BOARD ROAD**

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

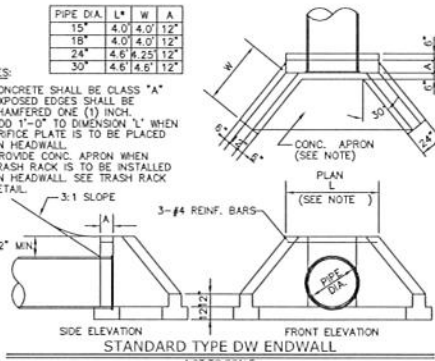
**FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN**

**CONSTRUCTION
DETAILS**

PROJECT NO.	24005
DATE	JUNE 3, 2025
SCALE	1"=30'
SHEET NO.	15 OF 18

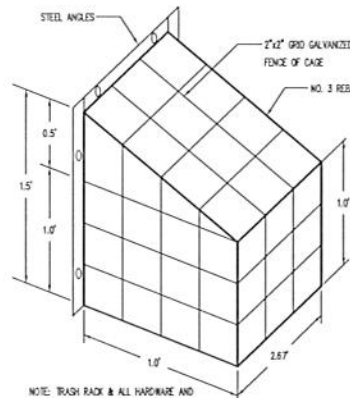


- NOTES:
1. CONCRETE SHALL BE CLASS "A"
 2. EXPOSED EDGES SHALL BE CHAMFERED ONE (1) INCH.
 3. ADD 1"-0" TO DIMENSION "L" WHEN ORIFICE PLATE IS TO BE PLACED ON HEADWALL.
 4. PROVIDE CONC. APRON WHEN TRASH RACK IS TO BE INSTALLED ON HEADWALL. SEE TRASH RACK DETAIL.

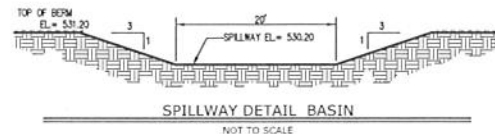


NOTES: ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIP-RAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

RIP-RAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL

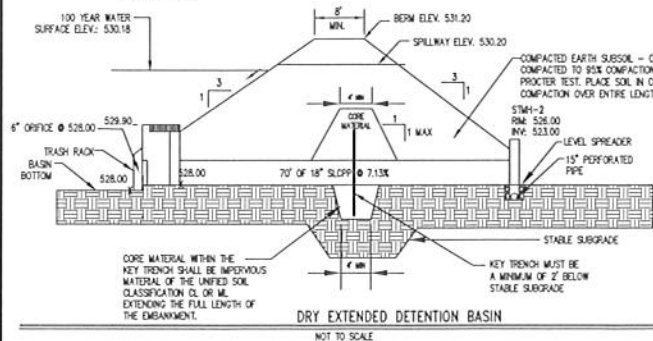


ORIFICE PLATE TRASH RACK DETAIL



SPILLWAY DETAIL BASIN

- DETENTION BASIN NOTES:
1. THE BASIN SHALL BE INSTALLED PRIOR TO OR CONCURRENT WITH ANY EARTH MOVING OR LAND DISTURBANCE WHICH IT WILL SERVE.
 2. THE EMBANKMENT SHALL BE CONFINED IN LAYERS TO A DENSITY OF 95% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698.
 3. WHEN ROCK IS ENCOUNTERED DURING THE EXCAVATION OF THE BASIN, THE ENGINEER AND GEOTECHNICAL CONSULTANT SHALL BE NOTIFIED IMMEDIATELY. UNDER DIRECTION OF THE GEOTECHNICAL ENGINEER, THE ROCK SHALL BE REMOVED TO AN ELEVATION OF AT LEAST 12" BELOW THE PROPOSED BASIN FLOOR FOR THE EVALUATION OF THE CONSTRUCTION OF A POTENTIAL LINE.
 4. TEMPORARY AND PERMANENT GRASSES OR STABILIZATION MEASURES SHALL BE ESTABLISHED IN THE SIDES AND BASE OF ALL EARTHEN BASINS WITHIN 15 DAYS OF CONSTRUCTION.
 5. THE BASIN DISCHARGE PIPE SHALL BE BELL-AND-SPOUT DOWNS WITH GASKETED WATERPROOF JOINTS.

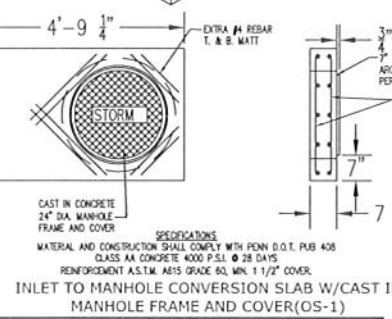
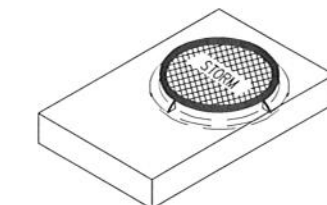
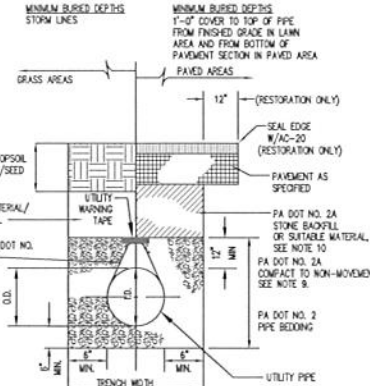


DRY EXTENDED DETENTION BASIN

NOTES:

1. THE INSTALLATION OF PIPES 12" OR GREATER INSIDE DIAMETER OR SPAN IS PERMITTED WITHOUT PLACING EMBANKMENT FIRST. MAKE THE BACKFILL ENVELOPE AS SHOWN ON THIS DRAWING EXCEPT PROVIDE 2A MATERIAL ON EACH SIDE OF THE PIPE EQUAL TO ONE OUTSIDE DIAMETER OR SPAN OF THE PIPE. FOR CONCRETE PIPE, THE MOUTH OF UNCOMPACTED AGGREGATE FOR BEDDING (AS NOTED NO. 8) A HIGHER STRENGTH PIPE THAN SPECIFIED MAY BE SUPPLIED AT NO ADDITIONAL COST TO THE DEPARTMENT.
2. PAYMENT FOR ALL PIPE BACKFILL MATERIAL IS INCIDENTAL TO THE PIPE.
3. TO PRECLUDE POINT LOADING ON CONCRETE PIPE, DO NOT COMPACT AGGREGATE NO. 8 BEDDING MATERIAL.
4. FOR TRENCH BOX/SIDEWALK INSTALLATION REQUIREMENTS REFER TO PUBLICATION 408, SECTION 601.
5. PERMIT PLACEMENT OF BACKFILL MATERIAL UP TO 10" LOOSE LAYERS IF USING A VIBRATORY ROLLER OR UP TO 12" LOOSE LAYERS IF USING A BACKHOE-MOUNTED HYDRAULIC PLATE COMPACTOR AS SPECIFIED IN PUBLICATION 408, SECTION 601.3(1) 3.
6. COMPACT TOP 3"-0" OF SUBGRADE TO 100% AS SPECIFIED IN PUBLICATION 408, SECTION 206.3. COMPACT 2A COARSE AGGREGATE TO NON-MOVEMENT AS PER NOTE 9. COMPACT SUIABLE MATERIAL TO MINIMUM SITE SPD.
7. FOR REINFORCED CONCRETE PIPES INSTALLED WITH GREATER THAN 48" OF FILL, PROVIDE 12" BEDDING MINIMUM AND 15" WHEN ROCK IS PRESENT.
8. COMPACT TO NON-MOVEMENT AS SPECIFIED IN PUBLICATION 408, SECTION 206.3(3) 1.c.
9. USE 2A COARSE AGGREGATE OR SUIABLE MATERIAL AS SPECIFIED IN PUBLICATION 408, SECTION 601.3(1) 3.

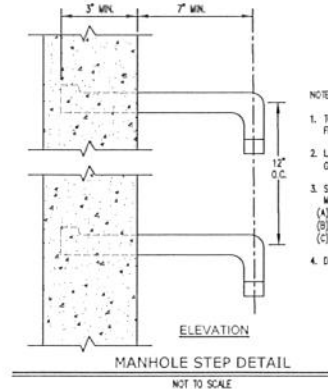
STORM SEWER PIPE INSTALLATION



INLET TO MANHOLE CONVERSION SLAB W/CAST IN MANHOLE FRAME AND COVER (OS-1)

NOTES:

1. TOP STEP NOT TO BE GREATER THAN 2'-0" FROM TOP OF MANHOLE.
2. LANDING TO BOTTOM STEP NOT TO BE GREATER THAN 2'-0".
3. STEPS SHALL BE ONE OF THE FOLLOWING MATERIALS:
(A) ALUMINUM ASTM B247 ALLOY 6061-T6
(B) STEEL REINFORCED FIBERGLASS
(C) STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC
(D) DO NOT LOCATE STEPS OVER CHANNELS.



MANHOLE STEP DETAIL

NOT TO SCALE

NOTES:

1. ALL INLETS OVER FOUR (4) FEET IN DEPTH SHALL BE PROVIDED WITH STEPS FOR ACCESSIBILITY.
2. ALL INLETS SHALL BE SIZED ACCORDINGLY TO ACCOMMODATE PROPOSED TRIPPING.
3. THE LAST 2 INLETS BEFORE A STORM SEWER OUTFALL MUST BE CONSTRUCTED WITH A MINIMUM 12-INCH SLUMP TO CATCH DEBRIS.
4. ALL INLETS THAT DO NOT RECEIVE SLUMPS SHALL BE CONSTRUCTED WITH CONCRETE FLOW CHANNELS CAST IN PLACE IN THE BOTTOM OF EACH INLET.
5. PROVIDE 2-INCH DIA. KEEP HOLES ON EACH SIDE OF THE INLET BOX. KEEP HOLES SHALL BE LOCATED 3-INCHES ABOVE THE INLET BOTTOM AND CENTERED IN THE WALL. AGGREGATE NO. 57 STONE SHALL BE PLACED AROUND THE SLUMPED PORTION OF THE INLET BOX A MINIMUM OF 12-INCHES.

