

THE TOWNSHIP OF MANCHESTER

YORK COUNTY



PENNSYLVANIA

MANCHESTER TOWNSHIP PLANNING COMMISSION AGENDA

Wednesday – **September 24, 2025** – 6:00 p.m.

CALL TO ORDER

APPROVAL OF MINUTES FROM AUGUST 27, 2025

NEW BUSINESS:

- **RVW #2025-09 Hunsberger FSD** – The applicant requests approval of a Preliminary/Final Subdivision Plan for a lot line adjustment in the Residential Low (RL) District at 748 and 772 Greenbriar Road, UPI 36-000-KH-0070.A0-00000 and 36-000-KH-0072.00-00000.
- **RVW #2025-10 Jelleco, LLC FSD** – The applicant requests approval of a Preliminary / Final Subdivision Plan for a lot consolidation in the Residential Low (RL) District at 1270 and 1260 Mill Creek Road, UPI 36-000-LH-0129.E0-00000 and 36-000-LH-0155.00-00000.
- **RVW #2025-05 Penn Avenue Residential PSD** – The applicant requests approval of a Preliminary Subdivision Plan for 83 single-family dwelling lots and two open space lots in the Residential Low (RL) District, UPI 36-000-JH-0070.CO-00000.

OLD BUSINESS:

None

ADJOURNMENT

THE TOWNSHIP OF MANCHESTER

YORK COUNTY



PENNSYLVANIA

PLANNING COMMISSION MINUTES

August 27, 2025

MEETING

The Manchester Township Planning Commission held its regularly scheduled meeting on Wednesday, August 27, 2025, at the municipal building, located at 3200 Farmtrail Road, York, PA, 17406. Chairman Nicholas Hauck called the meeting to order at 6:00 p.m.

ATTENDANCE *(A) = Absent

Nicholas Hauck, Chairperson

Kenneth Stoutzenberger, Vice-Chair

Brian Salsgiver, Member

Scott Ettien, Member (A)

Daniel Spies, Member

B.J. Treglia, Township Engineer

Rachel Vega, Zoning/Planning Officer

Larry Young, Solicitor (A)

Cory McCoy, CS Davidson Engineer (A)

David Chiaverini, Supervisor

APPROVAL OF MINUTES

Upon a motion by Mr. Stoutzenberger, seconded by Mr. Spies, the planning commission approved June 25, 2025, minutes as presented. Motion carried 4-0.

NEW BUSINESS

- **RVW #2025-08 Rose Court LLC** – The applicant requests approval of a Preliminary/Final Land Development Plan for an accessory storage building in the Industrial District (I), at 120 Rose Court, tax parcel # 36-000-LH-0008.K0-00000. Upon a motion by Mr. Hauck, seconded by Mr. Stoutzenberger, the planning commission recommended approval of RVW # 2025-08, Rose Court LLC preliminary/final land development plan with the condition that item 1, 5, 7, 8, and new comment 9 are addressed. The planning commission also recommended approval of waivers from §22-303 to allow a preliminary/final land development plan submission, §22-709 to not require the installation of sidewalk along Rose Court, and §22-705.E to not meet the clear sight triangle requirements due to existing obstructions. These are stop-controlled intersections and adequate sight distance is provided. Motion carried 4-0.

OLD BUSINESS

ADJOURNMENT

With no additional business on the agenda, Mr. Stoutzenberger adjourned the meeting at 6:15 p.m.

Respectfully submitted,

Rachel Vega

Zoning/Planning Officer



C.S. DAVIDSON, INC.
ENGINEERING A BETTER COMMUNITY

August 27, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

Re: Abram B. & Amy Hunsberger Subdivision
Final Subdivision Plan
Manchester Township Plan #2025-09
Engineer's Project No. 0841.3.08.77

Dear Rachel:

We have reviewed the above-referenced Final Subdivision Plan submitted by Gordon L. Brown & Associates, Inc., dated July 31, 2025. We offer the following comments:

Zoning Ordinance

1. General note 7 on the coversheet states that the lots are served by public sewer and on-lot wells; however, the site data table on sheets 2 and 3 list that both lots are served by public water and sewer. Address this discrepancy accordingly, and revise the minimum lot size and minimum street frontage width requirements as necessary. (§27-405.1)
2. It shall be noted within the site data table that Parcel 70A is an existing non-conformity in regards to the minimum required street frontage. (§27-405.1)
3. The proposed subdivision is not classified as an open development. Remove the requirements of maximum lot and building coverage for open space development from note 10 of the site data table. (§27-408)

Subdivision Land Development Ordinance:

1. Provide 5 signature lines for the Board of Supervisors signature block. (§22-404.1.6)
2. Remove "Add On Lot 3" from the UPI table as it is not an existing or proposed lot. (§22-404.1.12)
3. Revise the minimum lot area note in the site data table as follows (§22-404.3.1):
 - a. Reference the name of the lots consistent with general note 1.
 - b. The net and gross lot areas (listed in acres and sq. ft.) for the existing and proposed tracts shall be provided in tabular form in the site data table.
4. Parcel 70A/Combined Lots 2 & 3 shall have a front setback designated (§22-404.3.9).
5. The maximum lot coverage proposed shall be indicated in the site data table (§22-404.3.14).
6. The maximum building coverage proposed shall be indicated in the site data table (§22-404.3.15).
7. The required and provided parking spaces shall be stated and delineated on the plans (§22-404.3.22).
8. Reference the datum to which the site boundary survey references. (§22-404.3.25)

ENGINEERING A BETTER COMMUNITY

38 N. Duke Street • York, PA 17401 • 717.846.4805
50 W. Middle Street • Gettysburg, PA 17325 • 717.337.3021
315 W. James Street, Suite 102 • Lancaster, PA 17603 • 717.481.2991

CSDavidson.com

9. Any existing or proposed easements shall be delineated on the plans with an identifiable shading (§22-404.4.15).
10. All areas with slopes greater than 15% shall be delineated and hatched on the plans (§22-404.4.16.A).
11. The immediate adjacent two properties along Greenbriar Road are missing information within the land adjoiner table (§22-404.4.18).
12. Existing cartway and right-of-way dimensions shall be provided from the centerline in addition to the full-width dimension (§22-404.4.24).
13. Existing street township classification numbers (T-#'s) shall be identified on the plans (§22-404.4.26).
14. Existing structures, including driveways, access drives, and parking areas shall be dimensioned on the plans (§22-404.4.28). Access drives and driveways shall be identified on the plans for all adjacent properties.
15. The safe stopping sight distance (required and available), the approach grade, and the speed limit shall be listed for both driveways in both directions. (§22-404.4.30)
16. Show, label, and dimension a clear sight triangle at both driveways. (§22-404.4.31)
17. All existing traffic control devices (signage) shall be shown on the plans (§22-404.4.35.A).
18. Provide a non-building waiver/sewage planning module exemption code number on the plans (§22-407.3.2).
19. The following standard township notes shall be provided on plans 1, 3, 5, and 15. See Section 22 Attachment 3. (§22-408.3) Within note 5; list the continuing nonconformities.
20. The cover sheet shall include the owner(s)'s notarized signature prior to the Planning Commission meeting. (§22-404.1.2)
21. The property owners address shall be clearly identified on the cover sheet of the plans (§22-404.1.3).
22. The plan preparers dated signature shall be added to the plans prior to final approval (§22-404.1.4).
23. Curbs shall be constructed in all subdivisions or land developments (§22-703.2). The requirement of curbing may be waived by the Board of Supervisors if conditions outlined within §22-703.2 exist. A grant of such a waiver shall be recorded in the minutes of the Board of Supervisors and shall require that the following language be shown on the plan:

"The owners, heirs, assigns or successors in the title agree that they shall install at the owners' expense concrete curbing, concrete sidewalk; or both concrete curbing and concrete sidewalk; and any necessary road widening to accompany the curbing to Township and/or State specifications within six months from the receipt of certified notification from the Township."
24. Township standard note numbers: 1, 3, 4, 5, 6, 7, 10.2, 14, 15, 16, 19, 21, 24, 25, 27, and 32 shall be added to the plans. See attachment 3 of the SALDO for the required wording. (§22-408.3)

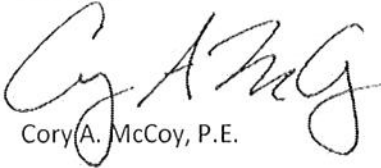
General Comments

1. An Access and Operation & Maintenance agreement shall be provided for the shared driveway to Parcel 70A.

2. Add a typical street cross-section depicting the Greenbriar Road dimensions and future curb and sidewalk improvements.
3. Greenbriar Road shall be determined whether it is considered an arterial street within the Township's Comprehensive plan. Note 8 within the site data table shall be revised accordingly.

If you have questions related to the enclosed information or require any clarification, please feel free to contact me at our York office number or via email CAM@csdavidson.com.

Sincerely,



Cory A. McCoy, P.E.

CAM/AJS/SXM/dmg

Copy:

B.J. Treglia, P.E. Manchester Township via email: b.treglia@mantwp.com

Layne Clark, L.S.I.T. Gordon L Brown & Associates, Inc. via email: lclark@glba-engineering.com

File

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ABRAM B. & AMY HUNSBERGER SUBDIVISION
748 & 772 GREENBRIAR ROAD
FINAL SUBDIVISION PLAN
LOCATED IN
MANCHESTER TOWNSHIP YORK COUNTY, PA

TOWNSHIP PLANNING COMMISSION

Recommended for approval by the Planning Commission of Manchester Township, York County, Pennsylvania.

This _____ Day of _____, 20____

Chairman _____

TOWNSHIP BOARD OF SUPERVISORS

Approved by the Township Supervisors of Manchester Township, York County, Pennsylvania.

This _____ Day of _____, 20____

Chairman _____

YORK COUNTY PLANNING COMMISSION

Reviewed by the York County Planning Commission

Date: _____

CERTIFICATE OF OWNERSHIP AND
ACKNOWLEDGEMENT OF PLAN

COMMONWEALTH OF PENNSYLVANIA:
COUNTY OF YORK

On this, the 2nd day of September, 2025, before me, the undersigned officer, personally appeared

Abram B. & Amy Hunsberger, who being duly sworn according to law, depose and say that (he/she/they) -before the (his/her/their) direction, that (he/she/they) acknowledges the same to be (his/her/their) act and plan, that desires the same to be recorded, and all streets and other property identified as proposed public property (excepting those areas labeled "NOT FOR DEDICATION") are hereby dedicated to the public use.

In witness whereof, I hereunto set my hand and official seal:

Mary Beth Kitzner
Signature and Seal of Notary Public or Other Officer Authorized to Acknowledge Deeds

My Commission Expires April 22, 2026

TOWNSHIP ENGINEER

Recommended for Approval by the Township Engineer

Date: _____

RECORDER OF DEEDS

Recorded in the office for Recording Deeds, in and for York

County, Pennsylvania, in Book _____ Page _____

Witness by hand and seal of office this, the _____

day of _____, A.D., 20____

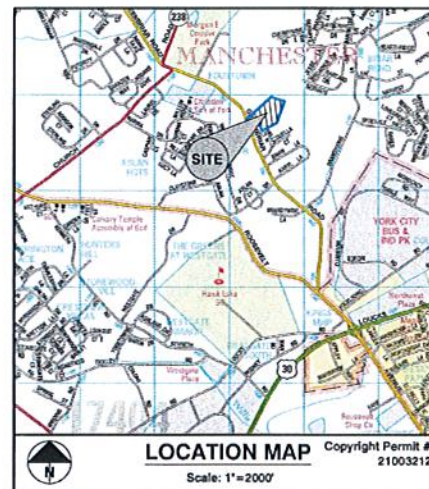
OWNER/SUBDIVIDER

Abram B. Hunsberger & Amy Hunsberger
748 Greenbriar Road
York, PA 17403

A.B. Hunsberger
Abram Hunsberger (Owner)
(AKA Abram B. Hunsberger)

Amy Hunsberger
Amy Hunsberger (Owner)

SHEET LEGEND	
SHEET#	DESCRIPTION
* SHT. 1	TITLE SHEET
* SHT. 2	EXISTING SITE CONDITIONS PLAN
* SHT. 3	SUBDIVISION PLAN
* TO BE RECORDED	



Parcel/Lot No.	Address	UPI No.
Parcel 72	772 Greenbriar Road	36000KH0070A0000000
Parcel 70A	748 Greenbriar Road	36000KH00720000000
	Greenbriar Road	

MANCHESTER TOWNSHIP SUBDIVISION & LAND DEVELOPMENT
ORDINANCE - SECTION 22-408 APPLICABLE NOTES

- SIDEWALKS/CURBING:** The owners, heirs, assigns or successors in the title agree that they shall install at the owners' expense concrete curbing, concrete sidewalk; or both concrete curbing and concrete sidewalk; and any necessary road widening to accompany the curbing to Township and/or State specifications within six months from the receipt of certified notification from the Township.
 - RIGHT-OF-WAYS/EASEMENTS:** The owner shall not construct, plant, or maintain any structures, fences, trees, shrubbery, etc., within the sanitary sewer, stormwater, or utility right(s)-of-way/easements in order to ensure a free and clear access to all facilities. Bituminous paving, commingling of sanitary sewer, stormwater or utilities, or a change in ground contours within the right(s)-of-way/ easements will be permitted only with written consent of the Township.
 - GENERAL ACCESS:** The owner hereby grants Manchester Township or its representative a general access easement across the entire lot for access to public sewer and sampling manholes.
 - NONCONFORMITIES:** Any nonconforming building or structure is destroyed or damaged by reason of windstorm, fire, flood, explosion or other act of God or public enemy to an extent of more than 50% of its fair market value at the time of the casualty shall not be rebuilt, restored, or repaired except in conformance of the provisions of the Manchester Township Zoning Ordinance [Chapter 27].
 - Parcel 70A (Combined Lot 2 & 3) - No actual road frontage.
 - Parcel 72 (Residual Lot 1) - Existing 2-1/2 Story Framed House does not conform to current front zoning setbacks.
 - PUBLIC IMPROVEMENTS:** All public improvement construction shall conform to the Manchester Township construction and materials specifications unless specific waivers have been granted.
 - AUTHORITY STANDARDS:** All work shall conform to the Manchester Township Municipal Authority's plan, design and construction standards.
 - ADDRESSING:** Residential - The street address number shall be mounted to the building with a minimum of two inch by three inch numbers that are visible from the street.
 - RESTORATION:** Landowner is responsible for pavement and curbing restoration if paving and curbing is constructed over or through the sanitary sewer easement/ right-of-way.
 - MONUMENTS AND MARKERS:** Permanent monuments and markers (steel pins) to be set at all property corners in accordance with Section 22-717 of this Chapter.
 - PA ONE CALL:** Locations of existing underground utilities are based upon surface evidence and existing drawings (or whatever investigation was done) and are not guaranteed to be complete or accurate by Gordon L. Brown & Associates, Inc. Contractor(s) should contact the PA One Call System (1-800-242-1776) prior to any excavation as required by PA Act 38 (1991). PA One Call has been notified 6/10/2025 - Serial Number 20251610884 & 20251610926.
- 19. WAIVERS:**
- Waiver from Section 22-203 was granted by the Manchester Township Board of Supervisors for the requirement of a Preliminary Plan on _____
 - Waiver from Section 22-703.2 was granted by the Manchester Township Board of Supervisors for the requirement to construct concrete curb along the public road on _____
 - Waiver from Section 22-709.1 was granted by the Manchester Township Board of Supervisors for the requirement to construct concrete sidewalk along the public road on _____
- NOTE:** "The owners, heirs, assigns or successors in the title agree that they shall install at the owners' expense concrete curbing, concrete sidewalk; or both concrete curbing and concrete sidewalk; and any necessary road widening to accompany the curbing to Township and/or State specifications within six months from the receipt of certified notification from the Township."
- 21. GRINDER PUMPS:** The use of grinder pumps or pressure sewers shall not be permitted (optional wording unless in conformance with Manchester Township Code of Ordinances Chapter 18, Part 1E).
- 24. PERMITS REQUIRED:** No building construction may occur without permits first being issued in accordance with the ordinances of Manchester Township.
- 25. BLASTING:** No blasting is permitted with a State permit and advance notification to the Manchester Township Fire Chief.
- 27. AS-BUILTS:** "As-Built" sanitary sewer drawings must be submitted and approved by the Manchester Township Municipal Authority's engineer prior to the connection of any building to the sanitary sewer system. "As-Built" sanitary sewer drawings must be submitted at least 30 days prior to any proposed connection to the sanitary sewer system.
- 31. RESIDENTIAL DRIVEWAYS:** Residential driveways must be setback a minimum of three feet from all side and rear property lines. The maximum width of residential driveways at the right-of-way lines shall conform to the Manchester Township Zoning Ordinance [Chapter 27].

GENERAL NOTES

- The purpose of this plan is to subdivide a portion of land from Parcel 72 (Residual Lot 1) and add the portion of land to Parcel 70A (Combined Lot 2 & 3).
- The parent lot is currently being used for Residential purposes. There will be no change in use by this subdivision plan.
- Deeds of record:
2719-5649 (Parcel 70A - 748 Greenbriar Road)
2741-8754 (Parcel 72 - 772 Greenbriar Road)
- The bearing base for the property lines are referenced to the NAD83 (2011), PA South Zone (Grid).
- Boundary and planimetric features shown hereon were based on an actual field survey by Gordon L. Brown & Associates, Inc. in June-July 2025.
- Contour information is based on the Pennsylvania Spatial Data Access (LIDAR) Light Detection and Ranging Resource, and does not represent any field run topography by Gordon L. Brown & Associates, Inc.
- Lots are served by:
Parcel 70A (Combined Lot 2 & 3) - Public sewer and on-lot well.
Parcel 72 (Residual Lot 1) - Public sewer and on-lot well.
- Monumentation will be set upon plan approval. All proposed/missing property corners will be marked with rebars and caps unless otherwise noted.
- This subdivision plan was prepared WITH the benefit of a title search by an expert title abstractor. The title information shown hereon was derived from the best available land records at the time of the survey. The boundary lines shown hereon are the result of an actual field survey.
- Per FEMA Flood Insurance Rate Map for the Township of Manchester, Township of West Manchester and City of York, PA, Map Number 42133C0307, effective date December 16, 2015, no flood plains exist on this project site.
- According to the National Wetlands Inventory Map website, there are no wetlands present on these sites as of 7/25/25, however a wetland study was not completed by certified wetland specialist.
- Location of all underground utilities is approximate as shown hereon. All locations and sizes are based on utility mark-outs and above ground structures. Available mark-outs and utility plans do not ensure underground utility and structure locations.
- The existing 33' Right-Of-Way depicted hereon for Greenbriar Road (S.R. 401) is based on York County Road Docket #17, Page 305, dated January 1812. Several adjoining properties have had right-of-way dedicated but no records show that PennDOT ever accepted the dedication.
- A Highway Occupancy Permit is required pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242, No. 428), known as the "State Highway Law", before Driveway access to a State Highway is permitted. Access to the State Highway shall only be as authorized by a Highway Occupancy Permit, and the Supervisors' approval of this Plan in no way implies that such permit can be acquired.

Gordon L. Brown & Associates, Inc.
Civil Engineers & Surveyors
2208 South Queen Street
York, PA 17402-4631
(717) 741-4631
2025 PA 033
Strausser
Surveying and Engineering, Inc.
2025 PA 033

ABRAM B. & AMY HUNSBERGER
748 & 772 GREENBRIAR ROAD

TITLE SHEET

FINAL SUBDIVISION PLAN

DRAWN BY	L.B.C.
CHECKED BY	W.J.D.
SCALE	AS NOTED
DATE	7/31/2025
DWG. NO.	L-6307
FILE NO.	96.25.19258
SHEET	1 OF 3

NON-BUILD WAIVER NOTE

As of the date of this deed/plot plan recording, the property/subdivision described herein is and shall be dedicated for the express purpose of Residential use. No portion of this property/subdivision are approved by Newberry Township (Municipality) or the Department of Environmental Protection (DEP) for the installation of any sewage disposal facility. No permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system (except for repairs to existing systems) unless the municipality and DEP have both approved sewage facilities planning for the property/subdivision described herein in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this property should contact appropriate officials of Newberry Township (Municipality), who are charged with administering the Sewage Facilities Act to determine the form of sewage facilities planning required and the procedure and requirements for obtaining appropriate permits or approvals.