TYPE "M" INLET X-SECTION

NOT TO SCALE

TYPE "C" INLET X-SECTION

NOT TO SCALE

OS-1 DETAIL

NOT TO SCALE

OS-2 DETAIL

NOT TO SCALE

UNDERGROUND BED

NOT TO SCALE

PLAN

NOT TO SCALE

SECTION A-A

NOT TO SCALE

SECTION B-B

NOT TO SCALE

PERFORMANCE

NOT TO SCALE

PERFORMANCE

NOT TO SCALE

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PERFORMANCE

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PERFORMANCE

NOT TO SCALE

PERFORMANCE

NOT TO SCALE

Designer	M.W.M.
Draftsman	P.A.C.
Proj. Manager	M.W.M.
Surveyor	S.E.S.
Partner/Dir.	
Book	Pg.
Acad.	11-DETAILS
Layout	15-DETAILS

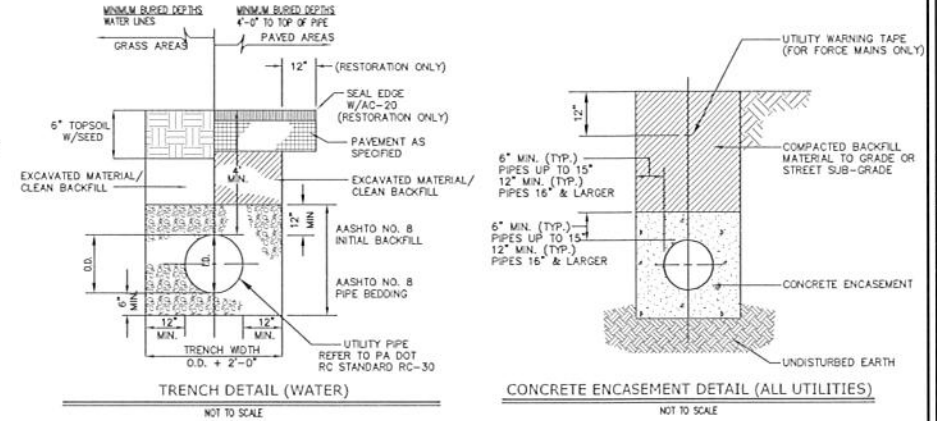
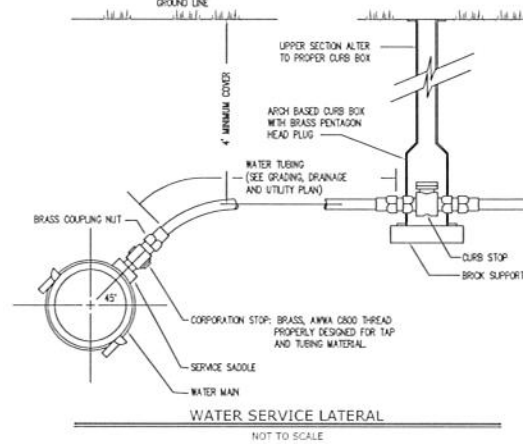
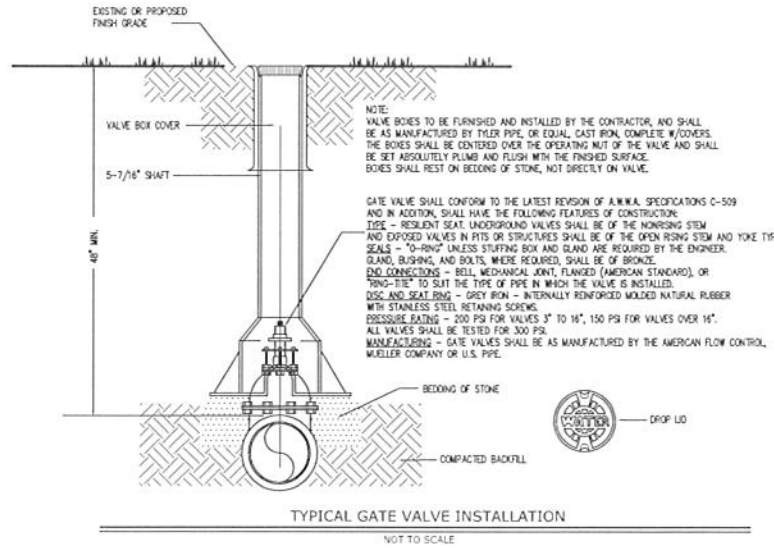
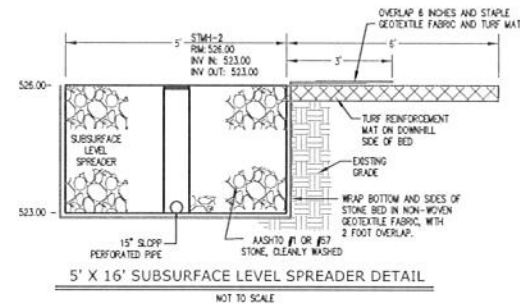
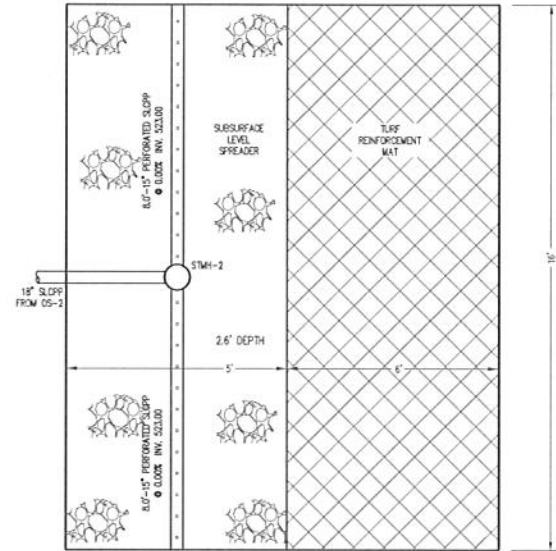
3875-3885 BOARD ROAD

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

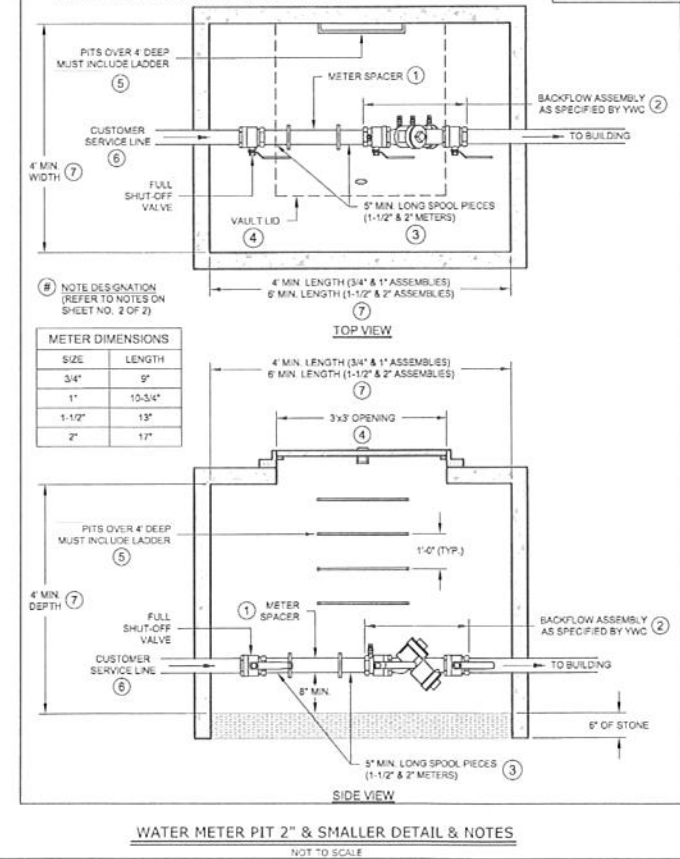
FINAL LOT CONSOLIDATION/LAND DEVELOPMENT PLAN

CONSTRUCTION DETAILS

PROJECT NO.	24005
DATE	JUNE 3, 2025
SCALE	1"=30'
SHEET NO.	16 OF 18



- NOTES:**
- METER SPACER PROVIDED BY THE YORK WATER COMPANY; INSTALLED BY CUSTOMER. CENTER OF METER SPACER MUST BE LOCATED WITHIN OPENING OF METER PIT.
 - BACKFLOW ASSEMBLY FURNISHED AND INSTALLED BY CUSTOMER. CONTACT THE YORK WATER COMPANY'S ENGINEERING DEPARTMENT FOR BACKFLOW ASSEMBLY REQUIRED.
 - FOR 1-1/2\"/>



3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
FAC: 717-522-5046

WWW.PTELANC.COM

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DESIGNER	DATE
W.M.W.	11-2024
F.A.C.	11-2024
W.M.W.	11-2024
S.E.S.	11-2024
PENNTERRA	11-2024
BOOK	11-2024
ACAD	11-2024
LOUPE	11-2024

3875-3885 BOARD ROAD

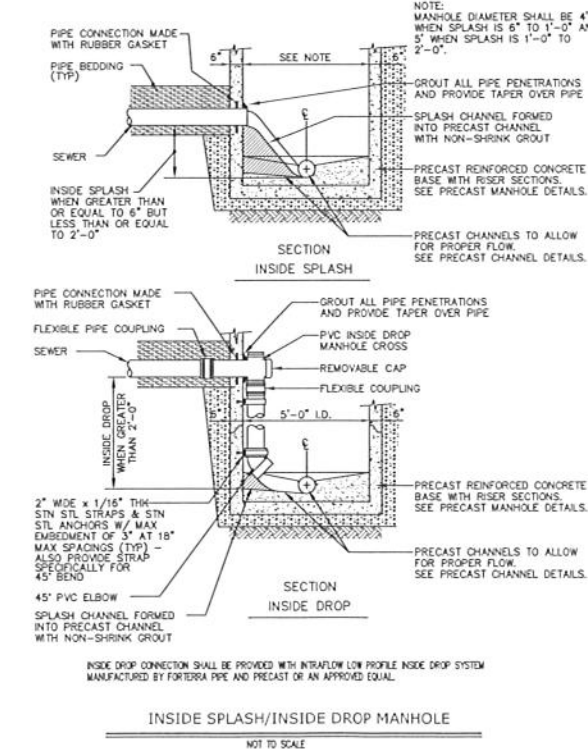
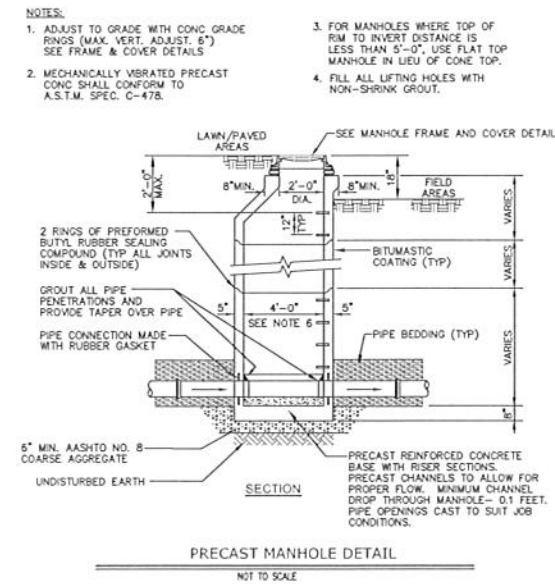
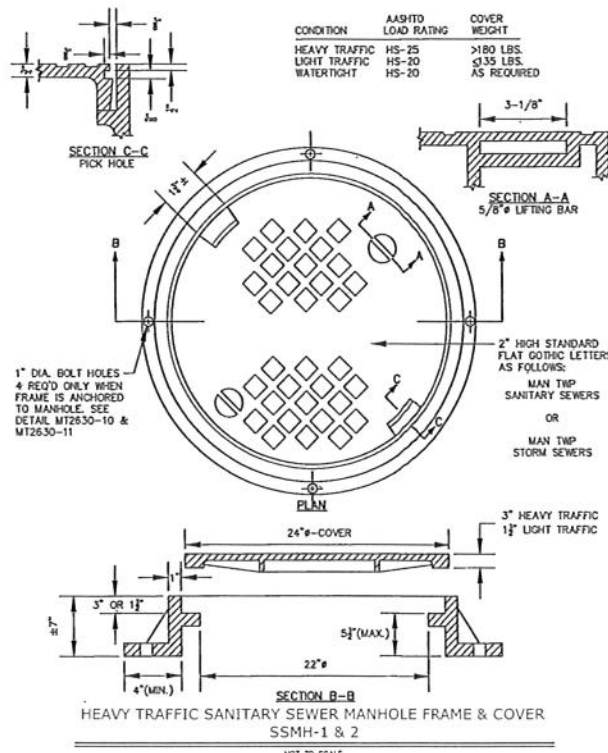
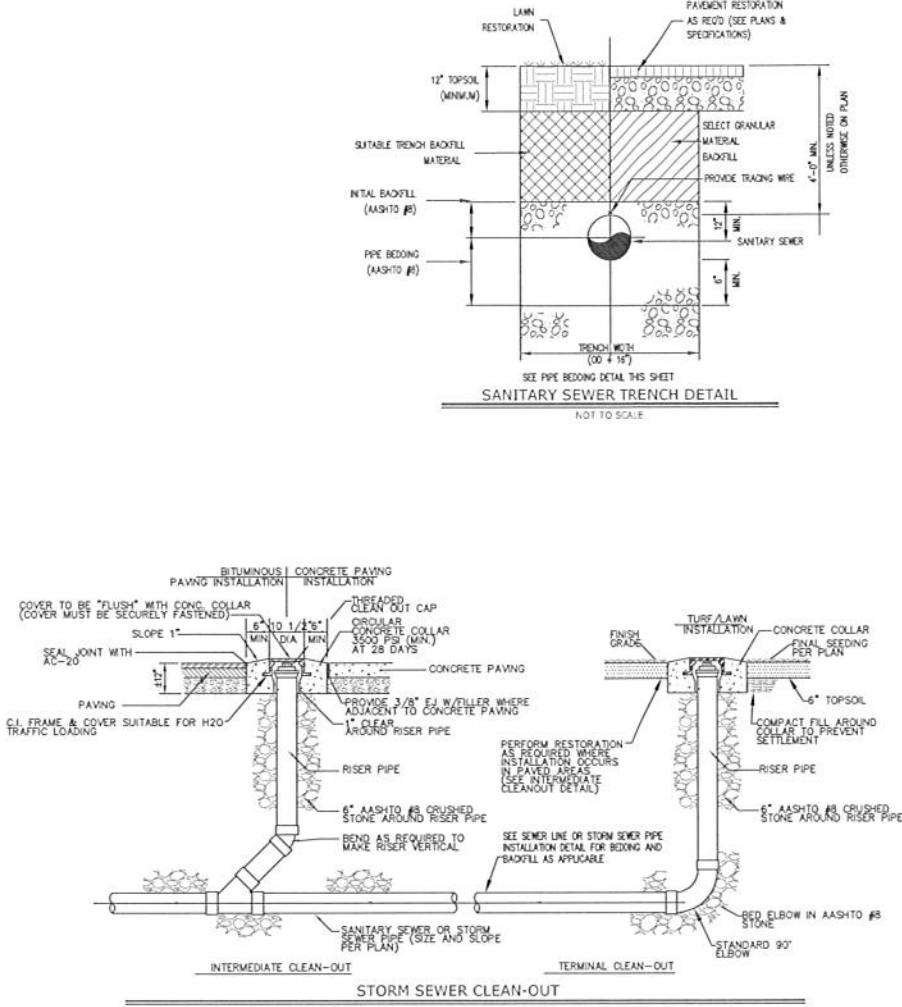
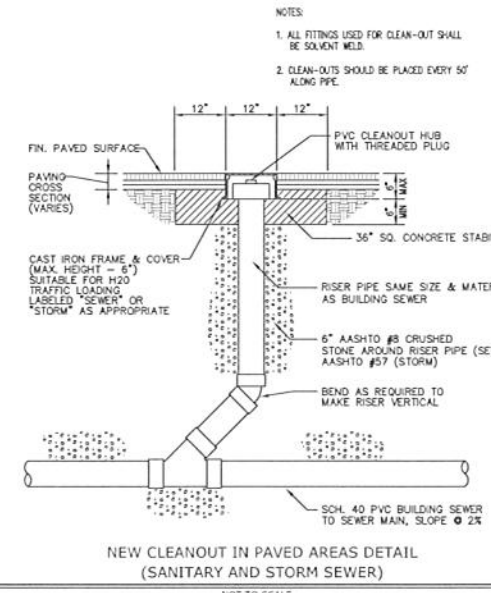
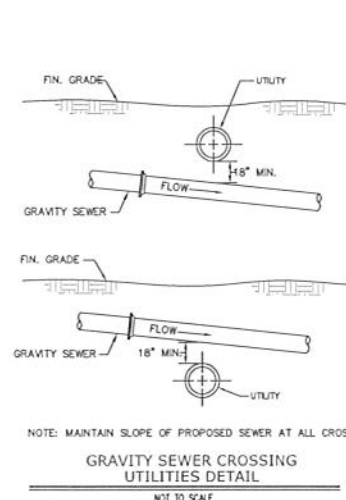
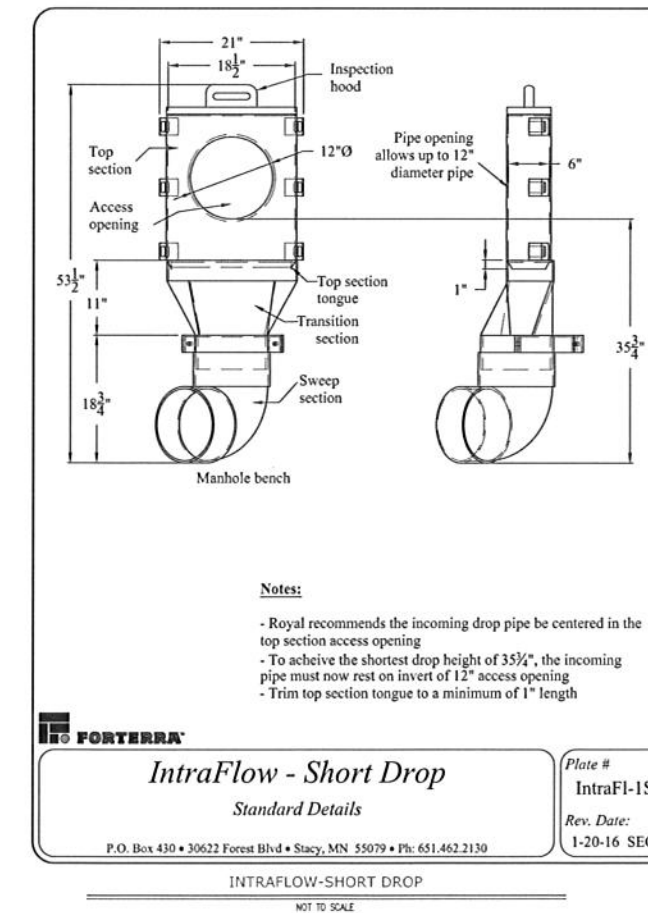
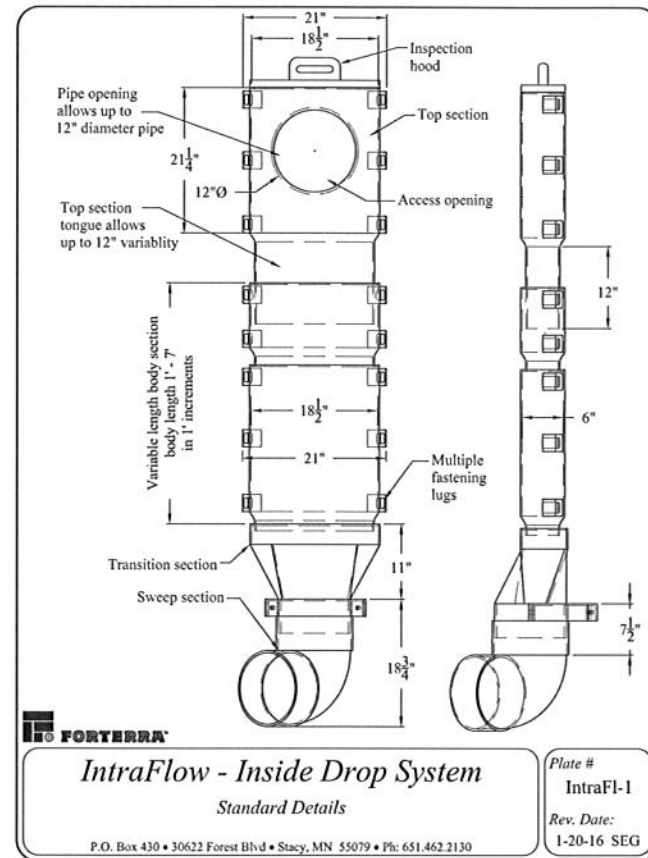
MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

FINAL LOT CONSOLIDATION/LAND DEVELOPMENT PLAN

CONSTRUCTION DETAILS

PROJECT NO.	DATE
24005	JUNE 3, 2025

SCALE	SHEET NO.
1"=30'	17 OF 18



Designer	MAM
Draftsman	PAC
Proj. Manager	MAM
Surveyor	SES
Perimeter D.	
Book	Pg
Acad	11-DETAILS
Layout	18-DETAILS

**3875-3885
BOARD ROAD**

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

**FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN**

**CONSTRUCTION
DETAILS**

PROJECT NO.	24005
DATE	JUNE 3, 2025
SCALE	1"=30'
SHEET NO.	18 OF 18



site design concepts
LAND DEVELOPMENT CONSULTANTS

November 6, 2025 (*Revised November 10, 2025*)

Manchester Township
Rachel Vega, Zoning Officer
3200 Farmtrail Road
York, PA 17406-5699

Re: Presbyterian Development, LLC & DS&BK, LLC
Final Subdivision Plan
3490-3510 Board Road
Manchester Township, York County, PA
SDC #1356.5

Dear Rachel:

On behalf of Presbyterian Development, LLC and DS&BK, LLC, please find enclosed ten (10) copies of the revised Final Subdivision Plans for the above referenced project.

We offer the following responses to the Manchester Township Engineer, C.S. Davidson, Inc., Engineering Review letter dated September 15, 2025:

Waiver Requests:

1. A Waiver has been requested from §22-403 which requires the submission of a Preliminary Plan prior to filing a Final Plan. This waiver request has been noted on the Title Sheet, plan sheet FSD-1.
2. A Waiver has been requested from §22-703.2.A which requires installation of sidewalk along subject property's road frontage. This waiver request has been noted on the Title Sheet, plan sheet FSD-1.
3. A Waiver has been requested from §22-709 which requires installation of sidewalk along subject property's road frontage. This waiver request has been noted on the Title Sheet, plan sheet FSD-1.