PA DEP code number: _____



INFORMATION CONCERNING UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR IS RESPONSIBLE TO CONTACT ALL UTILITIES AND/OR HAND EXCAVATE TO DETERMINE THE LOCATION AND DEPTH OF THE UTILITIES PRIOR TO EXCAVATION. THE CONTRACTOR WILL CONTACT THE UNDERGROUND LOCATING SERVICE, TEL. NO. 1-800-242-1776 (PA ONE CALL) FOR THE ACTUAL LOCATION OF THEIR FACILITIES BEFORE ANY WORK IS BEGUN ON THIS PROJECT.

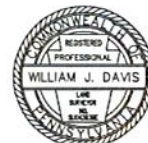
SERIAL #20251610884 (748 Greenbriar Road)
SERIAL #20251610926 (772 Greenbriar Road)

STATEMENT OF ACCURACY

I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Leacock Township Subdivision and Land Development Ordinance and/or Storm Water Management Ordinance. The error of closure is no greater than one foot (1') in ten thousand feet (10,000').

Date: 9/6/25, 2025

William J. Davis, PLS
Registration No. SU043939E
Agent for Gordon L. Brown & Associates



PLAN LEGEND

	PROPERTY LINE
	LINE TO BE EXTINGUISHED
	RIGHT OF WAY LINE
	EASEMENT LINE
	BUILDING SETBACK LINE
	VINYL FENCE LINE
	WOOD FENCE LINE
	STREAM OR CHANNEL LINE
	TREE OR BRUSH LINE (OR AS NOTED)
	CONTOUR MAJOR LINE
	CONTOUR MINOR LINE
	UNDERGROUND GAS LINE
	UNDERGROUND SANITARY SEWER LINE
	UNDERGROUND WATER LINE
	OVERHEAD ELECTRIC LINE
	SOILS LINE

	REBAR, MAG NAIL, RR SPIKE, STEEL PIPE FOUND (OR AS NOTED)
	CONCRETE MONUMENT FOUND (OR AS NOTED)
	REBAR SET (OR AS NOTED)
	POINT (OR AS NOTED)
	CONIFEROUS TREE (OR AS NOTED)
	UTILITY POLE (OR AS NOTED)
	GUY WIRE
	SANITARY SEWER CLEANOUT
	SANITARY SEWER MANHOLE
	TELEPHONE JUNCTION BOX
	WELL
	WATER VALVE
	FIRE HYDRANT
	STREET SIGN (OR AS NOTED)

STANDARD ABBREVIATIONS

BM	BENCH MARK
CO	CLEANOUT
CONC	CONCRETE
EOP	EDGE OF PAVEMENT
P.O.B.	POINT OF BEGINNING
SWL	SOLID WHITE LINE
TBS	TO BE SET

HATCH LEGEND

	ACCESS EASEMENT HATCH
	DRAINAGE EASEMENT HATCH
	SANITARY SEWER EASEMENT HATCH

EXISTING RIGHT-OF-WAY LINE TABLE

LINE	BEARING	DISTANCE
RW1	N 20°11'30" W	168.61'

LAND ADJOINER TABLE

	ADJOINER NAME	DEED/INSTR. NO.	PLAN BOOK/PAGE	TAX PARCEL NO.	ADDRESS
1	In Suk Pak & Young Suk Pak	---	SS-498 (Lot 80B)	36000400080B0000000	Appletree Court
2	John Gainer & Echeverria Gioconda	2592-6623	*	3600015011500000000	1974 Duella Court
3	Anne Marie & Sarah Sturgill	2813-3221	*	3600015011400000000	1972 Duella Court
4	John L. Wendt & Robin L. Wendt	951-978	*	3600015011300000000	1960 Duella Court
5	Christie Difelice & Brandon Linker	2704-6040	*	3600015011200000000	1948 Duella Court
6	Donald E. Bentzel & Emma Jean Bentzel	999-400	*	3600015011100000000	1936 Duella Court
7	Mark Daniel Richard	2717-381	*	3600015011000000000	1924 Duella Court
8	David A. Silverman	2362-1913	*	3600015010800000000	1920 Duella Court
9	Timothy F. Bentzel & Kathryn E. Bentzel	348-519	*	3600015010700000000	1916 Duella Court
10	Jeffery L. Burkholder	2541-615	*	3600015010100000000	742 Greenbriar Road
11	Phantom Property Investments, LLC	2643-1789	N/A	36000KH007100000000	762 Greenbriar Road

*Topographic & Subdivision Plan by C.S. Davidson, Inc., Dated 3-30-1959, Dwg No. 942-1-1E for Edwin C. Myers.

SOIL LEGEND

PoC	Penn-Klinesville channery silt loams, 8 to 15 percent slopes
Capability classification (Penn)	- 3E
Woodland ordination symbol (Penn)	- 3A
Capability classification (Klinesville)	- 4E
Woodland ordination symbol (Klinesville)	- 3D
PeB	Penn silt loam, 3 to 8 percent slopes
Capability classification	- 2E
Woodland ordination symbol	- 3A
ReA	Readington silt loam, 0 to 3 percent slopes
Capability classification	- 2W
Woodland ordination symbol	- 4A

SITE AND ZONING DATA

- Existing Zone: Residential Low Density District (RL)
- Existing/Proposed Land Use: Residential Low Density District (RL)
Parcel 70A is non-conforming, no road frontage.
- Existing Total Area:
Parcel 70A: 70,658 Sq. Ft. (1.62 Ac.)
Parcel 72: 303,908 Sq. Ft. (6.98 Ac.)
- Deeds of Record: 2741-6754 (Parcel 72) & 2719-5649 (Parcel 70A)
- UPI No.: 36-000-KH-0070A0-000000 & 36-000-KH-007200-000000
- Minimum Lot Area: 35,000 Sq. Ft. (Public Sewer and No Public Water)
Residual Lot 1: 254,391 Sq. Ft. (5.84 Acres)
Combined Lots 2 & 3: 120,122 Sq. Ft. (2.69 Acres)
Add On-Lot 3: 49,464 Sq. Ft. (1.14 Acres)
- Minimum Lot Width: 125 Ft.
Residual Lot 1: 168.57 Ft.
Combined Lots 2 & 3: N/A (25' Wide Access Easement)
Add On-Lot 3: N/A
- Minimum Building Setbacks (Non-open Space):
Front - 35 Feet
Side - 15 Feet
Rear - 35 Feet

*Except when along major and minor arterial type roadways as designated and set forth in the Manchester Comprehensive Plan, when such setback shall be 50 feet.

9. Maximum Permitted Building Height: 35 ft.

10. Maximum Lot Coverage: Not more than 30% of the lot area shall be occupied by buildings, and no more than 50% of the area shall be occupied by impervious surface.

Existing (Impervious Area):

Parcel 72: 2,748 Sq. Ft. (0.90%)
Parcel 70A: 7,929 Sq. Ft. (11.2%)

Proposed (Impervious Area):

Residual Lot 1 (Parcel 72): 2,749 Sq. Ft. (1.08%)
Combined Lot 2 & 3 (Parcel 70A): 7,929 Sq. Ft. (6.6%)

11. Maximum Building Coverage:

Existing:

Parcel 72: 1,470 Sq. Ft. (0.48%)
Parcel 70A: 2,716 Sq. Ft. (3.84%)

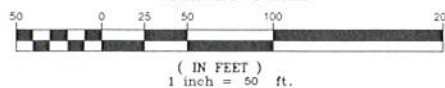
Proposed:

Residual Lot 1 (Parcel 72): 1,470 Sq. Ft. (0.58%)
Combined Lot 2 & 3 (Parcel 70A): 2,716 Sq. Ft. (2.26%)

12. Required Parking per Dwelling = 2 Spaces

Residual Lot 1 = 2 Spaces
Combined Lot 2 & 3 = 2 Spaces

GRAPHIC SCALE



Lot Area Table			
	Gross Sq. Ft.	Net Sq. Ft.	Acres
Existing			
Parcel 70A	70,658	1.62	N/A
Parcel 72	303,908	6.98	299,042
Proposed			
Residual Lot 1	254,445	5.84	249,579
Add On-Lot 3	49,464	1.14	N/A
Combined Lot 2 & 3	120,122	2.76	N/A

Sight Distance - 35 MPH			
	Left	Right	
Required	275'	347'	242'
Available	-6%	+2%	-4%
Combined Lot 2 & 3	265'	347'	231'



Gordon L. Brown & Associates, Inc.
Civil Engineers & Surveyors
2223 South Queen Street
York, PA 17402-0631
(717) 741-4621

Strausser
Surveying and Engineering, Inc.
2506 Little Pike
(717) 509-0538
Lancaster, PA 17601

ABRAM B. & AMY HUNSBERGER
748 & 772 GREENBRIAR ROAD

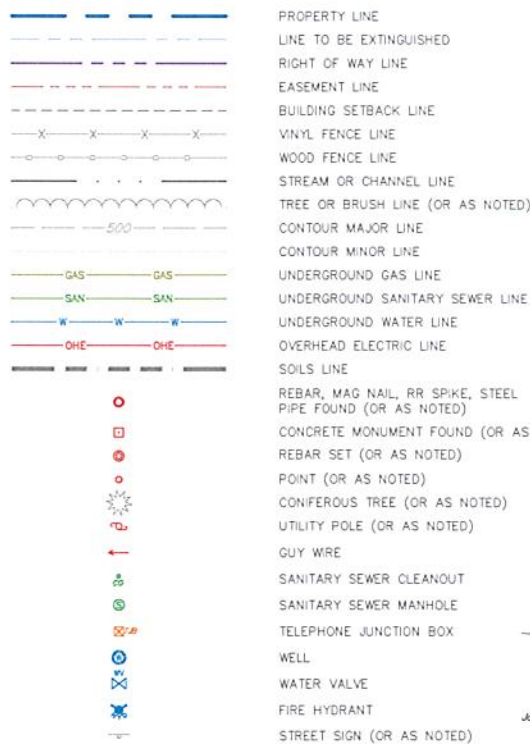
EXISTING SITE CONDITIONS PLAN

York County, Pennsylvania
Manchester Township

FINAL SUBDIVISION PLAN

DRAWN BY	L.B.C.
CHECKED BY	W.J.D.
SCALE	1" = 50'
DATE	7/31/2025
DWG. NO.	L-6307
FILE NO.	96.25.19258
SHEET	2 OF 3

PLAN LEGEND



STANDARD ABBREVIATIONS

BM	BENCH MARK
CO	CLEANOUT
CONC	CONCRETE
EOP	EDGE OF PAVEMENT
P.O.B.	POINT OF BEGINNING
SWL	SOLID WHITE LINE
TBS	TO BE SET

HATCH LEGEND



EXISTING RIGHT-OF-WAY LINE TABLE

LINE	BEARING	DISTANCE
R/W	N 20°11'30" W	168.61

LAND ADJOINER TABLE

	ADJOINER NAME	DEED/INSTR. NO.	PLAN BOOK/PAGE	TAX PARCEL NO.	ADDRESS
1	In Suk Pak & Young Suk Pak	---	SS-498 (Lot 809)	3600040008000000	Applewine Court
2	John Gainer & Echeverria Gioconda	2592-6623	*	360001501150000000	1974 Duella Court
3	Anne Marie & Sarah Sturgill	2813-3221	*	360001501140000000	1972 Duella Court
4	John L. Wendt & Robin L. Wendt	951-978	*	360001501130000000	1960 Duella Court
5	Christie Difelice & Brandon Linker	2704-6040	*	360001501120000000	1948 Duella Court
6	Donald E. Bentzel & Emma Jean Bentzel	999-400	*	360001501110000000	1936 Duella Court
7	Mark Daniel Richard	2717-381	*	360001501100000000	1924 Duella Court
8	David A. Silverman	2362-1913	*	360001501080000000	1920 Duella Court
9	Timothy F. Bentzel & Kathryn E. Bentzel	348-519	*	360001501070000000	1916 Duella Court
10	Jeffery L. Burkholder	2541-615	*	360001501010000000	742 Greenbriar Road
11	Phantom Property Investments, LLC.	2643-1789	N/A	36000KH007100000000	762 Greenbriar Road

*Topographic & Subdivision Plan by C.S. Davidson, Inc., Dated 3-30-1959, Dwg No. 942-1-1E for Edwin C. Myers.

Parcel	Lot Area Table		Parcel	Lot Area Table	
	Gross	Net		Gross	Net
Parcel 70A	70,658	1.62	N/A	N/A	N/A
Parcel 72	303,908	6.98	299,042	6.87	
Residual Lot 1	254,446	5.84	249,579	5.73	
Add On-Lot 3	49,464	1.14	N/A	N/A	
Combined Lot 2 & 3	120,122	2.76	N/A	N/A	

Sight Distance - 35 MPH	Left		Right	
	Required	Achievable	Required	Achievable
Residual Lot 1	275'	347'	242'	426'
Combined Lot 2 & 3	265'	347'	231'	399'

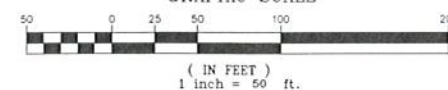
SOIL LEGEND

- PoC - Penn-Klinesville channery silt loams, 8 to 15 percent slopes
 Capability classification (Penn) - 3E
 Woodland ordination symbol (Penn) - 3A
 Capability classification (Klinesville) - 4E
 Woodland ordination symbol (Klinesville) - 3D
- PeB - Penn silt loam, 3 to 8 percent slopes
 Capability classification - 2E
 Woodland ordination symbol - 3A
- ReA - Readington silt loam, 0 to 3 percent slopes
 Capability classification - 2W
 Woodland ordination symbol - 4A

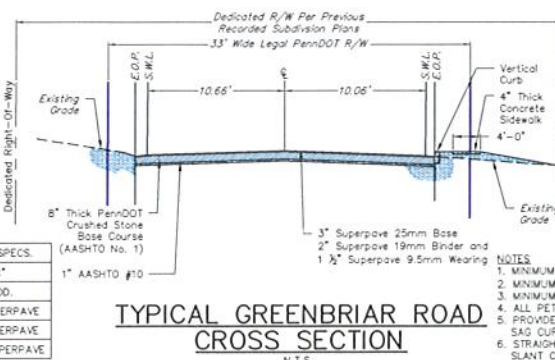
SITE AND ZONING DATA

- Existing Zone: Residential Low Density District (RL)
- Existing/Proposed Land Use: Residential Low Density District (RL)
 Parcel 70A is non-conforming, no road frontage.
- Existing Total Area:
 Parcel 70A: 70,658 Sq. Ft. (1.62 Ac.)
 Parcel 72: 303,908 Sq. Ft. (6.98 Ac.)
- Deeds of Record: 2741-6754 (Parcel 72) & 2719-5649 (Parcel 70A)
- UPI No.: 36-000-KH-0070.A0-000000 & 36-000-KH-0072.00-000000
- Minimum Lot Area: 35,000 Sq. Ft. (Public Sewer and No Public Water)
 Residual Lot 1: 254,446 Sq. Ft. (5.84 Acres)
 Combined Lots 2 & 3: 120,122 Sq. Ft. (2.89 Acres)
 Add On-Lot 3: 49,464 Sq. Ft. (1.14 Acres)
- Minimum Lot Width: 125 Ft.
 Residual Lot 1: 168.57 Ft.
 Combined Lots 2 & 3: N/A (25' Wide Access Easement)
 Add On-Lot 3: N/A
- Minimum Building Setbacks (Non-open Space):
 Front - 35 Feet
 Side - 15 Feet
 Rear - 35 Feet
- *Except when along major and minor arterial type roadways as designated and set forth in the Manchester Comprehensive Plan, when such setback shall be 50 feet.
- Maximum Permitted Building Height: 35 ft.
- Maximum Lot Coverage: Not more than 30% of the lot area shall be occupied by buildings, and no more than 50% of the area shall be occupied by impervious surface.
 Existing (Impervious Area):
 Parcel 72: 2,748 Sq. Ft. (0.90%)
 Parcel 70A: 7,929 Sq. Ft. (11.2%)
 Proposed (Impervious Area):
 Residual Lot 1 (Parcel 72): 2,749 Sq. Ft. (1.08%)
 Combined Lot 2 & 3 (Parcel 70A): 7,929 Sq. Ft. (6.6%)
- Maximum Building Coverage:
 Existing:
 Parcel 72: 1,470 Sq. Ft. (0.48%)
 Parcel 70A: 2,716 Sq. Ft. (3.84%)
 Proposed:
 Residual Lot 1 (Parcel 72): 1,470 Sq. Ft. (0.58%)
 Combined Lot 2 & 3 (Parcel 70A): 2,716 Sq. Ft. (2.26%)
- Required Parking per Dwelling = 2 Spaces
 Residual Lot 1 = 2 Spaces
 Combined Lot 2 & 3 = 2 Spaces

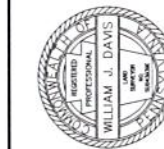
GRAPHIC SCALE



TYPICAL GREENBRIAR ROAD CROSS SECTION



STONE BASE	TYPICAL INTERIOR STREET ALTERNATE SPECS.		STONE BASE
	TYPE "B"	TYPE "C"	
	8" 2A	8" 3A MOD.	
BASE	3" 25mm SUPERPAVE	3" 25mm SUPERPAVE	
BINDER	2" 19mm SUPERPAVE	2" 19mm SUPERPAVE	
WEARING	1 1/2" 9.5mm SUPERPAVE	1 1/2" 9.5mm SUPERPAVE	



Gordon L. Brown & Associates, Inc.
 Civil Engineers & Surveyors
 2506 Litz Pike
 York, PA 17402-0528
 (717) 430-0528
 Fax: (717) 430-0521

ABRAM B. & AMY HUNSBERGER
 748 & 772 GREENBRIAR ROAD
 SUBDIVISION PLAN
 FINAL SUBDIVISION PLAN
 York County, Pennsylvania
 Manchester Township

DRAWN BY	L.B.C.
CHECKED BY	W.J.D.
SCALE	1" = 50'
DATE	7/31/2025
DWG. NO.	L-6307
FILE NO.	95.25.19258
SHEET	3 OF 3



C.S. DAVIDSON, INC.

ENGINEERING A BETTER COMMUNITY

August 20, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

Re: Jelleco, LLC (1260 & 1270 Mill Creek Road)
Final Subdivision Plan
Manchester Township Plan #2025-10
Engineer's Project No. 0841.3.10.09

Dear Rachel:

We have reviewed the above-referenced Final Subdivision Plan submitted by Gordon L. Brown & Associates, Inc, dated August 1, 2025. We offer the following comments:

Waiver Requests

1. §22-303 - To allow the submission of a Preliminary/Final Plan
2. §22-703.2 – To not require the installation of curb along the Mill Creek Road.
3. §22-709.1 - To not require the installation of sidewalk along Mill Creek Road.

Zoning Ordinance

1. A maximum of two accessory buildings or utility sheds or combination thereof shall be allowed on a lot on which the principal building is a dwelling. Any additional numbers of accessory buildings shall require special exception approval from the Zoning Hearing Board (§27-1102.4). It appears that once the lot is consolidated, three accessory buildings will exist. It was stated at the in-house meeting on August 18 that the two existing sheds are scheduled to be removed in the Spring of 2026. Include a note on the plans stating the two existing sheds are to be removed by the end of 2026 in order to comply with the maximum number of allowed accessory buildings.