Zoning Ordinance:

1. General Note #9 on plan sheet FSD-1 has been revised accordingly.
2. A Variance Request was granted by the Manchester Township Zoning Hearing Board (ZHB) on November 5, 2025. The request was to reduce the required 100' buffer yard down to 7'. The Zoning Hearing Board action has been noted on the Title Sheet, plan sheet FSD-1. By granting this zoning relief, the proposed non-conformance of the existing building on Lot #1 is eliminated. The non-conformities on Lots #2 and #3 are existing and are not proposed to be changed with this plan.
3. A Variance Request was granted by the Manchester Township ZHB to reduce the 100' buffer yard. By granting this request, the proposed lots and existing structures are in conformance with the zoning ordinance.

Subdivision and Land Development Ordinance:

1. PA DEP was contacted for additional direction regarding potential sewage facilities planning. PA DEP responded in an email that since the Project does not propose any new connections or increase sewage flow to the public sanitary sewer system, a Non-Building Waiver would be appropriate. A Non-Building Waiver notation has been added to the title sheet of the plan, plan sheet FSD-1. A copy of the correspondence from PA DEP has been provided with this resubmission.
2. The front building setback along Board Road has been shown on plan sheets FSD-2 and FSD-3.
3. The Applicant and Applicant's attorney are drafting a cross easement access and parking agreement. The Final Subdivision Plan includes a proposed access and parking easement over Lots #2 and #3 for the benefit of Lot #1. The bituminous paved parking area on Lots #2 and #3 is required in order to meet the minimum parking requirements for Lot #1 and the existing 133,675 s.f. industrial building.
4. General Note #17 has been removed from the Title Sheet, plan sheet FSD-1, regarding a Title Search not being completed for the Project Site.
5. Safe Stopping Sight Distance measurements have been completed for the three (3) existing driveways onto Board Road. Please refer to "Driveway Sight Distance Measurements" provided on plan sheet FSD-4.
6. Dimensions have been provided for the existing buildings on the Project Site. Please refer to plan sheets FSD-2 and FSD-3.
7. The Clear Sight Triangles have been dimensioned on the plan. Please refer to plan sheets FSD-2 and FSD-3.
8. Typical Street Cross-Sections for Board Road (S.R. 1031) and Grumbacher Road (T-963) have been provided on the plan. Please refer to plan sheet FSD-4.
9. The proposed waiver request for Section 22-709 has been revised to include a request to not construct sidewalks along Grumbacher Road. Please refer to Waiver Request C, on plan sheet FSD-1.
10. General Note #21 has been added to the plan. Please refer to plan sheet FSD-1.
11. The requested Manchester Township standard notes have been added to the plan. Please refer to General Notes 23, 24, 25, 26, 27, and 28 on plan sheet FSD-1.
12. The notarized owner's signature will be provided on the Title Sheet, plan sheet FSD-1, of the Final Subdivision Plan prior to final plan approval.
13. The professional surveyor seal and dated signature will be provided on the Title Sheet, plan sheet FSD-1, prior to final plan approval.

The Township Traffic Engineer reviewed the Plan and had no technical comments so long as there were no proposed modifications to the existing driveways onto Board Road. It was noted during the September 15, 2025 staff meeting that the existing residential driveways do not comply with portions of the Township ordinance but are considered to be existing non-conformities which are permitted to remain if not modified with the project. No modifications or alterations are proposed to these two (2) driveways with the Project.



We offer the following responses to the York County Planning Commission review letter, dated September 18, 2025:

Zoning Ordinance:

1. Minimum landscape area has been provided in General Note #13 on the Title Sheet, FSD-1.
2. Parking space calculations have been provided in General Note #14 on the Title Sheet, FSD-1.

Subdivision and Land Development Ordinance:

3. The Plans have been updated or will be updated to address the following:
 - a. The owners' notarized signatures will be provided on the Title Sheet prior to final plan approval.
 - b. The registered professional land surveyor responsible for the plan preparation will sign and seal the Title Sheet prior to final plan approval.
 - c. All requested waivers have been noted on the Title Sheet. The date of the action taken by the Board of Supervisors will be noted prior to final plan approval.
 - d. Additional building dimensions have been provided on the plan. Please refer to plan sheets FSD-2 and FSD-3.
 - e. The existing Clear Sight Triangles have been dimensioned on the plan. Please refer to plan sheets FSD-2 and FSD-3.
 - f. The number of existing parking spaces have been provided in General Note #14 on the Title Sheet, FSD-1.
 - g. A Parking and Access Maintenance Agreement is being drafted and will be submitted to the Township for confirmation prior to recording and prior to final plan approval.
4. Additional plan notations requested by Township Staff have been included with the revised plan. Please refer to comment responses above.

We plan to attend the upcoming meetings to discuss the revised Final Subdivision Plan. If you have any questions or require further information, please do not hesitate to contact me.

Respectfully,
SITE DESIGN CONCEPTS, INC.



Adam W. Anderson, P.E.
Project Manager

CC: File
Mr. B.J. Treglia, P.E., Township Engineer
Mr. Cory A. McCoy, P.E., C.S. Davidson, Inc.
Mr. Drew Bobincheck, Presbyterian Development, LLC





C.S. DAVIDSON, INC.
ENGINEERING A BETTER COMMUNITY

September 23, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

*updated letter will
be provided at
the meeting.*

Re: 3490-3510 Board Rd. – Presbyterian Development, LLC & DS&BK LLC
Final Subdivision Plan
Manchester Township Plan #2025-13
Engineer's Project No. 0841.3.16.70

Dear Rachel:

We have reviewed the above-referenced Final Subdivision Plan, submitted by Site Design Concepts, dated September 4, 2025. We offer the following comments:

Waiver Requests:

1. §22-403 – To allow the submittal of a Final Subdivision Plan
2. §22-703.2.A – To not require the installation of curb along Board Rd.
3. §22-709 – To not require the installation of sidewalk along Board Rd.

Zoning Ordinance

1. In General Note 9, revise the front setback requirement to state: "30 FT. (50 FT ALONG ARTERIAL ROADS – BOARD RD.)"
2. There is a change in nonconformance of the building setbacks. In existing conditions: the whole dwelling in proposed lot 3, part of the dwelling in proposed lot 2, and part of the manufacturing building in residual lot 1 are within the required building setbacks. In proposed conditions portions of the existing buildings beyond proposed setbacks: decrease in proposed lot 3, do not change in proposed lot 2, and an increase in residual lot 1. (§27-904.1)
3. There is a change in nonconformance of the buffer yard. In existing conditions, a 1,346 sq. ft. dwelling (proposed lot 3) is located within the buffer yard. In proposed conditions, +/- 4,100 sq. ft of the existing manufacturing building (residual lot 1) will be located within the buffer yard. (§27-1105)
4. In all buffer yards the exterior 50' shall be planted with grass seed, sod, ground cover, or screen plantings. (§27-1105-1.A)

ENGINEERING A BETTER COMMUNITY

38 N. Duke Street • York, PA 17401 • 717.846.4805
50 W. Middle Street • Gettysburg, PA 17325 • 717.337.3021
315 W. James Street, Suite 102 • Lancaster, PA 17603 • 717.481.2991%

CSDavidson.com



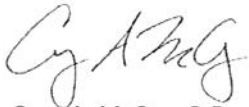
Subdivision and Land Development Ordinance

1. Owner's address along with the existing residential dwelling addresses shall be identified on the cover sheet of the plans. (§22-404.1.3)
2. Indicate which plan sheets are to be recorded on the sheet index on the cover sheet. (§22-404.1.10.A)
3. Provide proof of an approved planning exemption and list the reference number on the plans. (§22-404.3.19 & §22-407.3.2)
4. The required and existing/proposed height of structures shall be identified in the site data table. (§22-404.3.20)
5. Dimension the building setback along Board Rd. on both sheets. (§22-404.4.9)
6. An agreement specifying access rights and maintenance responsibilities for the proposed access and parking easement shall be provided (§22-404.4.15). This agreement will need to be recorded with the deeds for lots 1, 2, and 3. Identify the number of required parking spaces, ADA spaces, and loading spaces on the plans along with the calculations.
7. The required buffer areas shall be dimensioned on sheet 3 of the plans. (§22-404.4.20)
8. The curb radii of Grumbacher Road shall be dimensioned on the plans. (§22-404.4.22)
9. A full title search must be completed, and all existing rights-of-way, easements, restrictions, etc. shall be shown or referenced on the plans. Remove General Note 15 (§22-404.4.23). The easement along the southern property lines of lot #1 shall be identified, defined, and dimensioned.
10. Existing street right-of-way and cartway widths, including Grumbacher Road cul-de-sac dimension shall be added to the plans. (§22-404.4.24)
11. Label the available and required safe stopping sight distance at all driveways and access drives (include approach grade and speed limit). (§22-4.4.30)
12. Dimension the existing building and dwellings on the plans along with existing parking areas. (§22-404.4.28)
13. Dimension the clear sight triangles. (§22-404.4.31)
14. Provide a street cross-section with possible curb and sidewalk locations for Board Rd. and a street cross-section with possible sidewalk locations for Grumbacher Road (§22-404.4.32). A detail shall be added to the plans for curb and sidewalk.
15. Parking spaces shall be dimensioned and counted on the plans. (§22-404.4.49)
16. Access drives shall be clearly dimensioned along with radii. (§22-404.4.50)
17. All existing traffic control devices (signage) shall be shown on the plans. (§22-404.4.51)

18. All existing loading spaces shall be dimensioned and depicted on the plans. (§22-404.4.52)
19. Sidewalk construction is required along the property's frontage of Grumbacher Road show proposed improvements or revise waiver request 3 to include Grumbacher Road. (§22-709)
20. The following Manchester Township standard notes shall be added to the plans: 1, 3, 4, 5, 6, 8, 9, 10.1, 10.2, 11, 12, 13, 14, 15, 16, 21, 22, 23, 24, 25, 26, and 30. (§22-408.3)
21. A statement of ownership, acknowledgment of the plan, and offer of dedication shall be provided on the coversheet of the plans and the owner's notarized signature shall be added. (§22-404.1.2)
22. The responsible professional's signature block, along with seal and dated signature shall be added to the cover sheet. (§22-404.1.4)

If you have questions related to the enclosed information or require any clarification, please feel free to contact me at 717-814-4501 or via email CAM@csdavidson.com.

Sincerely,



Cory A. McCoy, P.E.

CAM/AJS/dmg

Copy: File

B. J. Treglia, P.E. Manchester Township, via email: b.treglia@mantwp.com

Adam Anderson, P.E. Site Design Concepts LLC, via email: aanderson@sitedc.com

FINAL SUBDIVISION PLAN

FOR LANDS OF

PRESBYTERIAN DEVELOPMENT, LLC AND DS&BK LLC

3490-3510 BOARD ROAD MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PREPARED FOR:
EQUITY DEVELOPMENT PARTNERS
5060 RITTER ROAD, SUITE A3
MECHANICSBURG, PA 17050



SITE DESIGN CONCEPTS, INC. HAS MET THE OBLIGATIONS OF PA ACT 121 OF THE PENNSYLVANIA GENERAL ASSEMBLY IN PREPARING THIS PLAN. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHOULD CONTACT THE PA ONE CALL SYSTEM (1-800-242-1776) PRIOR TO ANY EXCAVATION AS REQUIRED BY THE PA ACT 121, AS PER THE LATEST AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 09, 2008.

DESIGN SERIAL NUMBER 20252053107 (MANCHESTER TOWNSHIP)

COLUMBIA GAS OF PA
1600 DUBLIN ROAD
COLUMBUS, OH 43215
USA COLLINS
LDC@CNGASOURCE.COM
614-325-5561

YORK WATER COMPANY
130 E. MARKET STREET
YORK, PA 17401
JASON HEIDMANN
JASONH@YORKWATER.COM

MANCHESTER TOWNSHIP MUNICIPAL AUTHORITY
38 N. DUKE STREET
YORK, PA 17401
CORY MCCOY
CARMCCO@YORKPA.EDU

PENNSYLVANIA ELECTRIC COMPANY
541 WHITE POND DRIVE
AKRON, OH 44320
MELISSA ADAMS
MADAM@PSENERGYCORP.COM
330-436-4013

USIC
8045 N. RIVER ROAD SUITE 300
INDIANAPOLIS, IN 46240
JEFFREY TRUMBOWER
JEFFTR@TRUMBOWERUSOLLC.COM
317-810-3524

VERIZON NORTH
37 W. 8TH STREET
WYOMING, PA 16844
RONALD SUNSHINE
RONALD.SUNSHINE@VERIZON.COM
570-826-4263

GENERAL NOTES

- THE PURPOSE OF THIS FINAL SUBDIVISION PLAN IS TO DEPICT THE SUBDIVISION OF TWO (2) SEPARATE LOTS FROM PARCEL 21-J LOCATED AT 3490-3510 BOARD ROAD, MANCHESTER TOWNSHIP, PA. THE TWO (2) NEW LOTS ARE TO INCLUDE THE EXISTING SINGLE FAMILY DETACHED DWELLINGS. THE RESIDUAL LOT 1 WILL INCLUDE THE EXISTING MANUFACTURING FACILITY. THERE IS NO CONSTRUCTION PROPOSED BY THIS PLAN.
- PARCEL INFORMATION:
UNIFORM PARCEL IDENTIFIER: 36-000-LH-0021-J0-00000
DEED REFERENCE: DEED BOOK 2874, PAGE 0377
- EXISTING LAND TRACT IS ZONED: I, INDUSTRIAL
- ADJACENT LAND TRACTS ARE ZONED:
NORTH: I, INDUSTRIAL
SOUTH: I, INDUSTRIAL
EAST: I, INDUSTRIAL
WEST: I, INDUSTRIAL
- EXISTING LAND TRACT USE: MANUFACTURING AND SINGLE FAMILY DETACHED RESIDENTIAL
PROPOSED LAND TRACT USE:
RESIDUAL LOT 1: MANUFACTURING
PROPOSED LOT 2: SINGLE FAMILY DETACHED RESIDENTIAL
PROPOSED LOT 3: SINGLE FAMILY DETACHED RESIDENTIAL
- EXISTING PARCEL 21-J IS SERVED BY AN EXISTING PUBLIC WATER SUPPLY PROVIDED BY YORK WATER COMPANY AND AN EXISTING PUBLIC SANITARY SEWAGE DISPOSAL SYSTEM PROVIDED BY MANCHESTER TOWNSHIP.
PROPOSED LOTS SHALL BE SERVED BY AN EXISTING PUBLIC WATER SUPPLY PROVIDED BY YORK WATER COMPANY AND AN EXISTING PUBLIC SANITARY SEWAGE DISPOSAL SYSTEM PROVIDED BY MANCHESTER TOWNSHIP.
- MINIMUM REQUIRED LOT AREA: 20,000 S.F.
PARCEL 21-J AREA: 410,311 S.F. (8,419 AC.) GROSS
382,164 S.F. (8,773 AC.) NET
RESIDUAL LOT 1 AREA: 362,002 S.F. (8,310 AC.) GROSS
336,155 S.F. (7,717 AC.) NET
PROPOSED LOT 2 AREA: 27,293 S.F. (0.627 AC.) GROSS
25,999 S.F. (0.597 AC.) NET
PROPOSED LOT 3 AREA: 27,293 S.F. (0.627 AC.) GROSS
25,999 S.F. (0.597 AC.) NET
PROPOSED LOT 3 AREA: 27,293 S.F. (0.627 AC.) GROSS
25,999 S.F. (0.597 AC.) NET
- MINIMUM REQUIRED LOT FRONTAGE: 100 FT. (AT RIGHT-OF-WAY LINE)
EXISTING LOT FRONTAGE: 173 FT. (ALONG GRUMBACHER ROAD CUL-DE-SAC)
RESIDUAL LOT NO. 1 WIDTH: 173 FT. (ALONG GRUMBACHER ROAD CUL-DE-SAC)
PROPOSED LOT NO. 2 WIDTH: 130 FT. (ALONG BOARD ROAD)
PROPOSED LOT NO. 3 WIDTH: 100 FT. (ALONG BOARD ROAD)
- MINIMUM REQUIRED SETBACKS:
PRINCIPAL BUILDINGS & STRUCTURES:
FRONT: 30 FT. (50 FT. ALONG ARTERIAL ROADS - BOARD ROAD)
(100 FT. BUFFER BETWEEN INDUSTRIAL AND RESIDENTIAL USES)
SIDE: 30 FT.
REAR: 30 FT.
- MAXIMUM ALLOWABLE BUILDING HEIGHT: 50 FT. OR THREE STORIES, WHICHEVER IS MORE RESTRICTIVE.
EXISTING BUILDING HEIGHT: <50 FT. OR THREE STORIES
- MAXIMUM ALLOWABLE BUILDING AND IMPERVIOUS COVERAGE: 70%
EXISTING LOT COVERAGE: 68% (284,129 S.F./382,164 S.F.)
RESIDUAL LOT 1 COVERAGE: 70% (235,959 S.F./336,155 S.F.)
PROPOSED LOT 2 COVERAGE: 63% (18,290 S.F./28,999 S.F.)
PROPOSED LOT 3 COVERAGE: 20% (5,680 S.F./28,999 S.F.)
- MAXIMUM ALLOWABLE BUILDING COVERAGE: 80%
EXISTING BUILDING COVERAGE: 34% (136,821 S.F./382,164 S.F.)
RESIDUAL LOT 1 BUILDING COVERAGE: 40% (133,675 S.F./336,155 S.F.)
PROPOSED LOT 2 BUILDING COVERAGE: 10% (3,593 S.F./28,999 S.F.)
PROPOSED LOT 3 BUILDING COVERAGE: 7% (1,346 S.F./20,010 S.F.)
- MINIMUM REQUIRED LANDSCAPED AREA: 30%
EXISTING LANDSCAPED AREA: 32% (124,035 S.F./382,164 S.F.)
RESIDUAL LOT 1 LANDSCAPED AREA: 30% (100,194 S.F./336,155 S.F.)
PROPOSED LOT 2 LANDSCAPED AREA: 37% (8,709 S.F./23,599 S.F.)
PROPOSED LOT 3 LANDSCAPED AREA: 71% (14,130 S.F./20,010 S.F.)
- PARKING REQUIREMENTS:
BASIS: INDUSTRIAL, WHOLESALE, AND WAREHOUSING ESTABLISHMENT
MINIMUM OF ONE PARKING SPACE FOR EACH EMPLOYEE ON THE TWO LARGEST SHIFTS BUT NOT LESS THAN ONE PARKING SPACE PER EACH 1,000 S.F. OF GROSS FLOOR AREA, WHICHEVER IS GREATER.
133,675 S.F./1,000 S.F. = 134 SPACES REQUIRED
EXISTING NO. OF SPACES ON LOT 1 = 67
EXISTING NO. OF SPACES OFF-SITE (LOTS 2 AND 3) = 61 (PLAN BOOK 2162, PAGE 8083)
EXISTING NO. OF JOINT USE SPACES = 12 (PLAN BOOK 2162, PAGE 8082)
TOTAL NO. OF EXISTING SPACES = 140
BASIS: RESIDENTIAL
MINIMUM OF TWO PARKING SPACES PER DWELLING.
EXISTING NO. OF SPACES ON LOT 2 = 2
EXISTING NO. OF SPACES ON LOT 3 = 2
- PROJECT SITE IS NOT LOCATED WITHIN A MAPPED 100 YEAR FLOOD PLAIN BASED UPON A REVIEW OF THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWNSHIP OF MANCHESTER, COMMUNITY NUMBER 42031, PANEL 0293, SUFFIX E, MAP NUMBER 421330021F, EFFECTIVE DATE: DECEMBER 16, 2015.
- SITE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON AN ACTUAL FIELD SURVEY BY SITE DESIGN CONCEPTS, INC., COMPLETED IN AUGUST 2025.
- SITE PROPERTY BOUNDARY LINE BEARINGS DEPICTED HEREON ARE SHOWN BASED UPON THE NORTH AMERICAN DATUM OF 1983 (NAD83) SOUTH ZONE, REALIZATION NAD011, EPOCH 2010.00 AND ESTABLISHED BY USING GPS TECHNOLOGY.
- SITE BENCH MARK:
THE TOP OF A MAG-NAIL IN THE CUL-DE-SAC OF GRUMBACHER ROAD IN THE NORTHEASTERN PORTION OF THE SITE WITH AN ELEVATION OF 518.18 VERTICAL ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM FROM 1988 (NAVD 88 DATUM) AND ESTABLISHED BY USING GPS TECHNOLOGY.
- CLEAR SIGHT TRIANGLE REQUIREMENTS:
100 FT. ALONG CENTERLINE OF LOCAL STREETS AND ACCESS DRIVES.
NO BUILDING OR STRUCTURE IS PERMITTED WITHIN CLEAR SIGHT TRIANGLE. HOWEVER, OBSTRUCTIONS AND PLANTINGS LESS THAN THIRTY (30) INCHES IN HEIGHT SHALL BE PERMITTED.
- BASED UPON THE NATIONAL WETLANDS INVENTORY MAP, THERE ARE NO EXISTING WETLAND AREAS THAT WILL BE AFFECTED BY THIS PROJECT.
- ALL PROPERTY CORNERS NOT CURRENTLY SET SHALL BE SET IN ACCORDANCE WITH MANCHESTER TOWNSHIP SPECIFICATIONS.
- THE PARCELS ARE HEREBY SEPARATED AND SHALL NOT BE ALTERED WITHOUT THE APPROVAL OF MANCHESTER TOWNSHIP.
- THE OWNERS, HEIRS, ASSIGNS OR SUCCESSORS IN THE TITLE AGREE THAT THEY SHALL INSTALL AT THE OWNERS' EXPENSE CONCRETE CURBING, CONCRETE SIDEWALKS, OR BOTH CONCRETE CURBING AND CONCRETE SIDEWALKS; AND ANY NECESSARY ROAD WIDENING TO ACCOMPANY THE CURBING TO TOWNSHIP AND/OR STATE SPECIFICATION WITHIN SIX (6) MONTHS FROM THE RECEIPT OF CERTIFIED NOTIFICATION FROM THE TOWNSHIP.
- THE OWNER SHALL NOT CONSTRUCT, PLANT, OR MAINTAIN ANY STRUCTURES, FENCES, TREES, SHRUBBERY, ETC., WITHIN THE SANITARY SEWER, STORMWATER, OR UTILITY RIGHTS-OF-WAY/EASEMENTS IN ORDER TO ENSURE A FREE AND CLEAR ACCESS TO ALL FACILITIES. BITUMINOUS PAVING, CONFINING OF SANITARY SEWER, STORMWATER OR UTILITIES, OR A CHANGE IN GROUND CONTOURS WITHIN THE RIGHTS-OF-WAY/EASEMENTS WILL BE PERMITTED ONLY WITH WRITTEN CONSENT OF THE TOWNSHIP.
- ANY NONCONFORMING BUILDING OR STRUCTURE IS DESTROYED OR DAMAGED BY REASON OF WINDSTORM, FIRE, FLOOD, EXPLOSION OR OTHER ACT OF GOD OR PUBLIC ENEMY TO AN EXTENT OF MORE THAN 50% OF ITS FAIR MARKET VALUE AT THE TIME OF THE CASUALTY SHALL NOT BE REBUILT, RESTORED, OR REPAIRED EXCEPT IN CONFORMANCE OF THE PROVISIONS OF THE MANCHESTER TOWNSHIP ZONING ORDINANCE (CHAPTER 27).
- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428) KNOWN AS THE "STATE HIGHWAY LAW" BEFORE ANY DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL BE AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT AND THE BOARD OF SUPERVISORS APPROVAL OF THIS PLAN DOES NOT IMPLY THAT A PERMIT CAN BE ACQUIRED.
- LANDOWNER IS RESPONSIBLE FOR PAYMENT AND CURBING RESTORATION IF PAYING AND CURBING IS CONSTRUCTED OVER OR THROUGH THE SANITARY SEWER EASEMENT/RIGHT-OF-WAY.
- PERMANENT MONUMENTS AND MARKERS (STEEL PINS) TO BE SET AT ALL PROPERTY CORNERS IN ACCORDANCE WITH SECTION 22-717 OF THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND ORDINANCE.
- LAND OWNER:
PRESBYTERIAN DEVELOPMENT
LLC & DS&BK LLC
5060 RITTER ROAD, SUITE A3
MECHANICSBURG, PA 17050
PROPERTY ADDRESS:
3490-3510 BOARD ROAD
YORK, PA 17406