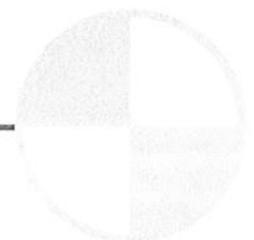
Subdivision Land Development Ordinance:

1. The address of the project shall be included in the title of the plans (§22-404.1.1.E).
2. Plan sheets to be recorded shall be indicated within the sheet index on the cover sheet of the plans (§22-404.1.10.A).
3. The net and gross lot area (listed in acres and sq. ft.) for the existing and proposed tracts shall be provided in tabular form in the site data table. (§22-404.3.1)
4. The location of the existing OLDS drain field shall be shown on the plans (§22-404.3.8).
5. Note that the minimum lot area and street frontage requirements are based on the fact that the lot is served by an on-lot septic system and well in the Zoning Data Notes (§22-404.3.10&11).
6. Reference the datum to which the site boundary survey references (§22-404.3.25).

ENGINEERING A BETTER COMMUNITY

38 N. Duke Street • York, PA 17401 • 717.846.4805
50 W. Middle Street • Gettysburg, PA 17325 • 717.337.3021
315 W. James Street, Suite 102 • Lancaster, PA 17603 • 717.481.2991

CSDavidson.com



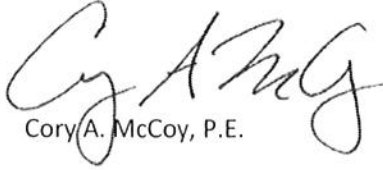
7. All hatching shown on the plans shall be included in the legend of features (§22-404.4.3).
8. All areas with slopes greater than 15% shall be delineated and hatched on the plans (§22-404.4.16.A).
9. Show limits of existing tree masses on lots 1 and 2 (§22-404.4.17).
10. Label and dimension the existing full and half-width right-of-way of Mill Creek Road (§22-404.4.24).
11. The existing sanitary sewer within Mill Creek Road shall be shown on the plans (§22-404.4.27).
12. Existing structures and parking areas shall be dimensioned on the plans (§22-404.4.28.A).
13. The safe stopping sight distance (required and available), the approach grade, and the speed limit shall be listed for both driveways in both directions (§22-404.4.30).
14. All existing traffic control devices (signage) shall be shown on the plans (§22-404.4.35.A).
15. Existing fire hydrant locations or a note referencing the distance to the nearest hydrant shall be shown on the plans (§22-404.4.37.A).
16. Show and dimension the 100' isolation distance for the existing well on lot 2 (§22-404.4.38.C).
17. Provide a non-building waiver/exemption (§22-407.3.2).
18. The cover sheet shall include the owner(s)'s notarized signature prior to the Planning Commission meeting (§22-404.1.2).
19. The plan preparers dated and sealed-signature shall be added to the plans prior to final approval (§22-404.1.4).
20. Township standard note numbers: 5, 7, 10.2, 19, 21, 25, 27, and 32 shall be added to the plans. See attachment 3 of the SALDO for the required wording. (§22-408.3)

General Plan Comments:

1. Revise note 9 to read as follows: Lots 1, 2, and Combined Lots 1 & 2 do not meet the minimum required 1 acre (minimum lot area for single-family residential in the Residential Low-Density District. The consolidation of lots 1 and 2 reduce this existing nonconformity from 0.492 Ac. (Lot 1) and 0.505 Ac. (Lot 2) to 0.895 Ac. (Combined Lots 1 & 2). Lots 1 and 2 shall be joined together, and shall not be separated therefrom without the approval of Manchester Township.
2. Revise note 4 to correct the typo of "combined".
3. Add a typical street cross-section depicting the Mill Creek Road dimensions and future curb and sidewalk improvements.
4. Revise the zoning district within the zoning data dates to "RL – Residential Low Density District".

If you have questions related to the enclosed information or require any clarification, please feel free to contact me at our York office number or via email CAM@csdavidson.com.

Sincerely,

A handwritten signature in black ink, appearing to read 'Cory A. McCoy', with a stylized flourish at the end.

Cory A. McCoy, P.E.

CAM/AJS/SXM/dmg

Copy:

B.J. Treglia, P.E. Manchester Township via email: b.treglia@mantwp.com

Lee Faircloth, Gordon L Brown & Associates, Inc. via email: lfaircloth@glba-engineering.com

File

K:\084131009\Correspondence\Letters-Reports\2025-08-20 Jelleco LLC - FSP Review Letter.docx

JELLECO, LLC
(1260 & 1270 MILL CREEK ROAD)
FINAL RESUBDIVISION PLAN
LOCATED IN
MANCHESTER TOWNSHIP, YORK COUNTY, PA

Reviewed by the Planning Commission
of Manchester Township

Date: _____

Reviewed by the York County Planning
Commission

Date: _____

Approved by the Supervisors of
Manchester Township.

Date: _____

Reviewed by the Township Engineer

Date: _____

NOTE:

Streets and utilities within dedicated
right-of-ways shown hereon are tendered for
dedication to public use and the subdivision design
is hereby approved by the owner(s), heir(s) and
assign(s).

Date: 8/29/2025

Jeffrey Leiphart
Jeffrey Leiphart (Member)

Owners Address:
Jeffrey Leiphart
1260 Mill Creek Road
York, PA 17404

COMMONWEALTH OF PENNSYLVANIA:
COUNTY OF YORK:

On this, the 29th day of August, 2025, before me, the undersigned
officer, personally appeared Jeffrey Leiphart, who acknowledged himself to be a Member of
Jelleco, LLC, a Limited Liability Company, and in that capacity being authorized to execute
said plan, that all necessary approvals of the plan have been obtained and are endorsed
hereon, and further acknowledges that all streets and other property identified as proposed
public property (excepting those areas labeled "NOT FOR DEDICATION") are hereby dedicated to
the public use.

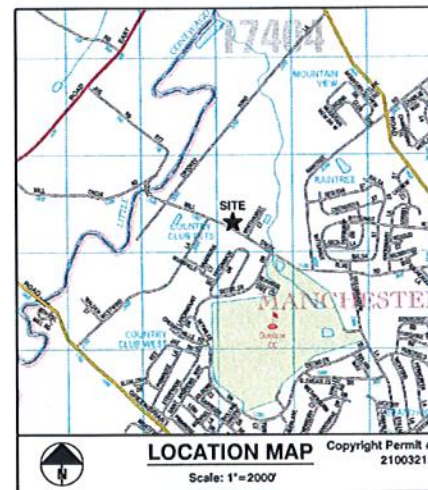
Mary Beth Krizek
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Mary Beth Krizek, Notary Public
Lancaster County
My commission expires April 22, 2026
Commission number 1096125
Member, Pennsylvania Association of Notaries



INFORMATION CONCERNING UNDERGROUND
UTILITIES IS NOT GUARANTEED TO BE
COMPLETE OR ACCURATE. THE CONTRACTOR
IS RESPONSIBLE TO CONTACT ALL UTILITIES
AND/OR HAND EXCAVATE TO DETERMINE
THE LOCATION AND DEPTH OF THE UTILITIES
PRIOR TO EXCAVATION. THE CONTRACTOR
WILL CONTACT THE UNDERGROUND LOCATING
SERVICE, TEL. NO. 1-800-242-1776 (PA ONE CALL)
FOR THE ACTUAL LOCATION OF THEIR
FACILITIES BEFORE ANY WORK IS BEGUN ON
THIS PROJECT.

SERIAL # 20251330885



SHEET LEGEND	
SHEET#	DESCRIPTION
* SHT. 1	TITLE SHEET
* SHT. 2	PLAN SHEET
* TO BE RECORDED	

Lot No.	Address	UPI No.
1	1270 Mill Creek Road	36-000-LH-0129.E0
2	1260 Mill Creek Road	36-000-LH-0155.00

Recorded in the office for Recording Deeds, in and for York
County, Pennsylvania, in Subdivision Plan Book _____ Page _____
Witness by hand and seal of office this, the _____
day of _____, A.D., 2025.

As of the date of this deed/plot plan recording, the property/subdivision described herein is
and shall be dedicated for the express purpose of residential use. No portion (or lot
number(s) _____) of this property/subdivision are approved by Manchester Township
(Municipality) or the Department of Environmental Protection (DEP) for the installation of
any sewage disposal facility. No permit will be issued for the installation, construction,
connection to or use of any sewage collection, conveyance, treatment or disposal system
(except for repairs to existing systems) unless the municipality and DEP have both approved
sewage facilities planning for the property/subdivision described herein in accordance with
the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations
promulgated thereunder. Prior to signing, executing, implementing or recording any sales
contract or subdivision plan, any purchaser or subdivider of any portion of this property
should contact appropriate officials of Manchester Township (Municipality), who are charged
with administering the Sewage Facilities Act to determine the form of sewage facilities
planning required and the procedure and requirements for obtaining appropriate permits or
approvals.

MANCHESTER TOWNSHIP
SUBDIVISION & LAND DEVELOPMENT ORDINANCE
SECTION 22-408 APPLICABLE NOTES

5. **Nonconformities** - If any nonconforming building or structure is destroyed or damaged by reason of
windstorm, fire, flood, explosion or other act of God or public enemy to an extent of more than 50% of its
fair market value at the time of the casualty shall not be rebuilt, restored, or repaired except in conformance
of the provisions of the Manchester Township Zoning Ordinance [Chapter 27].
7. **Authority Standards** - All work shall conform to the Manchester Township Municipal Authority's plan, design
and construction standards.
- 10.2. **Addressing - Residential** The street address number shall be mounted to the building with a minimum
of two inch by three inch numbers that are visible from the street.
19. **Waivers:**
A. Waiver from Section 22-303 was granted by the Manchester Township Board of Supervisors for the
requirement of a Preliminary Plan on _____
B. Waiver from Section 22-703.2 was granted by the Manchester Township Board of Supervisors for
the requirement to construct concrete curbing along the public road on _____
C. Waiver from Section 22-709.1 was granted by the Manchester Township Board of Supervisors for
the requirement to construct concrete sidewalk along the public road on _____
21. **Grinder Pumps** - The use of grinder pumps or pressure sewers shall not be permitted. (optional wording
unless in conformance with the Manchester Township Code of Ordinances Chapter 18, Part 1E).
25. **Blasting** - No blasting is permitted without a State permit and advance notification to the Manchester
Township Fire Chief.
27. **As-Built** - 'As-built' sanitary sewer drawings must be submitted and approved by the Manchester
Township Municipal Authority's engineer prior to the connection of any building to the sanitary sewer system.
'As-built' sanitary sewer drawings must be submitted at least 30 days prior to any proposed
connection to the sanitary sewer system.
32. **Residential Driveways** - Residential driveways must be setback a minimum of three feet from all side and
rear property lines. The maximum width of residential driveways at the right-of-way lines shall conform to the
Manchester Township Zoning Ordinance [Chapter 27].

I, William J. Davis, a Registered Professional Land Surveyor of the
Commonwealth of Pennsylvania, do hereby certify that this plan correctly
represents the lots, land, and highways as surveyed and plotted for the
owners or agents. Error of closure is not more than 1 part in 10,000.
William J. Davis 8/29/2025
William J. Davis, P.L.S.
Registration No. SU043939E
(Agent for Gordon L. Brown & Associates, Inc.)

Gordon L. Brown & Associates, Inc.
Civil Engineers & Surveyors
2238 South Queen Street
York, PA 17402-4631
(717) 741-4621
GLB&A

JELLECO, LLC
(1260 & 1270 MILL CREEK ROAD)

TITLE SHEET

FINAL RESUBDIVISION PLAN

DRAWN BY	S.J.S.
CHECKED BY	
SCALE	AS NOTED
DATE	07/30/25
DWG. NO.	L-6297
FILE NO.	03.25.19308
SHEET	1 OF 2

NAD83-2011
PA S.P.C.S. Grid
(South Zone)

N/F
Susan J. Heine
1290 Mill Creek Rd.
UPI No. 36-000-LH-0153.00
Deed: 2715-1485

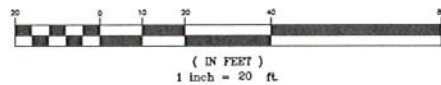
N/F
Stephen T. &
Leah L. Perko
1275 Mill Creek Rd.
UPI No. 36-000-LH-0157.00
Deed: 2776-8873

N/F
John A. &
Gaye Makris
1255 Mill Creek Rd.
UPI No. 36-000-LH-0155.00
Deed: 0971-0156

N/F
Pamela J. Thompson
1250 Mill Creek Rd.
UPI No. 36-000-LH-0128.A0
Deed: 2364-2092

N/F
Pamela J. Thompson
1250 Mill Creek Rd.
UPI No. 36-000-LH-0128.A0
Deed: 2364-2092

GRAPHIC SCALE



ZONING DATA

- Zoning District: RL - Residential Low Density District
- Minimum Lot Size: One (1) Acre (No Public Water, or Public Sewer)
- Proposed Lot Size: 0.895 Acre - Net (Combined Lots 1 & 2)
- Minimum Lot Width: 150 Feet (No Public Water, or Public Sewer)
- Proposed Lot Width: 199.47 Feet (Combined Lots 1 & 2)
- Minimum Building Setbacks:
 - Front - 35 Feet, Side - 15 Feet, Rear - 35 Feet
- Accessory Building Setbacks:
 - Front - 35 Feet, Side - 10 Feet, Rear - 10 Feet
- Maximum Building Coverage permitted: 30 Percent
- Existing Building Coverage: 8.2% (3,206 Sq. Ft. - Combined Lots 1 & 2)
- Maximum Building Height Permitted: None (Agricultural Buildings)
- 35 Feet (All Other Buildings)
- Maximum Lot Coverage (Impervious Surface): 50 Percent
- Existing Lot Coverage (Impervious Surface): 29.3% (11,406 Sq. Ft. - Combined Lots 1 & 2)

NOTES & SITE DATA

- Total Area: 43,421 Sq. Ft.
- Deed of Record: 2556-0447
- UPI Nos.: 36-000-LH-0129.E0 and 36-000-LH-0155.00
- Total No. of Lots: 2
- Proposed Use: Combined Lots 1 and 2 - Single-Family Detached
- Topography as shown was obtained from the Pennsylvania Spatial Data Access (PASDA) website's Light Detection and Ranging (LIDAR) Resource, and does not represent any field run topography by Gordon L. Brown & Associates, Inc., North American Vertical Datum (NAVD 1988).
- Per FEMA Flood Insurance Rate Map for Manchester Township, York County, PA, Map Number 42133C0194F, dated December 16, 2015, no floodplains exist on this site.
- According to the U.S. Fish and Wildlife Service - National Wetlands Inventory Map website as viewed on June 30, 2025, no wetlands existing on this site.
- Lots 1, 2 and Combined Lots 1 & 2 do not meet the minimum required 1 acre (minimum lot area for single-family residential in the Residential Low-Density District). The consolidation of lots 1 and 2 reduce this existing nonconformity from 0.492 Ac. (Lot 1) and 0.505 Ac. (Lot 2) to 0.895 Ac. (Combined Lots 1 & 2). Lots 1 and 2 shall be joined together, and shall not be separated therefrom without the approval of Manchester Township.
- Lots 1 and 2 are served by an on-lot sewage disposal system and well for water supply.
- No development is proposed by this Subdivision Plan. Prior to issuance of a building permit all necessary approvals for permit issuance shall be obtained from Manchester Township and Pennsylvania Department of Environmental Protection.
- Lots 1 and 2 plotted from actual field measurements by Gordon L. Brown & Associates, Inc. performed between December 5, 2024, and June 3, 2025.
- All improvements shown on Lots 1 and 2 are existing.
- No deed restrictions or protective covenants are being imposed by this Subdivision Plan.
- No buildings, structures, grade, or plantings higher than three (3) feet above the centerline of the street shall be permitted within any required clear sight triangle.
- The owner, heirs, assigns or successors in title agree that they shall install at the owner's expense concrete curbing, concrete sidewalk, or both concrete curbing and concrete sidewalk; and any necessary road widening to accompany the curbing to Township and/or State specifications within six (6) months from the receipt of certified notification from the Township.
- Permanent monuments and markers (rebar) shall be placed at all proposed lot corners in accordance with Chapter 22, Part 717 of the Manchester Township Code of Ordinances.
- To be in accordance with Section 27-1102.4. (Maximum number of accessory buildings, or utility sheds) frame sheds "A" & "B" as shown herein shall be removed on, or before December 1, 2026.
- The nearest existing fire hydrant is located approximately 980 feet away at the intersection of Mill Creek Road and Detwiler Drive.

LEGEND

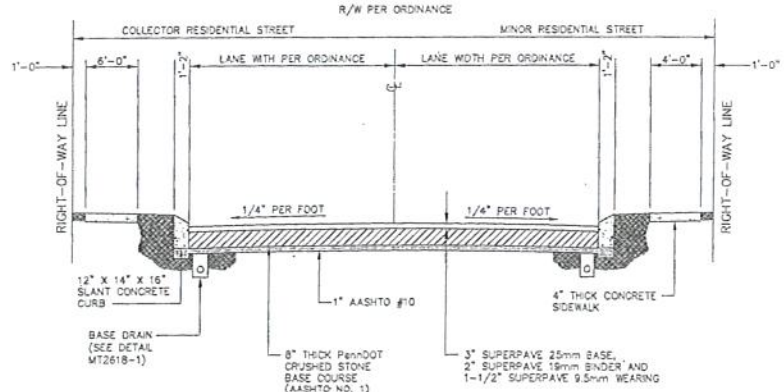
- EXISTING CONTOUR
- EXISTING PROPERTY LINE
- EXISTING PROPERTY CORNERS (TYPICAL)
- EXISTING ASPHALT DRIVEWAY
- EXISTING GRAVEL DRIVEWAY

SOIL TYPE (ENTIRE SITE)

PeB - Penn silt loam, 3 to 8 percent slopes
Capability classification - 2E
Woodland ordination symbol - 3A

	Lot Area Table			
	Gross	Net	Gross	Net
	Sq. Ft.	Acres	Sq. Ft.	Acres
Lot 1	21,421	0.492	19,210	0.441
Lot 2	22,000	0.505	19,783	0.454
Combined Lots 1 & 2	43,421	0.997	38,993	0.895

	Sight Distance - 35 MPH			
	Left	Right	Left	Right
	Required	Achievable	Required	Achievable
Lot 1	231'	114'	275'	370'
Lot 2	231'	334'	275'	264'



TYPICAL MILL CREEK ROAD CROSS SECTION

TYPICAL INTERIOR STREET ALTERNATE SPECS.			
	TYPE "B"	TYPE "C"	
STONE BASE	8" 2A	8" 3A WOOD	
BASE	3" 25mm SUPERPAVE	3" 25mm SUPERPAVE	
BINDER	2" 10mm SUPERPAVE	2" 10mm SUPERPAVE	
WEARING	1 1/2" 9.5mm SUPERPAVE	1 1/2" 9.5mm SUPERPAVE	

Gordon L. Brown & Associates, Inc.
Civil Engineers & Surveyors
2238 South Queen Street
York, PA 17402-4631
(717) 741-4621

JELLECO, LLC
(1260 & 1270 MILL CREEK ROAD)

PLAN SHEET
MANCHESTER TOWNSHIP
FINAL RESUBDIVISION PLAN

DRAWN BY S.J.S.
CHECKED BY
SCALE 1"=20'
DATE 07/30/25
DWG. NO. L-6297
FILE NO. 03.25.19308
SHEET 2 OF 2



C.S. DAVIDSON, INC.
ENGINEERING A BETTER COMMUNITY

July 28, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

Re: Penn Avenue Residential
Preliminary Land Development Plan
Manchester Township Plan #2025-05
Engineer's Project No. 0841.3.16.69

Dear Rachel:

We have reviewed the above-referenced Preliminary Land Development Plan, created by Landworks Civil Design, LLC, revised July 7, 2025. We offer the following comments:

Waiver Requests

1. §22-702.1.E.3 – Requirement to provide street centerline angle of intersections at 90°.
 - o The applicant shall state the angle of proposed intersections.
2. §22-702.1.E.5 – Requirement to provide a minimum curb radius of 35'.
 - o The applicant shall state the minimum proposed curb radius.
3. §26-126.7.I.5 – Requirement to place inlets such that the maximum gutter spread for a 25-yr storm event is no greater than ½ of the travel lane width and a maximum depth of 3" at the curbline.
 - o The applicant shall state the proposed gutter spread and curbline depth for the 25-yr storm event.