MANCHESTER TOWNSHIP BOARD OF SUPERVISORS FINAL PLAN APPROVAL

AT A MEETING HELD ON _____, 20____, THE MANCHESTER TOWNSHIP BOARD OF SUPERVISORS APPROVED THIS PLAN.

MANCHESTER TOWNSHIP PLANNING COMMISSION REVIEW

AT A MEETING HELD ON _____, 20____, THE MANCHESTER TOWNSHIP PLANNING COMMISSION REVIEWED THIS PLAN.

MANCHESTER TOWNSHIP ENGINEER REVIEW

RECOMMENDED FOR APPROVAL BY THE MANCHESTER TOWNSHIP ENGINEER.

TOWNSHIP ENGINEER _____ DATE _____

LAND SURVEYOR

I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

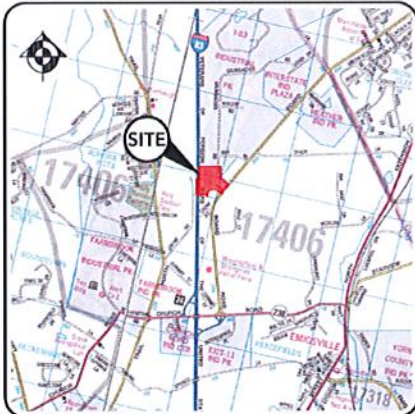
COPYRIGHT BY AND FOR:

THOMAS B. ENGLERTH R. P.L.S.
REGISTRATION NO. SU 046640
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

DATE _____ SEAL _____

UNIFORM PARCEL IDENTIFIER

PARCEL / LOT NO.	STREET ADDRESS	U.P.I.
PARCEL 21-J	3490-3510 BOARD ROAD	36-000-LH-0021-J0-00000
RESIDUAL LOT 1	3490 BOARD ROAD	36-000-LH-0021-J0-00000
LOT 2	3500 BOARD ROAD	
LOT 3	3510 BOARD ROAD	



LOCATION MAP

SCALE: 1" = 2,000'

COPYRIGHT BY: ADC THE MAP PEOPLE (PERMITTED USE NUMBER BUE080722)

FINAL SUBDIVISION PLAN SHEET INDEX

DRAWING SHEET NO.	DRAWING TITLE
FSD-1	TITLE SHEET
FSD-2	EXISTING SITE CONDITIONS PLAN
FSD-3	FINAL SUBDIVISION PLAN
FSD-4	DETAILS AND NOTES

PA DEPARTMENT OF ENVIRONMENTAL PROTECTION PLANNING WAIVER AND NON-BUILDING DECLARATION LOT

AS OF THE DATE OF THIS DEED/LOT PLAN RECORDING, THE PROPERTY/SUBDIVISION DESCRIBED HEREIN IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF LOT #1 - INDUSTRIAL, LOT #2 - RESIDENTIAL, AND LOT #3 - RESIDENTIAL USE. NO PORTION OF THIS SUBDIVISION ARE APPROVED BY MANCHESTER TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) FOR THE INSTALLATION OF ANY SEWAGE DISPOSAL FACILITIES. NO PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVISION DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (AS P.S. SECTIONS 7501 ET SEQ.) AND REGULATIONS PROMULGATED THEREUNDER, PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVISOR OF ANY PORTION OF THIS PROPERTY SHOULD CONTACT APPROPRIATE OFFICIALS OF MANCHESTER TOWNSHIP, WHO ARE CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE THE FORM OF SEWAGE FACILITIES PLANNING REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.

WAIVER/MODIFICATION REQUESTS

AT A MEETING HELD ON _____, 20____, THE MANCHESTER TOWNSHIP BOARD OF SUPERVISORS APPROVED THE FOLLOWING WAIVERS/MODIFICATIONS FROM THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

- SECTION 22-403, WHICH REQUIRES THE SUBMITTAL OF A PRELIMINARY SUBDIVISION PLAN.
ALTERNATIVE/JUSTIFICATION: WAIVER REQUESTED IS TO ALLOW SUBMITTAL OF A FINAL SUBDIVISION PLAN DUE TO LACK OF PROPOSED IMPROVEMENTS.
- SECTION 22-703.2.A, WHICH REQUIRES CURBING BE CONSTRUCTED.
ALTERNATIVE/JUSTIFICATION: WAIVER IS REQUESTED FROM INSTALLATION OF CURBING ALONG BOARD ROAD. BOARD ROAD IS A PENNDOT ROADWAY AND THERE IS NO EXISTING CURBING ALONG ADJACENT PARCELS IN THE VICINITY OF THIS SITE.
- SECTION 22-709, WHICH REQUIRES THE INSTALLATION OF SIDEWALKS.
ALTERNATIVE/JUSTIFICATION: WAIVER IS REQUESTED FROM INSTALLATION OF SIDEWALKS ALONG BOARD ROAD AND GRUMBACHER ROAD. THERE ARE NO EXISTING SIDEWALKS ALONG ADJACENT PARCELS IN THE VICINITY OF THIS SITE. THE SUBDIVISION PROPERTIES AND THE PROPOSED SUBDIVISION ARE NOT CONJUNCTIVE FOR PEDESTRIAN TRAFFIC.

ZONING APPROVALS

THE FOLLOWING VARIANCE FROM THE MANCHESTER TOWNSHIP ZONING ORDINANCE WAS GRANTED BY THE MANCHESTER TOWNSHIP ZONING HEARING BOARD ON NOVEMBER 5, 2025. (ZUB APPLICATION #2025-20)

- SECTION 27-904.3.B - REDUCTION IN REQUIRED 100 FOOT BUFFER FROM RESIDENTIAL USES WITHIN INDUSTRIAL ZONING DISTRICT TO 7 FEET.

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION

(UPI - 36-000-LH-0021-J0-00000)
FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF YORK

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME,
_____, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY
APPEARED _____, BEING _____ OF
PRESBYTERIAN DEVELOPMENT LLC
TO ME KNOWN OR PROVEN, BEING DULY
SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE
OWNER _____ OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN
THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE
THE CORPORATION'S ACT AND PLAN, THAT THE CORPORATION DESIRES THE SAME TO BE
RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC
PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY
DEDICATED TO THE PUBLIC USE.
IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC _____ CORPORATE OFFICER SIGNATURE _____

_____ CORPORATE OFFICER PRINTED NAME _____

_____ TITLE _____

NOTARY STAMP SEAL _____

YORK COUNTY PLANNING COMMISSION

THE YORK COUNTY PLANNING COMMISSION, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247 OF 1968, AS AMENDED, REVIEWED THIS PLAN ON _____, 20____, AND A COPY OF THE REVIEW IS ON FILE AT THE OFFICE OF THE PLANNING COMMISSION IN YCPC FILE NO. _____.
THE CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL OF THE PLAN BY THE YORK COUNTY PLANNING COMMISSION, AND THE COMMISSION DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH OR THE FEDERAL GOVERNMENT.

DIRECTOR, YORK COUNTY PLANNING COMMISSION _____ DATE _____

RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE OFFICE FOR RECORDS OF DEEDS, IN AND FOR YORK COUNTY, PENNSYLVANIA, IN LAND RECORD BOOK _____, PAGE _____, ON THIS _____ DAY OF _____, 20____.

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION

(UPI - 36-000-LH-0021-J0-00000)
FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF YORK

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME,
_____, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY
APPEARED _____, BEING _____ OF
DS&BK LLC
TO ME KNOWN OR PROVEN, BEING DULY
SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE
OWNER _____ OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN
THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE
THE CORPORATION'S ACT AND PLAN, THAT THE CORPORATION DESIRES THE SAME TO BE
RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC
PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY
DEDICATED TO THE PUBLIC USE.
IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC _____ CORPORATE OFFICER SIGNATURE _____

_____ CORPORATE OFFICER PRINTED NAME _____

_____ TITLE _____

NOTARY STAMP SEAL _____

THIS DRAWING ISSUED
11.10.25
FOR REGULATORY REVIEW ONLY

NO.	DATE	REV. PER TWP. STAFF COMMENTS	REV. PER YCPC COMMENTS
1	11.06.25		
2	11.07.25		

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TITLE SHEET
FINAL SUBDIVISION PLAN
ON
EQUITY DEVELOPMENT PARTNERS
3490-3510 BOARD ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE	AS NOTED
DRAWN BY	ESL
CHECKED BY	AWA
CONTACT	AWA
DATE	09.04.25
FILE NAME	1356.5-FSD-1
JOB NO.	1356.5
SHEET NO.	FSD-1
REV.	2
SHIT	1 OF 4

PROPERTY BOUNDARY CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	DIRECTION	CHORD
C1	55.00'	56.39'	S 57°59'31" E	77.78'

PROPERTY BOUNDARY LINE TABLE		
LINE	BEARING	LENGTH
L1	S 63°16'59" E	19.83'
L2	S 26°46'27" W	51.72'
L3	N 68°45'14" W	198.13'
L4	S 62°34'11" W	126.65'
L5	S 17°15'56" W	60.00'
L6	S 12°44'04" E	73.85'
L7	N 63°13'34" W	62.28'
L8	S 85°28'14" W	60.30'
L9	S 26°48'26" W	11.50'
L10	S 77°00'26" W	157.59'
L11	N 77°00'33" E	60.00'
L12	N 12°59'23" W	55.00'

PLAN LEGEND

---	EXISTING CONTOUR LINE
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING SANITARY SEWER GRAVITY LINE
---	EXISTING OVERHEAD ELECTRIC AND CABLE LINES
---	EXISTING OVERHEAD TELEPHONE LINE
---	EXISTING OVERHEAD TELEPHONE, AND CABLE LINES
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING FENCE LINE
---	EXISTING PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING RIGHT-OF-WAY LINE
---	EASEMENT LINE
---	EXISTING CENTERLINE
---	BUILDING SETBACK LINE
---	EXISTING STORM SEWER DRAINAGE LINE
---	EXISTING TREE/BRUSH LINE
---	EXISTING SIGN
---	EXISTING FIRE HYDRANT
---	EXISTING PROPERTY CORNER (AS STATED)
---	PROPOSED PROPERTY CORNER (AS STATED)
---	PROPERTY CORNER
---	EXISTING UTILITY POLE
---	UTILITY ANCHOR
---	EXISTING CLEARDIRT
---	EXISTING WATER VALVE
---	EXISTING GAS VALVE
---	EXISTING BOLLARD
---	EXISTING DOWNSPOUT
---	EXISTING SPOT LIGHT
---	EXISTING LIGHT STANDARD
---	EXISTING MAIN DOOR LOCATION
---	EXISTING DOCK/OVERHEAD LOCATION
---	EXISTING WATER METER PIT
---	EXISTING STORM DRAINAGE MANHOLE
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING GAS METER
---	EXISTING ELECTRIC METER
---	EXISTING TELEPHONE PEDESTAL
---	EXISTING TRANSFORMER
---	EXISTING PARKING SPACE COUNT
---	FLAG POLE
---	SURVEY/SITE BENCH MARK
---	EXISTING DECIDUOUS TREE
---	EXISTING CONIFER
---	EXISTING SHRUB
---	STORM DRAINAGE INLET TYPE "C"
---	STORM DRAINAGE INLET TYPE "M"
---	PIPE CONTINUATION (LOCATION UNKNOWN)
---	PIPE END (CAPPED)
---	BUILDING SETBACK LINE
---	CONCRETE
---	CLEAR SIGHT TRIANGLE
---	DEED BOOK
---	DRAWER
---	EASEMENT
---	EXISTING
---	FOUND
---	FEET OR FOOT
---	IRON PIN
---	IRON PIPE
---	MAILBOX
---	NOW OR FORMERLY
---	PENNSYLVANIA DEPARTMENT OF TRANSPORTATION
---	PLAN BOOK
---	PAGE
---	RIGHT-OF-WAY
---	STATE PLANE COORDINATE SYSTEM
---	TYPICAL

HATCH LEGEND

---	EXISTING BUILDING
---	EXISTING LINE STRIPING
---	EXISTING CONCRETE
---	EXISTING GRAVEL

EASEMENT HATCH LEGEND

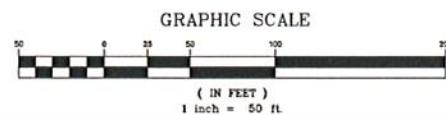
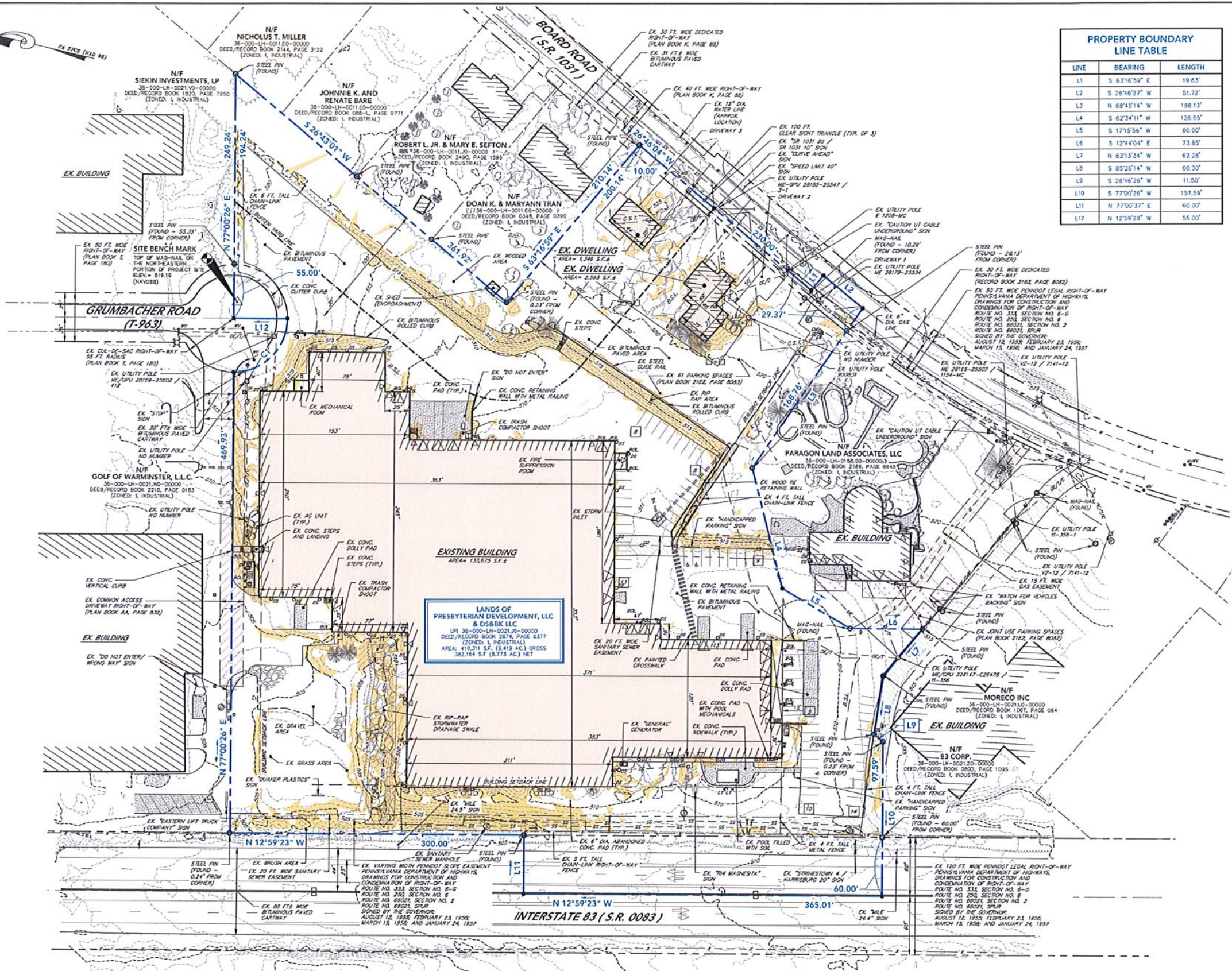
---	EXISTING SANITARY SEWER EASEMENT
---	EXISTING GAS EASEMENT
---	EXISTING COMMON ACCESS DRIVE RIGHT-OF-WAY
---	EXISTING JOINT USE PARKING SPACES

SOILS LEGEND

Uc URBAN LAND

STEEP SLOPES LEGEND

---	STEEP SLOPES OF 15% AND GREATER
-----	---------------------------------



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11.10.25
FOR REGULATORY REVIEW ONLY