Zoning Ordinance

1. Corner lots (specifically lot #'s 1 & 72) shall have rear setbacks opposite the frontage of the street address (§27-409.2.C.2). Setbacks for all corner lots shall be dimensioned on the plans.
2. Areas set aside for open space shall have a minimum size of two acres. (§27-409.3.A.5)
3. All lots for dwelling units shall either abut directly on open space or shall be located within 500 feet of access to open space. (§27-409.3.C)
4. The following are requirements of the relocated access drive for Prospect Hill Cemetery:
 - a. The access shall meet PennDOT's safe stopping sight distance (SSSD) regulations. In both directions, label the required and proposed SSSD, approach grade, and speed limit. (§27-1506.3)
 - b. Clarify if the access drive is to serve one or two directions of traffic. Minimum width of an access drive is 18' and 24' respectively. The proposed drive is 16' wide. (§27-1506.4)
 - c. An access and operation and maintenance agreement shall be provided for the relocated access drive.

ENGINEERING A BETTER COMMUNITY

38 N. Duke Street • York, PA 17401 • 717.846.4805
50 W. Middle Street • Gettysburg, PA 17325 • 717.337.3021
315 W. James Street, Suite 102 • Lancaster, PA 17603 • 717.481.2991

CSDavidson.com

5. Regarding the open space calculations, a note shall be added to the plans stating: "Open space calculations include the easement areas. Per *Loch v. Zoning Hearing Board of Borough of Emmaus*, 569 A.2d 1035, 1037 (Pa. Cmwlth. 1990). The court noted that an easement is not a right-of-way. Easement rights do not negate open space and do not detract from the land area counted for minimum lot area purposed."

Subdivision and Land Development Ordinance

1. The planning module or exemption number shall be provided. (§22-405.3.19)
2. The existing Met-Ed and Gas easements shall be described with bearings and distances on the subdivision plan sheets. (§22-405.4.4)
3. The location and depth of all infiltration tests/test pits/soil borings shall be shown and labeled on the plans. We recommend showing these on the Proposed Conditions Drainage Area Map. (§22-405.4.11.B)
4. Areas of steep slopes (>15%) shall be hatched and shown on the existing conditions plans (§22-405.4.16.A). Any proposed slopes >15% shall also be identified on the grading plans.
5. Label and dimension the existing right-of-way of Pennsylvania Avenue on the plans. (§22-405.4.24 and 26)
6. The applicant shall provide authorization letters to the Township from the owners of the gas and power transmission lines acknowledging review and approval of the proposed improvements. These letters shall include any restrictions imposed by the utility owners. (§22-716)
7. A statement of ownership, acknowledgment of the plan, and offer of dedication shall be provided on the coversheet of the plans and the owner's notarized signature shall be added. (§22-404.1.2)
8. The registered professional responsible for the creation of the plans shall sign, seal, and date the plans. (§22-404.1.4)
9. Provide proof of Soil Erosion and Sedimentation Control plan (NPDES Permit or Amendments thereto) approval. (§22-407.4.1)
10. Proof of US Postal Service approval for the proposed street names and addresses shall be provided. (§22-407.4.6)
11. A Traffic Impact Study shall be required with the submission of a new site plan for residential development in excess of 20 dwelling units. (§22-410.2.A)
12. Sidewalk is required to be installed along the property's length of Pennsylvania Avenue. (§22-709)
13. Stormwater management plan approval shall be obtained from the Township Engineer prior to unconditional approval of this plan.
14. The Carbonate Geology Certification shall be executed by the registered professional.

General Comments

1. Provide the typical street cross-section on the notes sheet C-101. The cross-section shall be revised to reflect the proposed improvements specifically for this site. Sidewalk widths shall be shown consistent with the plans and other details throughout. Cartway and right-of-way widths shall be dimensioned.
2. Revise the "slant curb to Type C inlet transition" detail on sheet C-1001 to show a minimum 5' transition.
3. Revise the "standard frame and cover lettering" detail on sheet C-1003 for consistency with the Manchester Township Construction and Material Specifications – "MAN TWP SANITARY SEWER".
4. Revise the "manhole steps" detail on sheet C-1003 to identify a min. length of 7" for consistency with the Manchester Township Construction and Materials Specifications.
5. The sanitary sewer manhole detail shall allow a maximum 22" to the first step on sheet C-1003.
6. Additional survey/topography/significant features must be shown in the vicinity of SWM BMP #1 discharge to properly evaluate potential downstream impacts.
7. A means of secondary or emergency access shall be evaluated to the proposed site.
8. It appears that the grading plan is proposing 2:1 slopes at the rear of lots 7-12; a minimum 3:1 slopes shall be provided for future maintenance.
9. Proposed storm easements shall be shown on the grading and drainage plan sheets to confirm all necessary locations are provided.
10. All easements shall be labeled with type, shaded or hatched, and dimensioned on all plan sheets.
11. Evaluate the sanitary sewer alignment and number of manholes being proposed around street radii – manholes should be eliminated where possible.
12. Within the street profiles, the limits of proposed fill shall be delineated along with a note stating the requirement for compaction testing to be performed.
13. Under "List of Utilities" on the cover sheet of the plans, the sewer contact for Manchester Township should be "Public Works Department", email: onecall@mantwp.com.
14. Conversion to Township sewer datum should be provided with the vertical datum note on sheet C-101.
15. The N/F owner, deed reference, UPI, and acreage for the parcel shall be shown on plan sheets C-200 thru C-202.
16. The site data table on plan sheet C-101 shall include both the minimum required and proposed data.
17. In the open space and allowable density table, open space provided shall include lot 84, not lot 85.

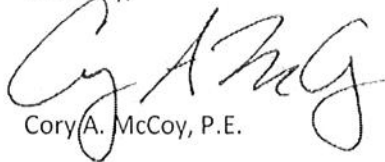
18. The plan scale indicated in the title block of plan sheet C-200 is inconsistent with the scale provided on the plans.
19. A general note should be added to sheet C-101 which allows the Township access to inspect all SWM facilities.
20. The extent of pavement restoration required along Pennsylvania Avenue shall be detailed on the plans.
21. We recommend grading swales across the rear yards of lots 47 thru 51 and lots 52 thru 58, and in the side yards of lots 13 thru 21 and lots 22 thru 31.
22. A downstream storm sewer capacity analysis shall be provided for the existing storm sewer system beginning with the proposed connection to MH 5-0 along Pennsylvania Avenue.
23. The discharge of SWM facility #1 shall not be onto the location of the existing sanitary sewer main. The discharge point shall receive acknowledged approval of the adjacent property owner as to the location and magnitude of flow.
24. An analysis shall be provided of the adequacy of the proposed rip-rap apron at OS-1C and the downstream vegetated area to prevent erosion by the concentrated flow.
25. The fencing around the basins shall be identified on the appropriate plan sheets.
26. The minimum grade for sanitary sewer mains shall be 0.50%.
27. All utility pipes shall be labeled in the profile views.
28. The size, type, and grade of all storm sewer pipes shall be labeled in the profile views.
29. A minimum separation of 7' shall be maintained between the outside of all sanitary sewer manholes and outer wall of all storm sewer pipes.
30. The sanitary sewer main between MH D and MH E is missing from the profile on sheet C-803.
31. Inlets 2-11A and 2-12A shall be relocated so as not be in conflict with the crosswalk or vice versa, see sheet C-802.
32. Label all zoning and municipal boundaries surrounding the subject property.
33. The key map still refers to the previous site layout and shall be updated.
34. The address of the property should be identified on the cover sheet of the plans.
35. The notary signature block shall be moved outside of the offers of dedication on the cover sheet.
36. All plan sheets within the C-300 and C-400 series have a 1"=150' scale. The maximum scale is 1"=100'.
37. All utilities shall be identified in the plan legend.

Traffic Engineer Comments

1. Add the following note to the cover sheet: "All traffic signs are to be installed per the PennDOT standard for the installation of Type B Post-Mounted Signs. Refer to Section 931 in the current version of PennDOT Publication 408, Specifications."
2. Speed limit signs shall be placed in both directions on each road segment and must be within 200 feet of the intersections.
3. The crosswalks at the 4-way internal intersection should be moved closer to the intersection for better pedestrian visibility.
4. The designer should provide a sightline exhibit for the required sightlines from the stopped approaches at the 4-way internal intersection to determine if any sightlines cross the corner lots. If they do, sightline easements will be required.
5. All street centerline intersection angles shall be labeled.
6. Submission of a traffic impact study is required.

If you have questions related to the enclosed information or require any clarification, please feel free to contact me at the York office number or via email CAM@csdavidson.com.

Sincerely,



Cory A. McCoy, P.E.

CAM/AJS/

Copy: File

B. J. Treglia, P.E. Manchester Township, via email: b.treglia@mantwp.com

Josh George, Landworks Civil Design, LLC via email: jgeorge@landworkscd.com

Rachel Vega

From: Mark Henise, PE <mlhenise@elagroup.com>
Sent: Wednesday, September 17, 2025 4:09 PM
To: Cory McCoy
Cc: Benedict Treglia; Rachel Vega
Subject: Traffic Comments for Plans Submitted this Month

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Cory. My comments on the following plans are as follows:

LCBC

1. Trip distribution calculations should be provided in the appendices of the TIS.
2. I don't have any comments on the plans.

3490-3510 Board Road

1. The only comments that I have are the issues that I mentioned at the meeting with the residential driveways not meeting the residential driveway requirements in the Zoning Ordinance, and potentially not having PennDOT HOPs, which is also a Zoning Ordinance requirement. Mike mentioned yesterday that he thought they would be considered existing nonconformities. If that is the case, then I have no comments.

Penn Ave. Residential

1. The previous speed limit sign has been partially addressed. Speed limit signs are needed on the southern loop of Erin Lane. Also, as a clarification of the previous comment, speed limit signs are not needed within 200 feet of the intersection on the side of the road entering the intersection, just on the side of the road exiting the intersection.
2. The sightline inset on Sheet C-500 is incorrect, as sightlines do not appear to end on the street. Also the stopbars and STOP signs can be moved closer to the intersection to lessen the area needed for the easements.



MARK HENISE, PE
Director: Transportation Engineering
T: (717) 626-7271
D: (717) 625-7665
M: (717) 468-0317
EPHRATA | STATE COLLEGE | BUTLER

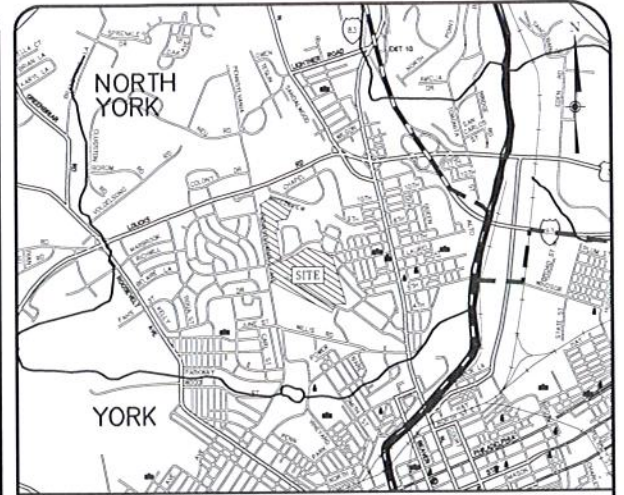
100% Employee Owned Company (ESOP)

We're Hiring!

Note: Our corporate headquarters has moved to 4139 Oregon Pike, Ephrata, PA 17522.

Disclaimer: This E-mail may contain information that is privileged, proprietary or confidential. If you are not the intended

PRELIMINARY SUBDIVISION PLAN
FOR
PENN AVENUE RESIDENTIAL
FOR
PENN AVENUE PARTNERS
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA
APRIL 7, 2025



LOCATION MAP

SCALE 1" = 2000'

UNIFORM PARCEL IDENTIFIER
36-000-JH-0070.CO-00000

INDEX OF DRAWINGS	
SHEET NO.	TITLE
C-100	COVER SHEET
C-101	GENERAL NOTES
C-200	OVERALL EXISTING CONDITIONS PLAN
C-201 - 202	EXISTING CONDITIONS PLAN
C-300	PRELIMINARY SUBDIVISION PLAN
C-400	OVERALL SITE PLAN
C-401- 402	SITE PLAN
C-500	SIGNAGE & PAVEMENT MARKING PLAN
C-600	OVERALL GRADING & DRAINAGE PLAN
C-601 - 603	GRADING & DRAINAGE PLAN
C-701 - 702	UTILITY & EASEMENT PLAN
C-801 - 804	ROADWAY PROFILES
C-805	SANITARY & STORMWATER EXTENSION PROFILES
C-806 - 807	STORMWATER PROFILES
C-901 - 902	LANDSCAPING PLAN
C-1001 - 1007	CONSTRUCTION DETAILS
32 SHEETS IN SET	

ACT 287

LANDWORKS CIVIL DESIGN, LLC HEREBY STATES THAT, PURSUANT TO THE PROVISIONS OF ACT 287 OF 1974, OF THE PENNSYLVANIA LEGISLATURE, IT HAS PERFORMED THE FOLLOWING IN PREPARING THESE DRAWINGS REQUIRING EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION(S) SHOWN ON THESE DRAWINGS:

- PURSUANT TO SECTION 4, CLAUSE (2) OF SAID ACT, LANDWORKS CIVIL DESIGN, LLC REQUESTED FROM EACH USER'S OFFICE DESIGNATED ON SUCH LIST PROVIDED BY THE ONE CALL SYSTEM NOTIFICATION, THE INFORMATION PRESCRIBED BY SECTION 2, CLAUSE (4) OF SAID ACT, NOT LESS THAN (10) NOR MORE THAN (30) WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
- PURSUANT TO SECTION 4, CLAUSE (5) OF SAID ACT, LANDWORKS CIVIL DESIGN, LLC HAS MET THEIR OBLIGATIONS OF CLAUSE (2) BY CALLING THE ONE CALL SYSTEM SERVING THE LOCATION WHERE EXCAVATION IS TO BE PERFORMED.
- PURSUANT TO SECTION 4, CLAUSE (3) OF SAID ACT, LANDWORKS CIVIL DESIGN, LLC HAS SHOWN UPON THESE DRAWINGS "THE POSITION AND TYPE OF EACH LINE, AS DERIVED PURSUANT TO THE REQUEST MADE AS REQUIRED BY CLAUSE (2), THE SERIAL NUMBER PROVIDED BY THE ONE CALL SYSTEM, THE TOLL-FREE ONE CALL SYSTEM PHONE NUMBER, AND THE NAME OF THE USER, THE USER'S DESIGNATED OFFICE ADDRESS AND PHONE NUMBER AS SHOWN ON THE LIST REFERRED TO IN SECTION 4, CLAUSE (5) OF SAID ACT."

AND LANDWORKS CIVIL DESIGN, LLC DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO SAID REQUEST AND AS REFLECTED ON THESE DRAWINGS IS CORRECT OR ACCURATE, BUT LANDWORKS CIVIL DESIGN, LLC IS REFLECTING SAID INFORMATION ON THESE DRAWINGS ONLY DUE TO THE REQUIREMENTS OF THE SAID ACT NO. 181 OF 2006.

PROJECT NAME
PENN AVENUE RESIDENTIAL

PROJECT NO. 22-0108-008 SHEET C-100



LANDWORKS

CIVIL DESIGN, LLC

land development consultants

221 WEST PHILADELPHIA ST., SUITE 110 YORK, PA 17401
p (866) LNDWRKS www.landworkscd.com

MANCHESTER TOWNSHIP ENGINEER

REVIEWED BY THE MANCHESTER TOWNSHIP ENGINEER.

TOWNSHIP ENGINEER _____ DATE _____

MANCHESTER TOWNSHIP PLANNING COMMISSION

AT A MEETING ON _____, 20____, THE MANCHESTER TOWNSHIP PLANNING COMMISSION REVIEWED THIS PLAN.

MANCHESTER TOWNSHIP BOARD OF SUPERVISORS

AT A MEETING ON _____, 20____, THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MANCHESTER APPROVED THIS PROJECT, AND ALL CONDITIONS OF APPROVAL, HAVE BEEN MET. THIS APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE TOWNSHIP, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

STATEMENT OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND OFFER OF DEDICATION

ON THIS, _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED _____, OFFICER, PERSONALLY APPEARED _____, BEING _____ OF _____, THE _____ OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION, THAT THE PLAN IS THE ACT AND DEED OF THE CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

OWNER'S SIGNATURE _____

OWNER'S NAME AND TITLE _____

MY COMMISSION EXPIRES _____, 20____.

STATE OF _____

COUNTY OF _____

NOTARY'S SIGNATURE _____

SURVEYOR'S CERTIFICATION

I, GREGORY L. CONDON, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE (ERROR OF CLOSURE NO GREATER THAN ONE FOOT (1) IN TEN THOUSAND FEET (10,000')).

GREGORY L. CONDON, P.L.S. REG. NO. SU-32480-E

CARBONATE GEOLOGY CERTIFICATION

I, JOSHUA C. GEORGE, CERTIFY THAT THE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE NOT UNDERLAIN BY CARBONATE GEOLOGY.

JOSHUA C. GEORGE, P.E. REG. NO. 056897-E

YORK COUNTY PLANNING COMMISSION

THIS PLAN HAS BEEN REVIEWED BY THE YORK COUNTY PLANNING COMMISSION THIS DAY OF _____, 20____.

DIRECTOR _____ DATE _____

RECORDER OF DEEDS CERTIFICATION

RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, IN AND FOR YORK COUNTY, PENNSYLVANIA, IN PLAN BOOK _____, PAGE _____, THIS _____ DAY OF _____, 20____.

AS INSTRUMENT NUMBER: _____

ENGINEER'S CERTIFICATION

I, JOSHUA C. GEORGE, HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SUBDIVISION PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

JOSHUA C. GEORGE, P.E. REG. NO. 056897-E

SUMMARY OF WAIVERS

AT A MEETING ON _____, 2025, THE MANCHESTER TOWNSHIP BOARD OF SUPERVISORS APPROVED THE FOLLOWING WAIVERS AND MODIFICATIONS TO THE REQUIREMENTS OF MANCHESTER TOWNSHIP ORDINANCES:

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

- § 22-410 - TRAFFIC IMPACT STUDY
- § 22-702.1 E(3) - ANGLE OF STREET CENTERLINES
- § 22-702.1 E(5) - MINIMUM CURB RADIUS

STORMWATER MANAGEMENT ORDINANCE:

- § 26-126.7 A(5) - STREET GUTTER SPREAD

OWNER / APPLICANT

PENN AVENUE PARTNERS, LLC
2950 LEWISBERRY ROAD
YORK, PA 17404
(717) 755-1555

SOURCE OF TITLE

RECORD BOOK 2703, PAGE 2266
RECORD BOOK 2638, PAGE 5023

LIST OF UTILITIES

SERIAL NUMBER-[202305593299]{000}

COMPANY: COLUMBIA GAS OF PA INC
ADDRESS: 1600 DUBLIN RD
COLUMBUS, OH 43215
CONTACT: LISA COLLINS
EMAIL: lcollins@cgsinc.com

COMPANY: COMCAST C/O USIC LOCATING SERVICES INC
ADDRESS: 13085 HAMILTON CROSSING BLVD SUITE 200
CARMEL, IN 46032
CONTACT: USIC PERSONNEL

COMPANY: MET ED C/O FIRSTENERGY
ADDRESS: 21 S MAIN ST
AKRON, OH 443082800
CONTACT: PETE HACHEM
EMAIL: PHACHEM@FIRSTENERGYCORP.COM

COMPANY: MANCHESTER TOWNSHIP
ADDRESS: 3200 FARMTRAIL ROAD
YORK, PA 17406
CONTACT: JEFF BESHORE
EMAIL: JBESHORE@MANTWP.COM

COMPANY: VERIZON NORTH
ADDRESS: 37 W 8TH ST
WYOMING, PA 18644
CONTACT: RONALD SILINSKIE
EMAIL: RONALD.SILINSKIE@VERIZON.COM

COMPANY: VERIZON BUSINESS FORMERLY MCI
ADDRESS: 400 INTERNATIONAL PARKWAY
RICHARDSON, TX 75081
CONTACT: DEAN BOYER
EMAIL: INVESTIGATIONS@VERIZON.COM

COMPANY: YORK WATER COMPANY
ADDRESS: 130 E MARKET ST
YORK, PA 17401
CONTACT: JASON HEITMANN
EMAIL: jasonh@yorkwater.com

ONE CALL SYSTEM SERIAL NO. NOTIFICATION:
DATE: MARCH 1, 2023
ONE CALL SYSTEM SERIAL NUMBER [202305593299]{000}



CALL BEFORE YOU DIG
PENNSYLVANIA LAW REQUIRES
10 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND (16) WORKING
DAYS IN DESIGN STAGE - STOP CALL

ZONING CLASSIFICATION	OPEN SPACE RESIDENTIAL; LOW DENSITY DISTRICT
EXISTING USE	UNDEVELOPED
PROPOSED LOTS	84 BUILDING LOTS, 2 OPEN SPACE LOTS, STORMWATER LOT
PROPOSED USE	SINGLE-FAMILY DETACHED DWELLING
EXISTING LOT AREA	2,296,047.6 (52.71 ACRES) (GROSS NET)
MINIMUM BUILDING SETBACK	FRONT: 30 FT. SIDE: 0 FT. REAR: 30 FT.
MINIMUM LOT AREA	12,500 S.F. (0.29 ACRES)
MINIMUM LOT WIDTH	80 FT.
MINIMUM LOT DEPTH	125 FT.
MAXIMUM LOT COVERAGE	65%
MAXIMUM BUILDING COVERAGE	50%
MAXIMUM BUILDING HEIGHT	35 FT.
PROPOSED BUILDING HEIGHT	< 35 FT.
MINIMUM PARKING SETBACK	FRONT: 20 FT.
DATUM REFERENCE	NAD 88
PROPOSED WATER SERVICE	PUBLIC (NEW YORK WATER CO.)
PROPOSED SEWER SERVICE	PUBLIC (CONVEYANCE MANCHESTER TOWNSHIP TREATMENT PL. AMERICAN CITY WWTFF)
LINEAL FEET OF NEW STREET	5,132.90 FT.

PROPOSED USE:	DWELLING
REQUIRED PARKING:	2 SPACES PER DWELLING UNIT
PROVIDED PARKING:	4 SPACES PER DWELLING UNIT (GARAGE AND DRIVEWAY)

EXISTING LOT AREA	2,296.047.6 S.F.
EXISTING ROAD/WAYS	0 S.F.
ENVIRONMENTALLY SENSITIVE AREAS:	
FLOODPLAINS	0 S.F.
WETLANDS	0 S.F.
SLOPES >15%	31,874 S.F.
10% OF EXISTING LOT AREA	229,605 S.F.
NET TRACT AREA	2,034,568 S.F.
MAXIMUM NUMBER OF DWELLING UNITS:	102
MINIMUM OPEN SPACE REQUIRED (35% OF PARCEL)	803, 616 S.F.
OPEN SPACE PROVIDED:	853,890 S.F.
LOT 65	49,130 S.F.
LOT 66 (AT 50%)	53,065 S.F.
LOT 67	783,695 S.F.

1. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION DEPICTED ON THIS PLAN HAS BEEN DERIVED FROM A FIELD SURVEY BY MORRIS & RITCHIE ASSOCIATES PERFORMED IN 2007 AND BY BISCON AERO, PERFORMED IN 2018, 2019, AND 2021.
2. HORIZONTAL DATUM NAD 83 (PA SOUTH ZONE GRID)
3. VERTICAL DATUM NAVD 88
4. THE TOTAL AREA OF THE SUBJECT PROPERTY IS 52.706 ACRES.
5. SOURCE OF TITLE INFO: RECORD BOOK 2703, PAGE 7266 AND RECORD BOOK 2698, PAGE 5023.
6. THE LOCATION OF UTILITIES AS SHOWN ON THIS PLAN IS BASED ON ABOVE GROUND INDICATIONS, FIELD OBSERVATIONS, RECORD DRAWINGS AND THE RESULT OF A PA ONE CALL. AS SUCH, THE ACTUAL LOCATION OF UNDERGROUND UTILITIES MAY VARY FROM THAT SHOWN ON THE PLAN.
7. PRIOR TO ANY EARTHMOVING ACTIVITIES ON THE PROPERTY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 287 TO VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES.
8. ONLY THOSE PROPERTY CORNERS THAT WERE FOUND OR SET AS PART OF THIS SURVEY ARE NOTED AS SUCH ON THE SURVEY PLAN.
9. EXISTING FEATURES WITHIN THE PROPOSED CONSTRUCTION LIMITS SHALL BE REMOVED AND/OR RELOCATED AS REQUIRED.
10. ALL EXISTING TREES, VEGETATION, PAVEMENTS, BUILDINGS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF 84 SINGLE-FAMILY DETACHED HOMES.
2. ALL DIMENSIONS SHOWN ON THIS PLAN SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION ACTIVITIES.
3. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF STRUCTURES. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE FOR LAND DEVELOPMENT APPROVAL PURPOSES ONLY. REFERENCE BUILDING ARCHITECTURAL DRAWINGS APPROVED AS PART OF THE BUILDING PERMIT PROCESS FOR EXACT BUILDING DIMENSIONS.
5. MINIMUM CURB LINE RADIUS SHALL BE 20 FEET UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS SET FOR OTHER PERTINENT INFORMATION.
7. THE SIDEWALK SYSTEMS AS SHOWN ON THIS PLAN ARE CONCEPTUAL AND ARE FOR LAND DEVELOPMENT PLANNING PURPOSES ONLY. FINAL DESIGN WILL BE COORDINATED AS PART OF THE FINAL BUILDING PERMIT PROCESS.
8. ALL PROPOSED SIGNAGE SHALL CONFORM TO MANCHESTER TOWNSHIP AND PENNDOT REQUIREMENTS.
9. CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PENNDOT RC-67.
10. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY LANDWORKS CIVIL DESIGN, LLC, THE CURRENT REQUIREMENTS OF MANCHESTER TOWNSHIP, AND IN ACCORDANCE WITH PENNDOT SPECIFICATIONS, PUBLICATION 408 AND THE ROADWAY CONSTRUCTION STANDARDS (RC STANDARDS), CURRENT EDITIONS, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
11. ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE DEVELOPER.
12. FOR ANY ITEMS NOT COVERED BY DETAILS OR SPECIFICATIONS, THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR THE DEVELOPER'S AND ENGINEER'S REVIEW PRIOR TO CONSTRUCTION.
13. ALL PUBLIC IMPROVEMENT CONSTRUCTION SHOULD CONFORM TO THE MANCHESTER TOWNSHIP CONSTRUCTION AND MATERIALS SPECIFICATIONS UNLESS SPECIFIC WAIVERS HAVE BEEN GRANTED.
14. ALL EXISTING LAWN AREAS DISTURBED BY PROPOSED CONSTRUCTION SHALL BE RESTORED TO PROVIDE A MINIMUM SIX INCHES (6") TOPSOIL, GRADED TO SMOOTH, TRUE LINES AND SEEDED AND MULCHED PER SPECIFICATION HEREIN.
15. ANY LAND AREA THAT CANNOT BE ADEQUATELY STABILIZED WITH SEEDING AND MULCHING SHALL BE STABILIZED WITH AN EROSION CONTROL OR TURF REINFORCEMENT MATTING.
16. FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO PROVIDE A SMOOTH TRANSITION BOTH HORIZONTALLY AND VERTICALLY FROM THE EXISTING TO PROPOSED PAVING SECTIONS.
17. WHERE IT IS NECESSARY TO CONNECT TO OR EXTEND AN EXISTING ROAD, SAW CUT THE EXISTING EDGE OF PAVEMENT AND MILL AND OVERLAY AT THE POINT OF TIE-IN TO ENSURE A SMOOTH TRANSITION AND POSITIVE DRAINAGE.
18. FAILURE TO SPECIFICALLY MENTION ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.

1. THE OWNERS, HEIRS, ASSIGNS OR SUCCESSORS THEY SHALL INSTALL AT THE OWNERS' EXPENSE CONCRETE CURBING, CONCRETE SIDEWALK, OR BOTH CONCRETE CURBING AND CONCRETE SIDEWALK; AND ANY NECESSARY ROAD WIDENING TO ACCOMPANY THE CURBING TO TOWNSHIP AND/OR STATE SPECIFICATIONS WITHIN SIX MONTHS FROM THE RECEIPT OF CERTIFIED NOTIFICATION FROM THE TOWNSHIP.
2. SIDEWALK ON RESIDENTIAL LOTS SHALL BE CONSTRUCTED AT THE TIME OF HOME CONSTRUCTION. SIDEWALKS ON OPEN SPACE LOTS SHALL BE CONSTRUCTED AT THE TIME OF THE PUBLIC IMPROVEMENT CONSTRUCTION.
3. THE OWNER SHALL NOT CONSTRUCT, PLANT, OR MAINTAIN ANY STRUCTURES, FENCES, TREES, SHRUBBERY, ETC., WITHIN THE SANITARY SEWER, STORMWATER, OR UTILITY RIGHT(S)-OF-WAY/EASEMENTS IN ORDER TO ENSURE A FREE AND CLEAR ACCESS TO ALL FACILITIES, BUTANOUS PAVING, CORNERING OF SANITARY SEWER, STORMWATER OR UTILITIES, OR A CHANGE IN GROUND CONTOURS WITHIN THE RIGHT(S)-OF-WAY/EASEMENTS WILL BE PERMITTED ONLY WITH WRITTEN CONSENT OF THE TOWNSHIP.
4. THE OWNER HEREBY GRANTS MANCHESTER TOWNSHIP OR ITS REPRESENTATIVE A GENERAL ACCESS EASEMENT ACROSS THE ENTIRE LOT FOR ACCESS TO THE PUBLIC SEWER AND SAMPLING MANHOLES.
5. ANY NONCONFORMING BUILDING OR STRUCTURE THAT IS DESTROYED OR DAMAGED BY REASON OF WINDSTORM, FIRE, FLOOD, EXPLOSION OR OTHER ACT OF GOD OR PUBLIC ENEMY TO AN EXTENT OF MORE THAN 50% OF ITS FAIR MARKET VALUE AT THE TIME OF THE CASUALTY SHALL NOT BE REBUILT, RESTORED, OR REPAIRED EXCEPT IN CONFORMANCE OF THE PROVISIONS OF THE MANCHESTER TOWNSHIP ZONING ORDINANCE.
6. ALL PUBLIC IMPROVEMENT CONSTRUCTION SHALL CONFORM TO THE MANCHESTER TOWNSHIP CONSTRUCTION AND MATERIAL SPECIFICATIONS UNLESS SPECIFIC WAIVERS HAVE BEEN GRANTED.
7. ALL WORK SHALL CONFORM TO THE MANCHESTER TOWNSHIP MUNICIPAL AUTHORITY'S PLAN, DESIGN, AND CONSTRUCTION STANDARDS.
8. ALL EXTERIOR LIGHTING SHALL BE SO ARRANGED AND/OR SHIELDED SO AS NOT TO CAST OBJECTIONABLE ILLUMINATION OR GLARE UPON ADJOINING PROPERTIES.
9. ALL SIGNAGE SHALL COMPLY WITH THE MANCHESTER TOWNSHIP ZONING ORDINANCE.
10. THE STREET ADDRESS NUMBER SHALL BE MOUNTED TO THE BUILDING WITH A MINIMUM OF TWO INCH BY THREE INCH NUMBERS THAT ARE VISIBLE FROM THE STREET.
11. THE STORMWATER MANAGEMENT FACILITY AND SYSTEM IS TO BE A PERMANENT FIXTURE THAT CANNOT BE ALTERED OR REMOVED UNLESS A REVISED PLAN IS APPROVED BY MANCHESTER TOWNSHIP.
12. LANDOWNER IS RESPONSIBLE FOR PAVEMENT AND CURBING RESTORATION IF PAVING AND CURBING IS CONSTRUCTED OVER OR THROUGH THE SANITARY SEWER EASEMENT RIGHT OF WAY.
13. PERMANENT MONUMENTS AND MARKERS (STEEL PINS) TO BE SET AT ALL PROPERTY CORNERS IN ACCORDANCE WITH §21-717 OF THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
14. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE BY LANDWORKS CIVIL DESIGN, LLC. CONTRACTOR(S) SHOULD CONTACT THE PA ONE CALL SYSTEM (1-800-242-1776) PRIOR TO ANY EXCAVATIONS AS REQUIRED BY PA ACT 38 (1991). PA ONE CALL HAS BEEN NOTIFIED 03/01/2023-SERIAL NUMBER #202305593299-000.
15. STREETS CONSTRUCTED WITH STORMWATER MANAGEMENT DIVERSION BERMS WILL NOT BE CONSIDERED FOR ADOPTION UNTIL SUCH BERMS ARE REMOVED.
16. NO DRIVEWAY SHALL BE CONSTRUCTED WITHIN 60 FEET OF THE INTERSECTING RIGHT OF WAY OF ANY INTERSECTING STREETS.
17. THE USE OF GRINDER PUMPS OR PRESSURE SEWERS SHALL NOT BE PERMITTED, UNLESS IN CONFORMANCE WITH THE MANCHESTER TOWNSHIP CODE OF ORDINANCES CHAPTER 18, PART 1E.
18. THE REAR YARD BUILDING SETBACK SHALL BE THE YARD OPPOSITE THE STREET ADDRESS.
19. NO BUILDING CONSTRUCTION MAY OCCUR WITHOUT PERMITS FIRST BEING ISSUED IN ACCORDANCE WITH THE ORDINANCES OF MANCHESTER TOWNSHIP.
20. NO BLASTING IS PERMITTED WITHOUT A STATE PERMIT AND ADVANCE NOTIFICATION TO THE MANCHESTER TOWNSHIP FIRE CHIEF.
21. THE MANCHESTER TOWNSHIP FIRE CHIEF SHALL APPROVE THE LOCATION OF ALL FIRE HYDRANTS.
22. "AS-BUILT" SANITARY SEWER DRAWINGS MUST BE SUBMITTED AND APPROVED BY THE MANCHESTER TOWNSHIP MUNICIPAL AUTHORITY'S ENGINEER PRIOR TO THE CONNECTION OF ANY BUILDING TO THE SANITARY SEWER SYSTEM. "AS-BUILT" SANITARY SEWER DRAWINGS MUST BE SUBMITTED AT LEAST 30 DAYS PRIOR TO ANY PROPOSED CONNECTION TO THE SANITARY SEWER SYSTEM.
23. DEVELOPER OFFERS FOR DEDICATION TO THE MANCHESTER TOWNSHIP MUNICIPAL AUTHORITY ALL SANITARY SEWER COLLECTION AND/OR INTERCEPTOR LINES AND APPURTENANCES CONSTRUCTED BY THE DEVELOPER AND A TWENTY-FOOT WIDE PERMANENT EASEMENT CONSISTING OF 10 FEET ON EITHER SIDE OF THE CENTERLINE FOR MAINTENANCE, REPAIR, REPLACEMENT OR ENLARGEMENT THEREOF TOGETHER WITH THE RIGHT OF INGRESS, EGRESS, AND REGRESS THEREOF.
24. THE HOMEOWNERS ASSOCIATION SHALL OWN AND MAINTAIN ALL OPEN SPACE LOTS.
25. THE HOMEOWNERS ASSOCIATION SHALL OWN AND MAINTAIN ALL OFF-STREET STORMWATER MANAGEMENT FACILITIES, APPURTENANCES, AND PIPING.
26. ALL AREAS SHOWN WITHIN THE PROPOSED STREET RIGHTS-OF-WAY ARE HEREBY OFFERED FOR DEDICATION TO MANCHESTER TOWNSHIP.
27. RESIDENTIAL DRIVEWAYS MUST BE SETBACK A MINIMUM OF THREE FEET FROM THE ALL SIDE AND REAR PROPERTY LINES, THE MAXIMUM WIDTH OF RESIDENTIAL DRIVEWAYS AT THE RIGHT-OF-WAY LINES SHALL CONFORM TO THE MANCHESTER TOWNSHIP ZONING ORDINANCE.
28. A WETLAND DELINEATION WAS PERFORMED BY ROEMER ECOLOGICAL SERVICES IN JUNE, 2018. NO WETLANDS ARE PRESENT ON THE PROPERTY.
29. THERE ARE NO ONE-HUNDRED-YEAR FLOODPLAINS LOCATED ON THE SUBJECT PROPERTY.