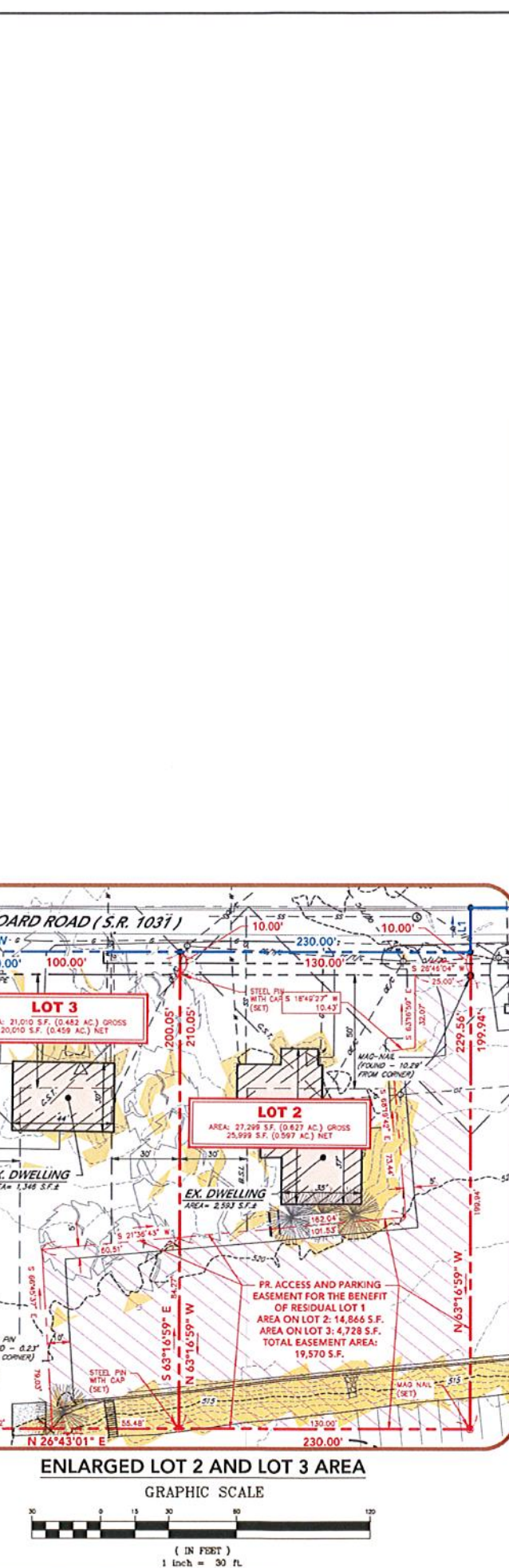
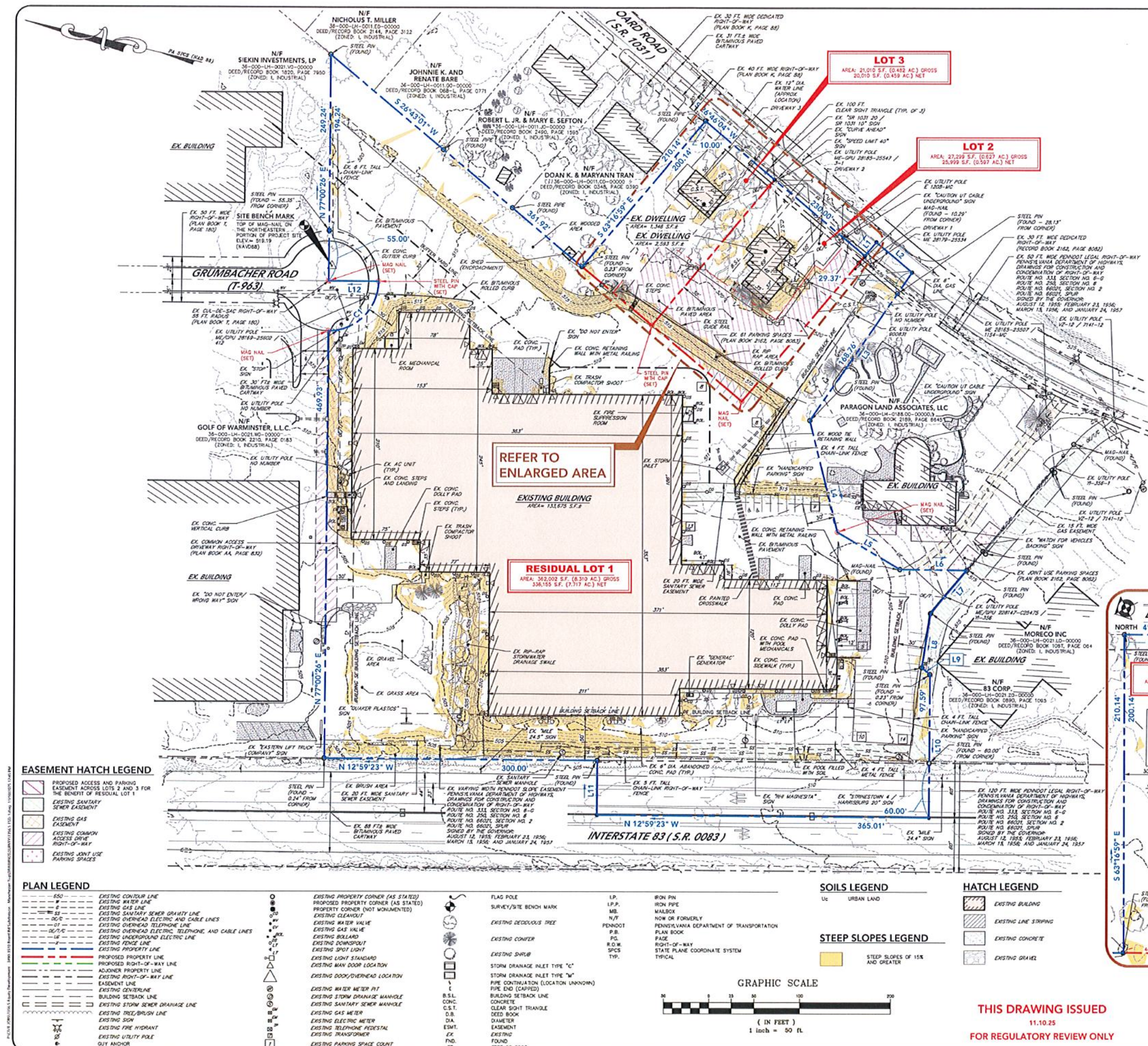
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EXISTING SITE CONDITIONS PLAN
FINAL SUBDIVISION PLAN
FOR
EQUITY DEVELOPMENT PARTNERS
3490-3510 BOARD ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE	AS NOTED
DRAWN BY	ESL
CHECKED BY	AWA
CONTACT	AWA
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JOB NO.	1356.5
SHEET NO.	FSD-2
SHT. 2 OF 4	2



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sdcc

FINAL SUBDIVISION PLAN
FOR
EQUITY DEVELOPMENT PARTNERS
3490-3510 BOARD ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE
AS NOTED

DATE
09.04.25

FILE NAME
1356.5-FSD-1

JOB NO.
1356.5

SHEET NO.
FSD-3
SHT. 3 OF 4

REV.
2

NO. DATE REV. PER. W.P. STAFF COMMENTS

1 11.06.25 REV. PER. W.P. STAFF COMMENTS

2 11.07.25 REV. PER. W.P. STAFF COMMENTS

APPLICANT EQUITY DEVELOPMENT PARTNERS APPLICATION NO. _____
 STREET BOARD ROAD LEGAL SPEED LIMIT 40 MPH
 MEASURED BY ERL DATE 09.25.2025
 FOR DEPARTMENT USE ONLY: Safe-Running Speed _____ 85th Percentile Speed _____

A

DISTANCE REQUIRED
 $FSD = 309'$

THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER AT A DRIVEWAY LOCATION CAN CONTINUOUSLY SEE ANOTHER VEHICLE APPROACHING ON THE ROADWAY.

B

DISTANCE REQUIRED
 $FSD = 319'$

THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER ON THE ROADWAY CAN CONTINUOUSLY SEE THE REAR OF A VEHICLE WHICH IS LOCATED IN THE DRIVER'S TRAVEL LANE AND WHICH IS POSITIONED TO MAKE A LEFT TURN INTO AN ACCESS.

C

DISTANCE REQUIRED
 $FSD = 309'$

THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER OF A VEHICLE INTENDING TO MAKE A LEFT TURN INTO A DRIVEWAY CAN CONTINUOUSLY SEE A VEHICLE APPROACHING FROM THE OPPOSITE DIRECTION.

DRIVEWAY SIGHT DISTANCE MEASUREMENTS
 (DRIVEWAY 2)
 NO SCALE

APPLICANT _____ EQUITY DEVELOPMENT PARTNERS _____ APPLICATION NO. _____

STREET _____ BOARD ROAD _____ LEGAL SPEED LIMIT _____ 40 MPH _____

MEASURED BY _____ ERL _____ DATE _____ 09.25.2025 _____

FOR DEPARTMENT USE ONLY: Safe-Running Speed _____ 85th Percentile Speed _____

A

GRADE $+0.8\%$ GRADE -1.0%

Sight Line

DISTANCE REQUIRED
FSD = 309'

DRIVER'S EYE 10' EDGE OF TRAVEL LANE

THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER AT AN DRIVEWAY LOCATION CAN CONTINUOUSLY SEE ANOTHER VEHICLE APPROACHING ON THE ROADWAY.

B

GRADE -1.0% GRADE $+0.8\%$

Sight Line

DISTANCE REQUIRED
FSD = 319'

THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER ON THE ROADWAY CAN CONTINUOUSLY SEE THE REAR OF A VEHICLE WHICH IS LOCATED IN THE DRIVER'S TRAVEL LANE AND WHICH IS POSITIONED TO MAKE A LEFT TURN INTO AN ACCESS.

C

GRADE $+0.8\%$ GRADE -1.0%

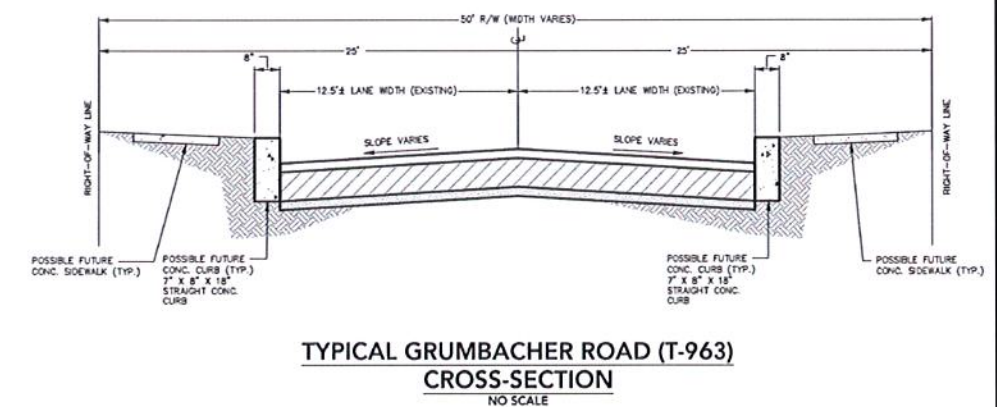
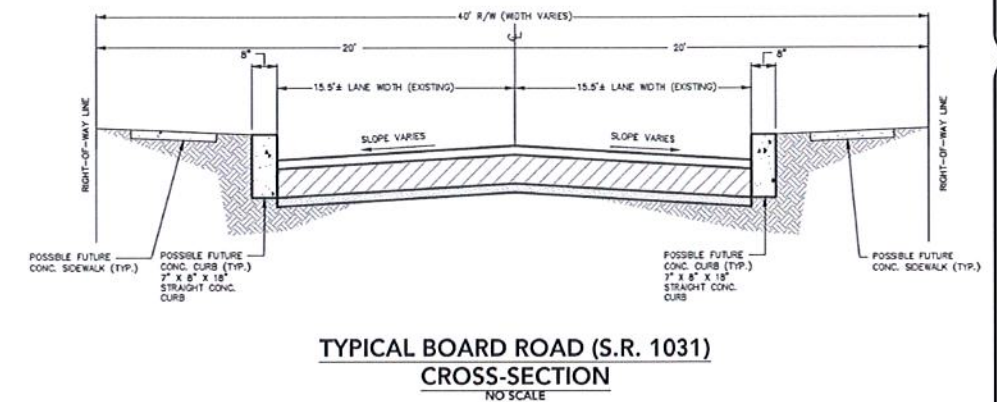
Sight Line

DISTANCE REQUIRED
FSD = 309'

THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER OF A VEHICLE INTENDING TO MAKE A LEFT TURN INTO A DRIVEWAY CAN CONTINUOUSLY SEE A VEHICLE APPROACHING FROM THE OPPOSITE DIRECTION.

DRIVEWAY SIGHT DISTANCE MEASUREMENTS

(DRIVEWAY 3)
NO SCALE

[illegible]

sdc

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FILE
DETAILS AND NOTES
PROJECT
FINAL SUBDIVISION PLAN
FOR
EQUITY DEVELOPMENT PARTNERS
3490-3510 BOARD ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

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