1. ALL SPOT ELEVATIONS ARE REFERENCED TO THE FINISHED PAVEMENT OR GROUND SURFACE UNLESS OTHERWISE INDICATED.
2. ALL FINAL SITE GRADING SHALL BE SMOOTH AND EVEN AND WITHOUT ABRUPT BREAKS OR CHANGES IN GRADE. FINISHED EARTHEN SLOPES SHALL BE ROUNDED TO PROVIDE A UNIFORM AND AESTHETIC LANDSCAPE. GRADING SHALL TIE INTO EXISTING GRADES NO CLOSER THAN 3 FEET FROM ANY PROPERTY LINE UNLESS OTHERWISE AUTHORIZED.
3. NO WORK SHALL OCCUR OUTSIDE OF THE PROPERTY OR RIGHT-OF-WAY LINES UNLESS COVERED BY GRADING FOR CONSTRUCTION EASEMENTS.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS OF ACT 287 - PA ONE CALL NOTIFICATION OF UTILITIES. THE CONTRACTOR SHALL NOTIFY PA ONE CALL AT 1-800-442-1779. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM IN FILL AREAS AND 2:1 MAXIMUM IN CUT AREAS UNLESS NOTED OTHERWISE.
6. REFERENCE IS MADE TO THE PROJECT'S GEOTECHNICAL REPORT PREPARED BY MULA GROUP, DATED 02/19/23 FOR INFORMATION RELATED TO SUBSURFACE CONDITIONS AND FOR RECOMMENDATIONS ON SITE CONSTRUCTION.
7. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF ALL STORMWATER MANAGEMENT FACILITIES (SWALES, PIPING, BASINS, ETC.) AND UTILITIES (SEWER, SANITARY PRACTICES (SAPS)) CONSTRUCTED ON THE PROPERTY. MANCHESTER TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE DUTY, TO INSPECT THE FACILITIES AT ANY TIME, TO REQUIRE THE PRIVATE ENTITY A REASONABLE TIME PERIOD FOR ALL NECESSARY ACTION AND TO AUTHORIZE MAINTENANCE TO BE DONE AND LIEN ALL COSTS OF THE WORK AGAINST THE PROPERTY.
8. ALL INLETS ADJACENT TO CURB SHALL BE TYPE C INLETS WITH AN 8 INCH CURB REVEAL. ALL OTHER INLETS SHALL BE TYPE M INLETS UNLESS NOTED OTHERWISE.
9. ALL INLETS SHALL BE PROVIDED WITH STRUCTURAL STEEL BICYCLE SAFE GRATES UNLESS NOTED OTHERWISE.
10. ALL STORM INLETS OR MANHOLES OVER 4 FEET IN DEPTH SHALL BE PROVIDED WITH MANHOLE STEPS.
11. ALL ENDWALLS SHALL BE PRECAST CONCRETE TYPE DW ENDWALLS UNLESS NOTED OTHERWISE.
12. ALL STORM PIPING, UNLESS OTHERWISE NOTED, SHALL BE DUAL WALLED SMOOTH LINED POLYETHYLENE PIPE (SLEPP) AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEM (ADS) OR APPROVED EQUIV.
13. THE ROOF WATER COLLECTION SYSTEM HAS BEEN DESIGNED FOR SITE STORM WATER DESIGN AND LAND DEVELOPMENT APPROVAL PURPOSES ONLY. COORDINATION WITH FINAL BUILDING DESIGN IS REQUIRED TO CONFIRM ACTUAL DOWNSPOUT LOCATIONS, COLLECTION AREAS, REQUIRED DEPTHS AND CONNECTION AND CLEAN-OUT DETAILS.
14. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS.
15. CONTRACTOR SHALL INSTALL ALL UNDERGROUND UTILITIES BEFORE PAVING STREETS, DRIVEWAYS AND PARKING AREAS OR CONSTRUCTING SIDEWALKS.
16. THE EASEMENTS DEPICTED ON THIS PLAN ARE FOR THE BENEFIT OF MANCHESTER TOWNSHIP OR RESPECTIVE UTILITY PROVIDERS UNLESS OTHERWISE NOTED.
17. ANY DRAINAGE AND UTILITY EASEMENTS SHOWN ON THE PLAN SHALL BE CONSTRUCTED, OWNED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND SHALL BE REFERENCED WITHIN THE PROPERTY DEED.
18. RUNOFF FROM THE LOT IMPROVEMENTS SHALL BE DIRECTED TO THE STORM WATER MANAGEMENT FACILITIES.
19. PROPOSED UTILITY SERVICE CONNECTIONS ARE CONCEPTUAL AND FOR LAND DEVELOPMENT PLANNING ONLY. COORDINATION WITH UTILITY COMPANIES FOR FUTURE DESIGN WILL OCCUR AS PART OF THE BUILDING PERMIT PHASE.
20. ALL PIPE LENGTHS AND SLOPES SHOWN HEREON ARE COMPUTED FROM CENTER TO CENTER OF STRUCTURE UNLESS NOTED OTHERWISE. CONSTRUCT PIPE LENGTH BASED ON ACTUAL STRUCTURE DIMENSIONS.
21. ALL INLET BOXES SHALL BE STANDARD PRECAST CONCRETE BOXES PER PADOT RC STANDARDS UNLESS NOTED OTHERWISE.
22. ALL PIPES SHALL ENTER THE END OR SIDE OF BOXES. NO CORNER CONNECTIONS SHALL BE PERMITTED.
23. THE OWNER SHOULD NOT CONSTRUCT, PLANT, OR MAINTAIN ANY STRUCTURES, FENCES, TREES, SHRUBBERY, ETC. WITHIN THE SANITARY SEWER, STORMWATER, OR UTILITY RIGHT-OF-WAY/EASEMENTS IN ORDER TO ENSURE A FREE AND CLEAR ACCESS TO ALL FACILITIES. BITUMINOUS PAVING, CAMMULING OF SANITARY SEWER, STORMWATER OR UTILITIES, OR A CHANGE IN GROUND CONTOURS WITHIN THE RIGHT-OF-WAY/EASEMENTS WILL BE PERMITTED ONLY WITH WRITTEN CONSENT OF THE TOWNSHIP.
24. THE OWNER HEREBY GRANTS MANCHESTER TOWNSHIP OR ITS REPRESENTATIVE A GENERAL ACCESS EASEMENT ACROSS THE ENTIRE LOT FOR ACCESS TO THE PUBLIC SEWER.
25. ALL WORK SHOULD CONFORM TO THE MANCHESTER TOWNSHIP MUNICIPAL AUTHORITY'S PLAN, DESIGN, AND CONSTRUCTION STANDARDS.
26. ALL EXTERIOR LIGHTING SHOULD BE SO ARRANGED AND/OR SHIELDED SO AS NOT TO CAST OBJECTIONABLE ILLUMINATION OR GLARE UPON ADJOINING PROPERTIES.
27. NO BLASTING IS PERMITTED WITHOUT A STATE PERMIT AND ADVANCE NOTIFICATION TO THE MANCHESTER TOWNSHIP FIRE CHIEF.
28. ESTIMATED SEWAGE FLOW FROM THIS PROJECT IS APPROXIMATELY 29,400 GPD. A SEWAGE FACILITIES PLANNING MODULE EXEMPTION WILL BE SUBMITTED TO PADEP AS PART OF THIS PLAN. THE PROPOSED FLOWS ARE TRIBUTARY TO THE YORK CITY WWTP.
29. ALL WORK SHALL BE IN CONFORMANCE WITH MANCHESTER TOWNSHIP'S CONSTRUCTION AND MATERIALS SPECIFICATIONS.
30. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT PLANS OF ALL STORMWATER MANAGEMENT BMPs INCLUDED IN THE APPROVED PLAN. THE AS-BUILT PLANS AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS SHALL BE SUBMITTED TO MANCHESTER TOWNSHIP WITHIN SIX MONTHS AFTER COMPLETION OF THE FACILITY.
31. THE TOWNSHIP SHALL BE PERMITTED TO ENTER AND INSPECT FACILITIES AS OFTEN AS MAY BE NECESSARY TO DETERMINE COMPLIANCE WITH DISCHARGE REGULATIONS. IF A DISCHARGER HAS SECURITY MEASURES IN FORCE WHICH REQUIRE PROPER IDENTIFICATION AND CLEARANCE BEFORE ENTRY INTO ITS PREMISES, THE DISCHARGER SHALL MAKE NECESSARY ARRANGEMENTS TO ALLOW ACCESS TO REPRESENTATIVES OF THE TOWNSHIP.
32. THE STORMWATER MANAGEMENT (SWM) SITE PLANS APPROVED BY THE TOWNSHIP IN ACCORDANCE WITH ITS STORMWATER MANAGEMENT ORDINANCE, SHALL BE ON-SITE THROUGHOUT THE DURATION OF THE REGULATED ACTIVITY.

[illegible]

PROJECT NO.	22-0108-008
DATE:	04/07/25
SCALE:	N.T.S.
SHEET	C-101

DATE: 04/07/25
PROJECT: 22-0108-008
SHEET: C-200
DRAWN BY: JCG
CHECKED BY: GVL
DESIGNED BY: GVL
PROJECT MGR: JCG



LEGEND

EXISTING BOUNDARY LINE	---
EXISTING ADJACENT BOUNDARY LINE	---
EXISTING RIGHT-OF-WAY LINE	---
EXISTING CURB	---
EXISTING PAVEMENT	---
EXISTING CONTOUR LINE	---
MUNICIPAL BOUNDARY LINE	---
EXISTING GRAVEL DRIVE	---
EXISTING VEGETATION	---
EXISTING TREELINE	---
EXISTING OVERHEAD ELECTRIC LINE	---
EXISTING UNDERGROUND ELECTRIC LINE	---
TO BE REMOVED OR RELOCATED	---
T.S.R.	---

ADJACENT PROPERTY INFORMATION

ID	OWNER	TAX PARCEL #
1	TWOTON INC.	36-000-16-0018 00-00000
2	RICHARD E. MARTIN	36-000-16-0017 00-00000
3	JESSE TIPLE & TARA WHITE	36-000-16-0016 00-00000
4	RONALD & CASSANDRA JOHNSON	36-000-16-0019 00-00000
5	DAVID & LAYLA BOYCE	36-000-16-0018 A00-00000
6	DAVID & LAYLA BOYCE	36-000-16-0017 A00-00000
7	JEFFERY & MARY GRACE KING	36-000-16-0016 A00-00000
8	JEFFERY & MARY GRACE KING	36-000-16-0015 00-00000
9	DAVID A. WUERTHNER	36-000-16-0011 D00-00000



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OVERALL EXISTING CONDITIONS PLAN
FOR
PENN AVENUE RESIDENTIAL
FOR
PENN AVENUE PARTNERS
YORK COUNTY, PENNSYLVANIA
MANCHESTER TOWNSHIP

PROJECT NO.
22-0108-008
DATE: 04/07/25
SCALE: 1" = 150'
SHEET
C-200

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PROJ MGR -	JCG
DESIGN -	GVL
CADD -	GVL
CHECKED -	JCG

NO.	DATE	REVISION

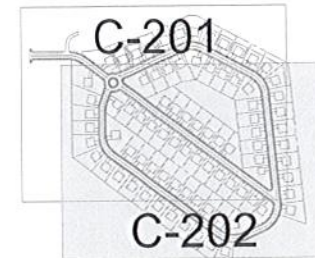
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EXISTING CONDITIONS PLAN
FOR
PENN AVENUE RESIDENTIAL
FOR
PENN AVENUE PARTNERS
MANCHESTER TOWNSHIP
YORK COUNTY, PENNSYLVANIA

PROJECT NO.
22-0108-008
DATE: 04/07/25
SCALE: 1" = 50'
SHEET
C-201



PROJ. MGR. -	JCG
DESIGN -	GVL
CADD -	GVL
CHECKED -	JCG

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33 WEST 101ST AVE. PHILA. CT. CITY 110 YORK PA. 17401



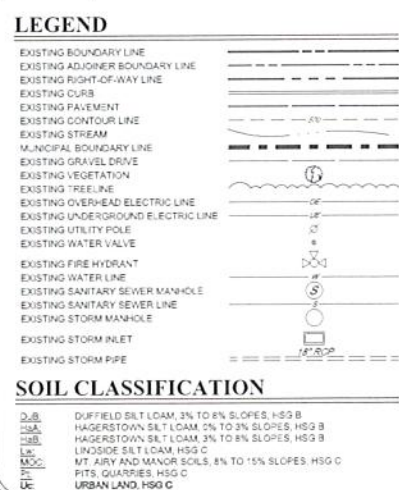
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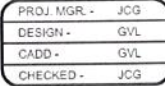
FOR
PENN AVENUE RESIDENTIAL

FOR

FOR
PENN AVENUE PARTNERS

PROJECT NO.	22-0108-008
DATE:	04/07/25
SCALE:	1" = 50'
SHEET	C-202

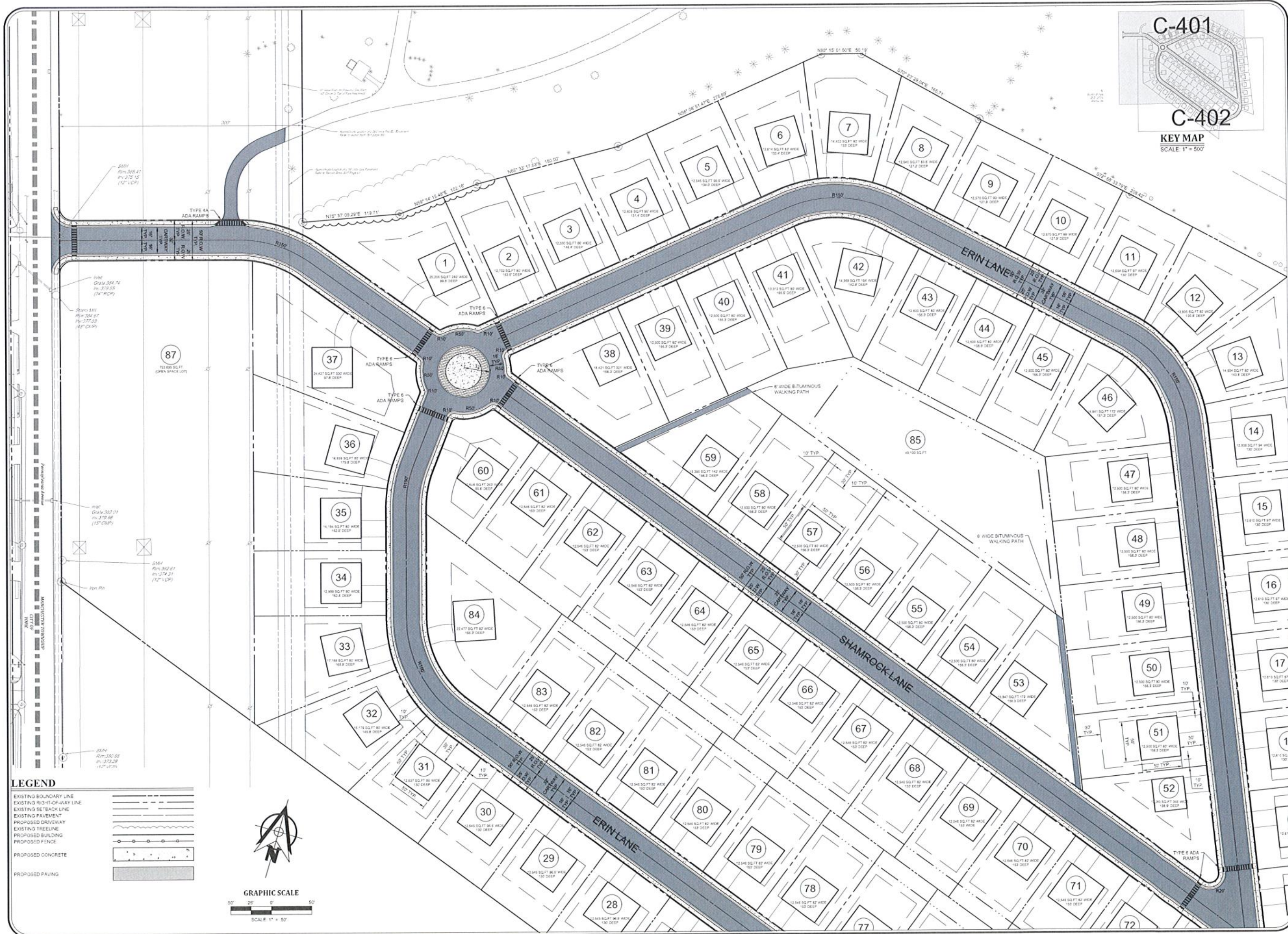




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PROJECT NO.	22-0108-008
DATE:	04/07/25
SCALE:	1" = 50'
SHEET	C-401

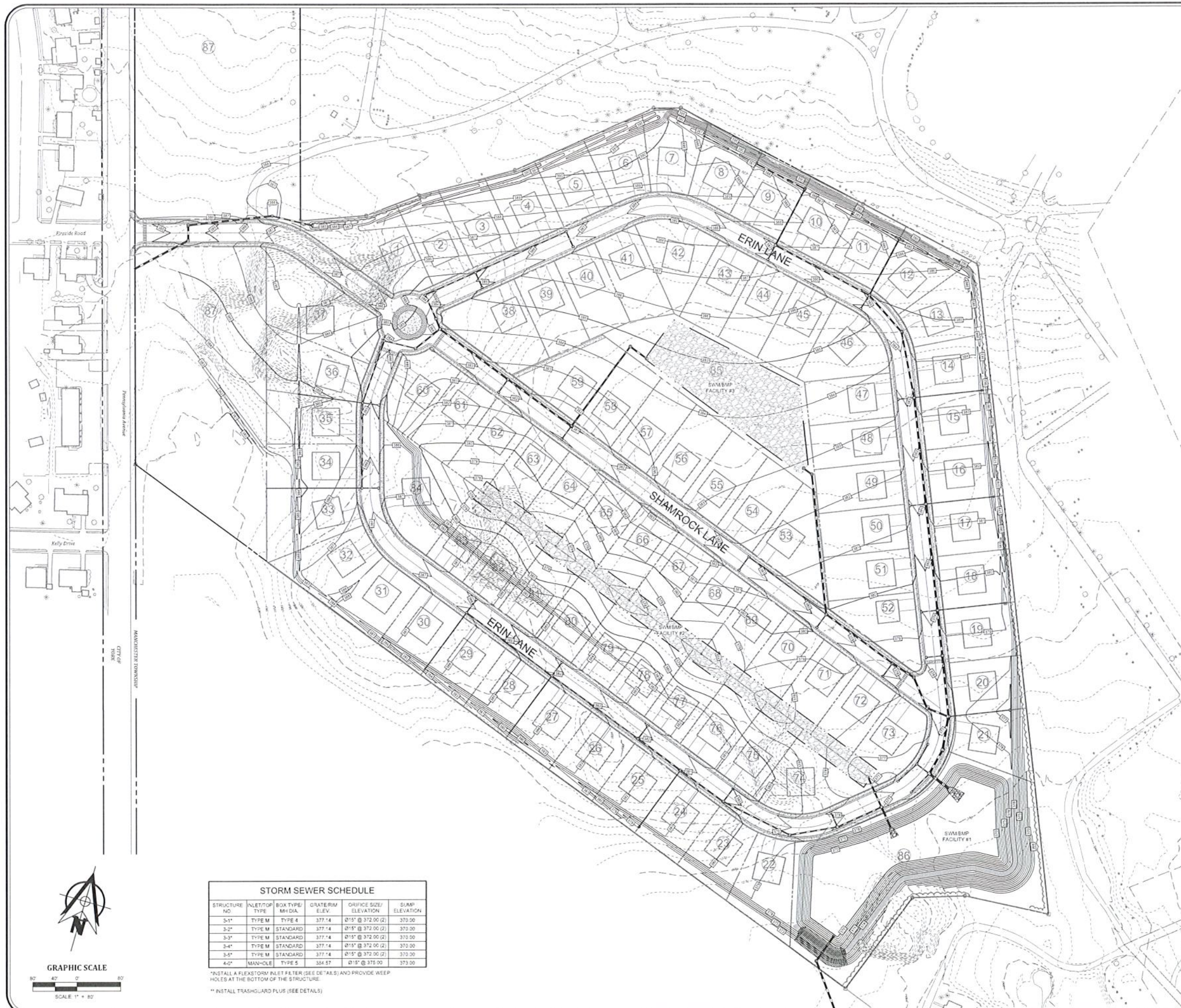




SIGNAGE NOTES

1. EACH INTERSECTION SHALL HAVE A STREET NAME SIGN FOR EACH STREET AT THE INTERSECTION.
2. ADJUST SIGN LOCATION AS NEEDED TO AVOID CONFLICTS WITH UTILITY LATERALS.





STORM SEWER SCHEDULE						
STRUCTURE NO.	INLET/OUTLET TYPE	BOX TYPE	MANHOLE DIA.	GRATEMANHOLE ELEV.	ORIFICE SIZE/ ELEVATION	SNAP ELEVATION
5-1*	TYPE M	TYPE 4		377.14	Ø15" @ 372.00 (2)	375.00
3-2*	TYPE M	STANDARD		377.14	Ø15" @ 372.00 (1)	375.00
3-3*	TYPE M	STANDARD		377.14	Ø15" @ 372.00 (2)	375.00
3-4*	TYPE M	STANDARD		377.14	Ø15" @ 372.00 (2)	375.00
4-5*	TYPE M	STANDARD		377.14	Ø15" @ 372.00 (2)	375.00
4-6*	MAN-HOLE	TYPE 5		386.57	Ø15" @ 375.00	375.00

** INSTALL TRASHGUARD PLUS (SEE DETAILS)

PROJ. MGR. -	JCG
DESIGN -	GVL
CADD -	GVL
CHECKED -	JCG

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OVERALL GRADING & DRAINAGE PLAN
FOR
PENN AVENUE RESIDENTIAL
FOR
PENN AVENUE PARTNERS
MANCHESTER TOWNSHIP
YORK COUNTY, PENNSYLVANIA



PROJ. MGR. -	JCG
DESIGN -	GVL
CADD -	GVL
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GRADING & DRAINAGE PLAN
FOR
PENN AVENUE RESIDENTIAL
FOR
PENN AVENUE PARTNERS

Grading & Drainage Plan
22-0108-008
04/07/25
1" = 50'
C-603



PROJ. MGR. - JCG
DESIGN - GVL
CADD - GVL
CHECKED - JCG

NO.	DATE	REVISION	BY

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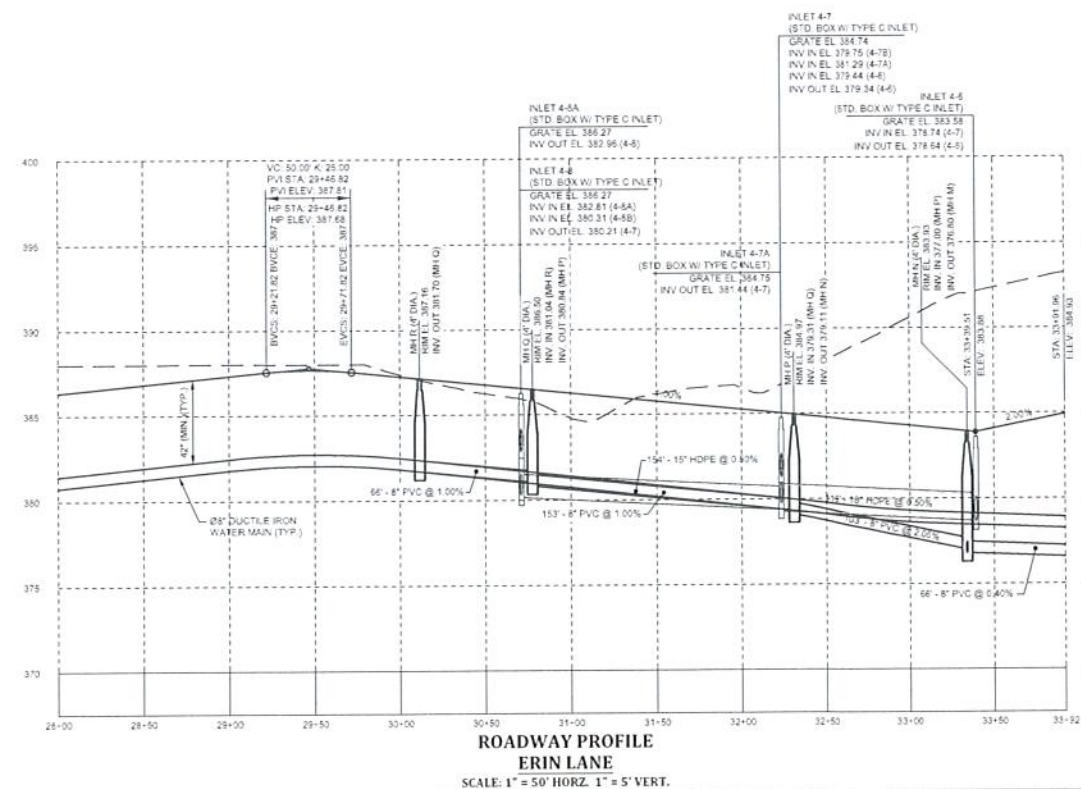
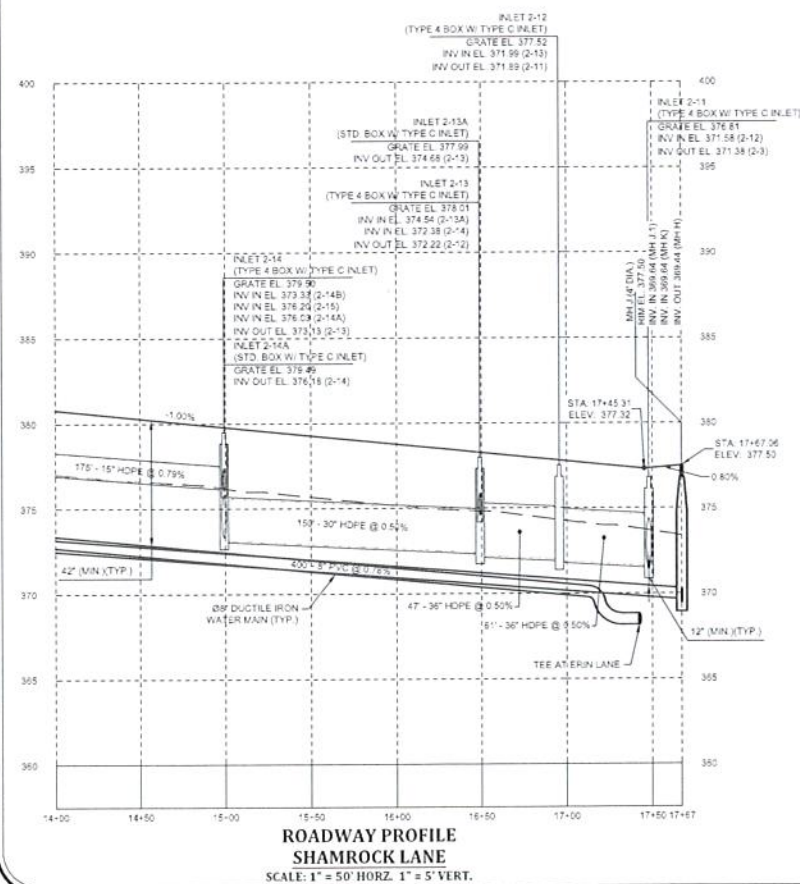
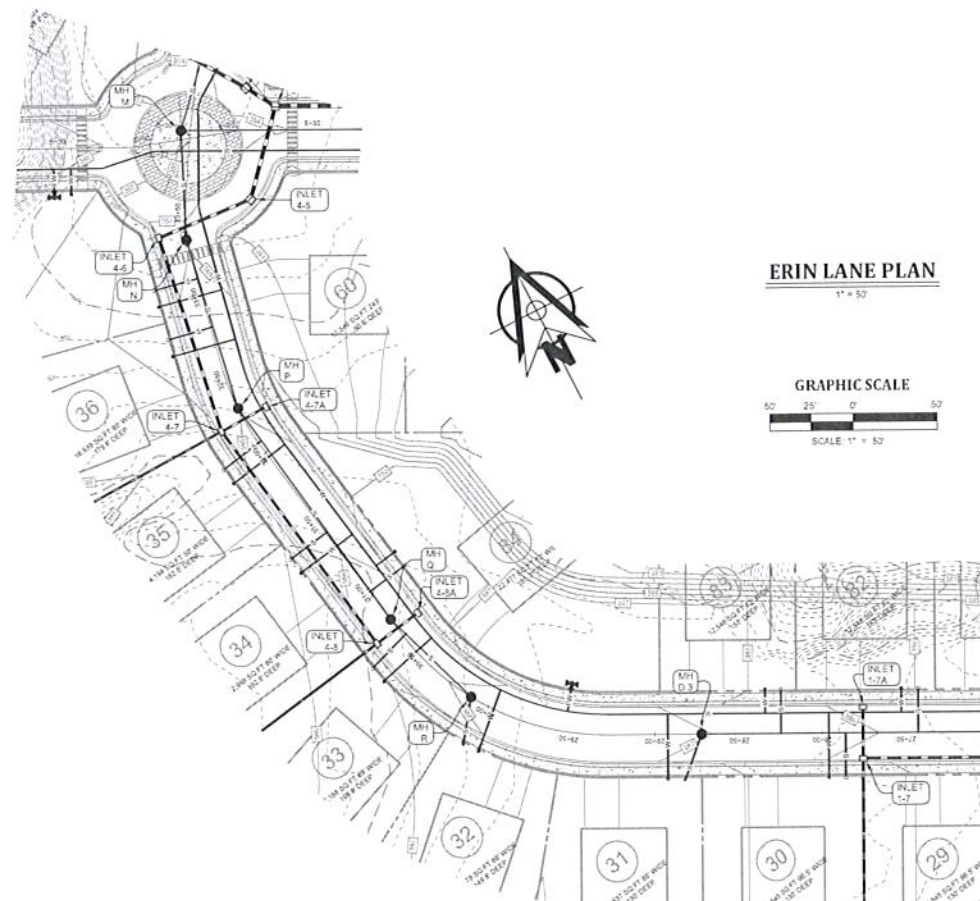


GRADING & DRAINAGE PLAN
FOR
PENN AVENUE RESIDENTIAL
FOR
PENN AVENUE PARTNERS
MANCHESTER TOWNSHIP
YORK COUNTY, PENNSYLVANIA

PROJECT NO.
22-0108-008
DATE: 04/07/25
SCALE: 1" = 50'
SHEET
C-603



PROJECT NO.	22-0108-008
DATE:	04/07/25
SCALE:	1" = 50'
SHEET	C-801



PROJ. MGR. -	JCG
DESIGN -	GVL
CADD -	GVL
CHECKED -	JCG

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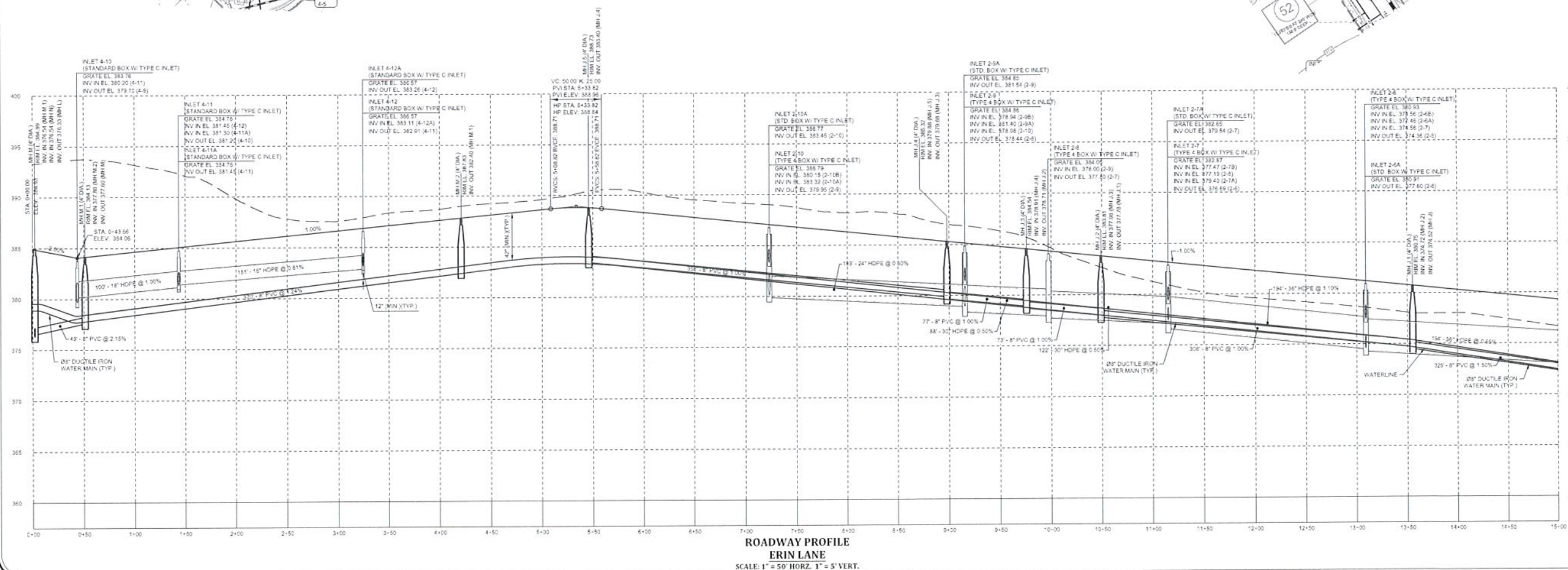
ROADWAY PROFILES
FOR
PENN AVENUE RESIDENTIAL
FOR
PENN AVENUE PARTNERS

PROJECT NO.	22-0108-008
DATE:	04/07/25
SCALE:	1" = 50'
SHEET	C-802

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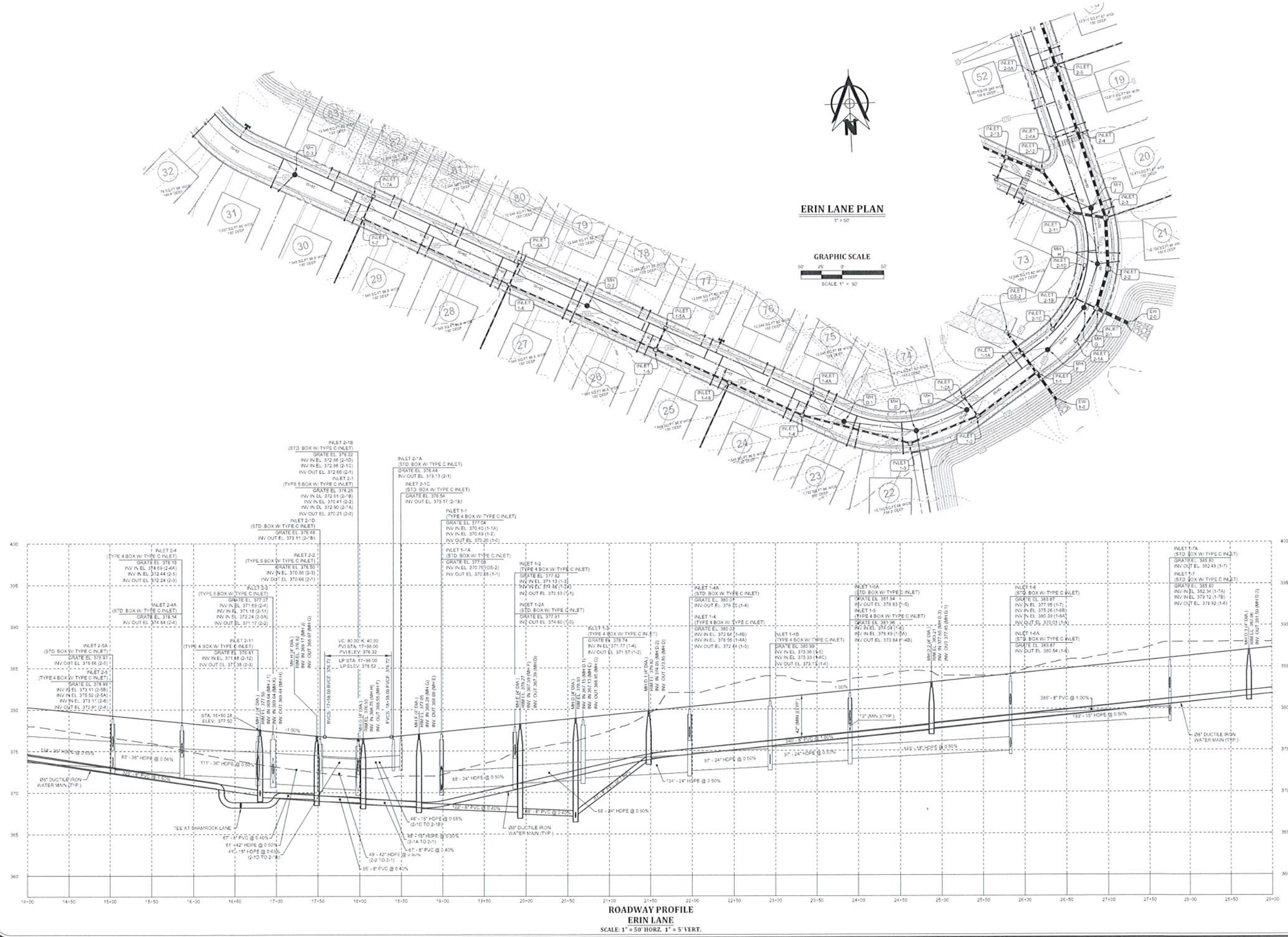
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PROJECT NO.	22-0108-008
DATE:	04/07/25
SCALE:	1" = 50'
SHEET	C-803

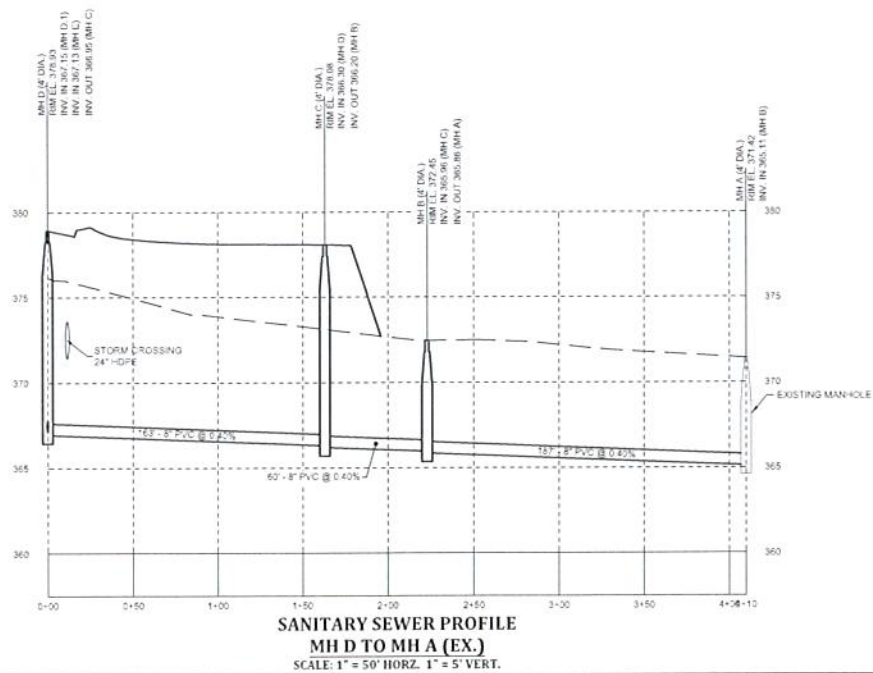


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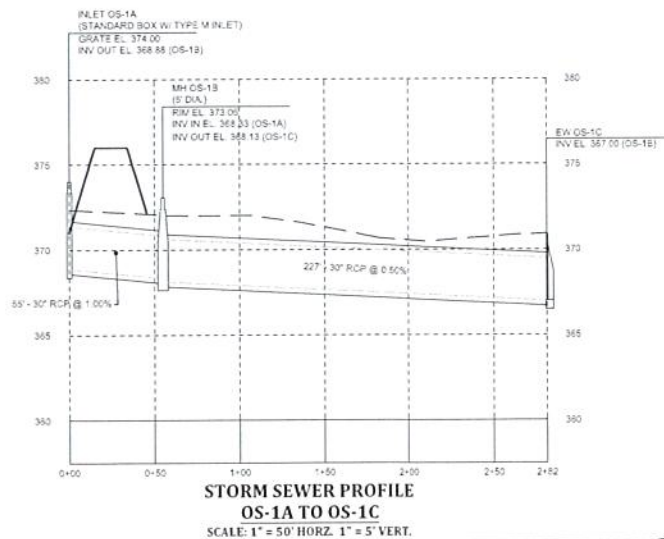
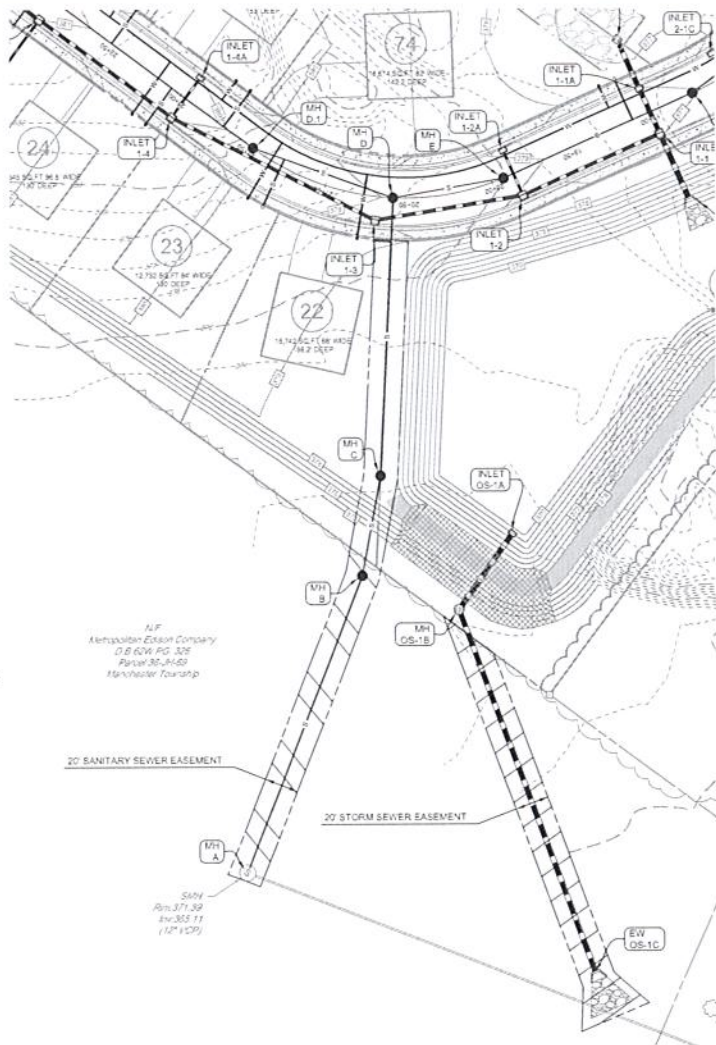
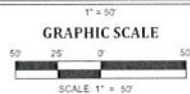
PROJECT NO.	22-0108-008
DATE:	04/07/25
SCALE:	1" = 50'
SHEET	C-804



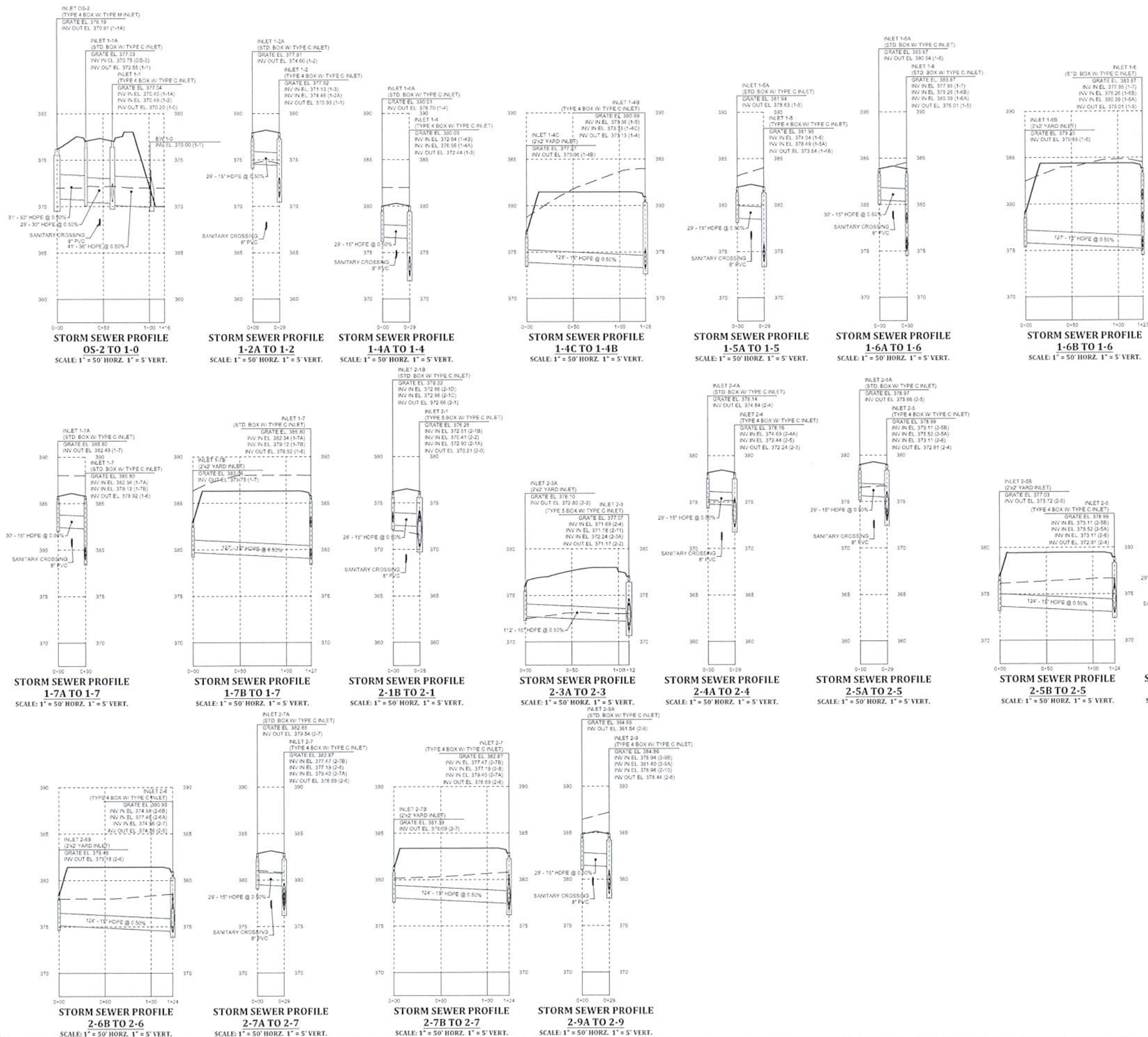
22-0108-008
MANCHESTER TOWNSHIP
PENN AVENUE PARTNERS
FOR
PENN AVENUE RESIDENTIAL
FOR
PENN AVENUE PARTNERS
MANCHESTER TOWNSHIP
YORK COUNTY, PENNSYLVANIA
PROJECT NO. 22-0108-008
DATE: 04/07/25
SCALE: 1" = 50'
SHEET C-805

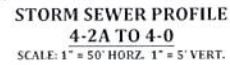
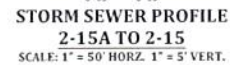
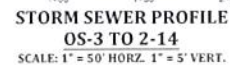
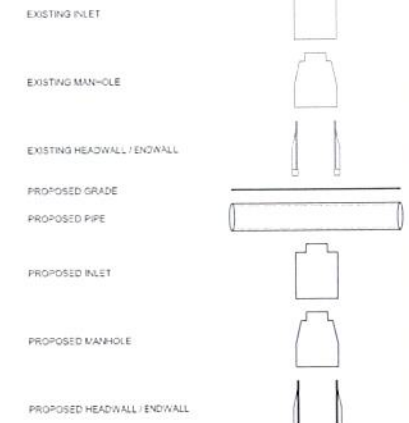
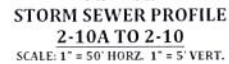
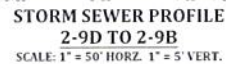


SANITARY & STORM EXTENSION PLAN



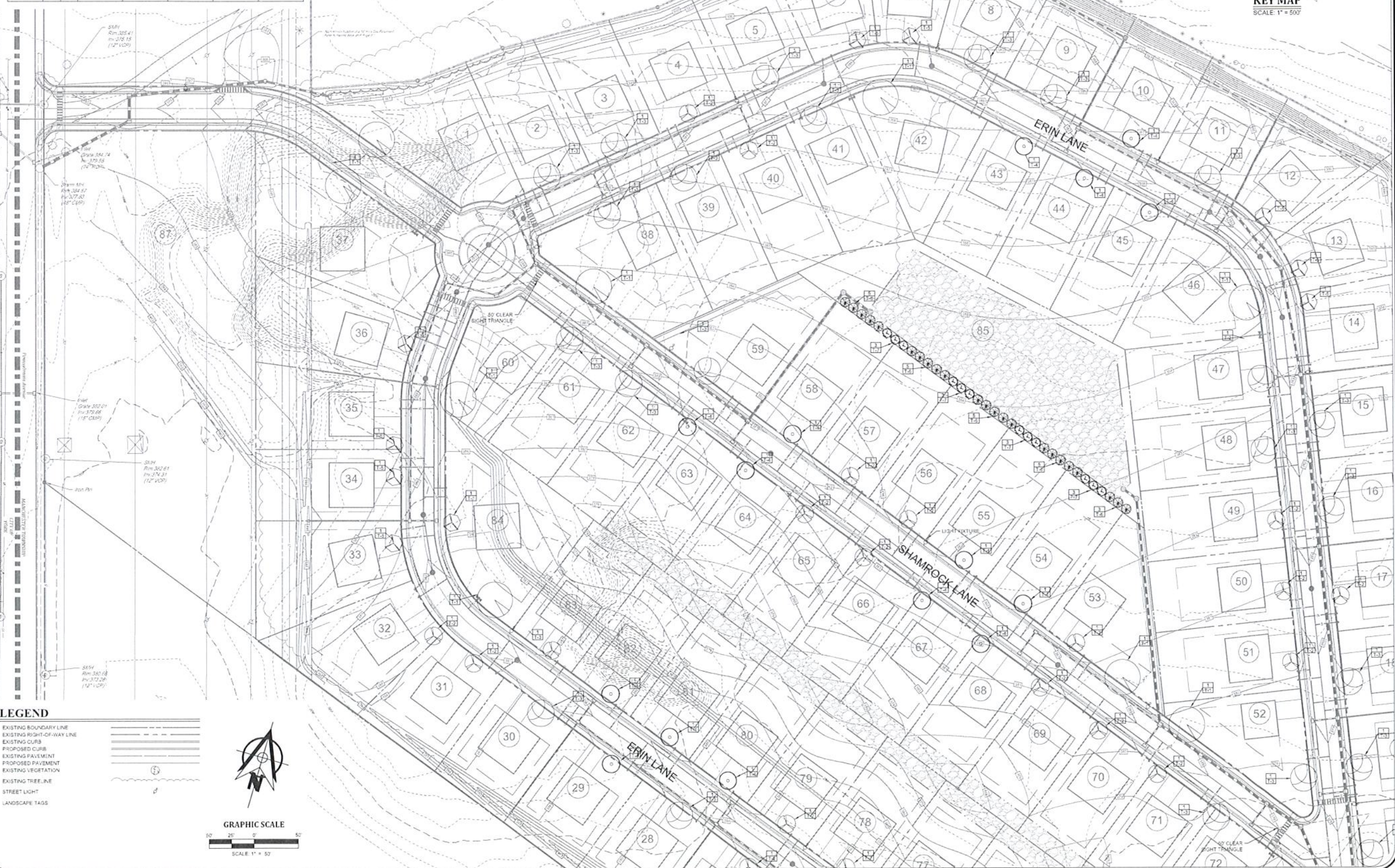
22-0108-008
PROJECT NO. 22-0108-008
DATE: 04/07/25
SCALE: AS SHOWN
SHEET C-806





PLANT SCHEDULE

STREET TREES						
SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE & ROOT	NATIVE/CULTIVAR OF NATIVE
	1-1	16	ACER RUBRUM FRANSERIE	RED BURNING MAPLE	2-2 1/2" CAL. B&B	YES
	1-2	20	FRAXINUS PENNSYLVANICA 'ATKINS'	PATYBONE GREEN ASH	1 1/2"-2" CAL. B&B	YES
	1-3	28	ACER X FREEMANI	BLAZE MAPLE	2-2 1/2" CAL. B&B	YES
	1-4	18	NYSSA SYLVATICA 'GREEN GABLE'	GREEN GABLE TUPEDO	2" CAL. B&B	YES
	1-5	10	ZELKOVA SERPATA 'GREEN VASE'	GREEN VASE ZELKOVA	2 1/2"-3" CAL. B&B	NO
	1-6	23	VIBURNUM DENATUM	ARROWWOOD VIBURNUM	2 GAL.	YES
	1-7	12	KALMA LATIFOLIA	MOUNTAIN LAUREL	2 GAL.	YES



LEGEND

- EXISTING BOUNDARY LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING CURB
- PROPOSED CURB
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING VEGETATION
- EXISTING TREE LINE
- STREET LIGHT
- LANDSCAPE TAGS



GRAPHIC SCALE
0' 25' 50'
SCALE: 1" = 50'

PROJ. MGR.	JCG
DESIGN	GVL
CADD	GVL
CHECKED	JCG

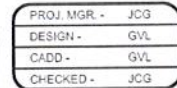
REV.	DATE	BY

LANDWORKS
CIVIL DESIGN, LLC
land development consultants
221 WEST PHILADELPHIA ST. SUITE 110 YORK, PA 17403
P. (717) 766-1100 F. (717) 766-1101
WWW.LANDWORKS-PA.COM



LANDSCAPING PLAN
FOR
PENN AVENUE RESIDENTIAL
FOR
PENN AVENUE PARTNERS
MANCHESTER TOWNSHIP
YORK COUNTY, PENNSYLVANIA

PROJECT NO.	22-0108-008
DATE	04/07/25
SCALE	1" = 50'
SHEET	C-901

[illegible]

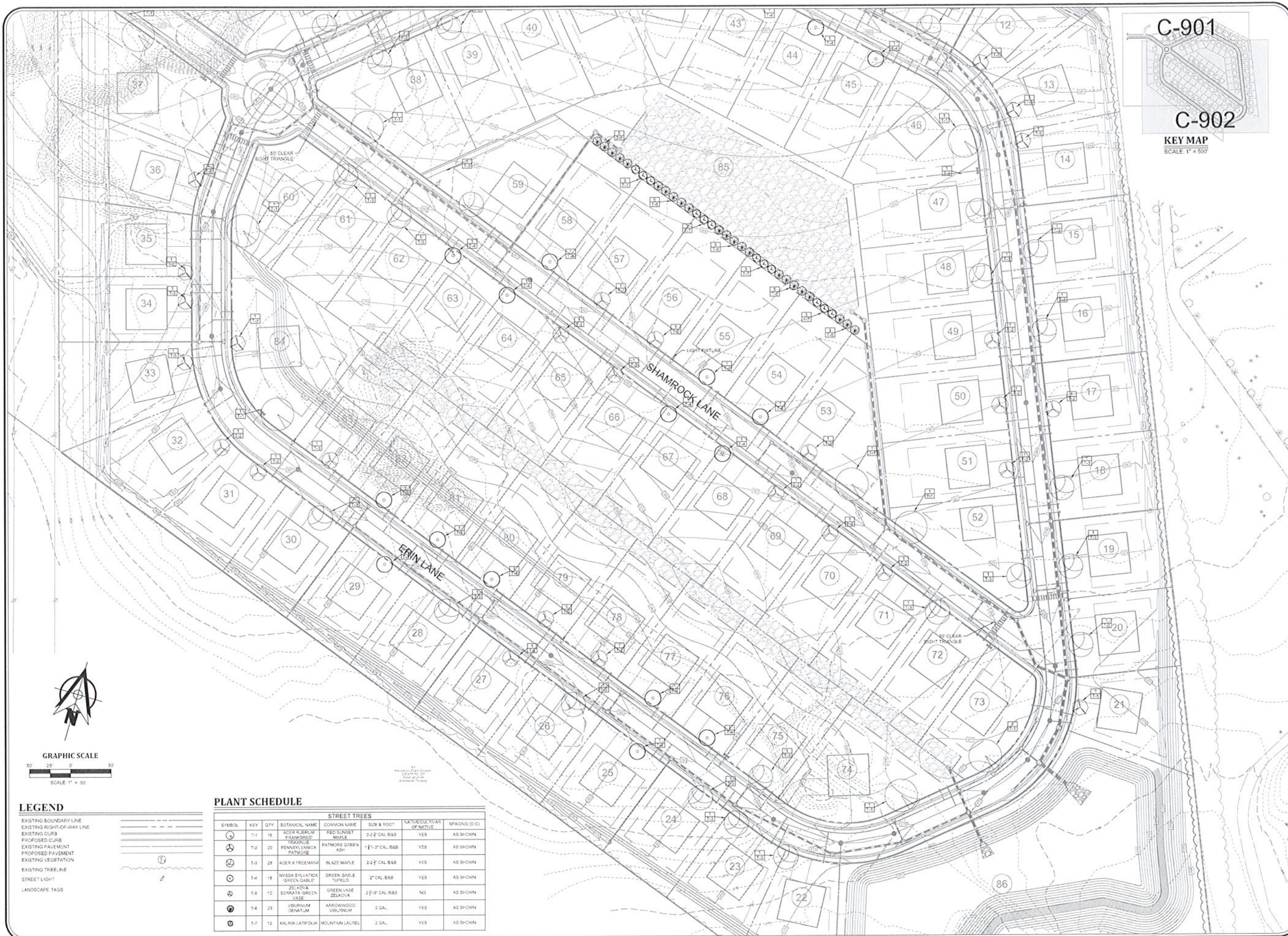
LANDWORKS
CIVIL DESIGN, LLC
land development consultants

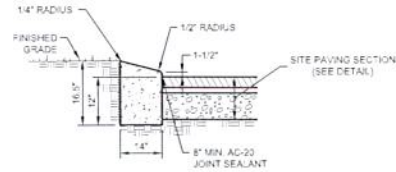
224 WEST PHILADELPHIA ST., SUITE 110 YORK, PA 17401
717.660.1200
www.landworksllc.com



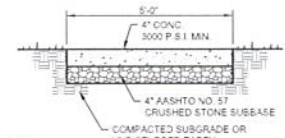
LANDSCAPING PLAN
FOR
PENN AVENUE RESIDENTIAL
FOR
PENN AVENUE PARTNERS
VORDE COUNTY, MISSISSIPPI

PROJECT NO.	22-0108-008
DATE:	04/07/25
SCALE:	1" = 50'
SHEET	C-902



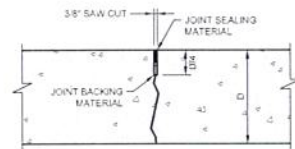


TYPICAL SLANT CONCRETE CURB
NOT TO SCALE



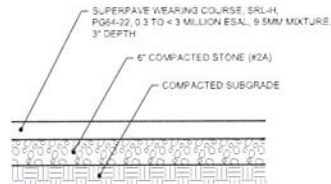
- NOTES:
1. CONSTRUCT IN ACCORDANCE WITH LATEST RELEASE OF PENNDOT PUBLICATION 428.
 2. CONTROL JOINT SPACING SHALL BE 4'-0\"/>

CONCRETE SIDEWALK
NOT TO SCALE

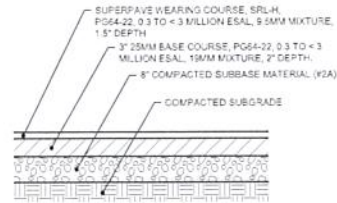


- NOTE:
1. TERMINATE 50% OF REINFORCEMENT AT JOINT.

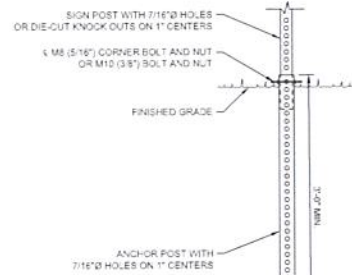
CONCRETE SAW CUT CONTRACTION JOINT
NOT TO SCALE



BITUMINOUS WALKING TRAIL DETAIL
NOT TO SCALE



PUBLIC ROADWAY PAVEMENT SECTION
NOT TO SCALE

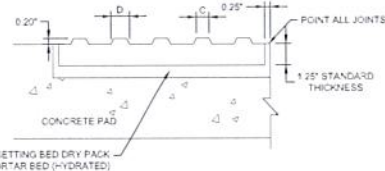
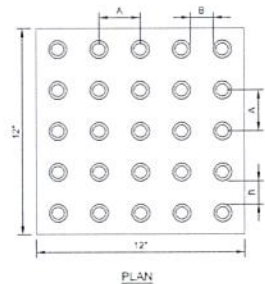


- MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH PUB. 428.
- SIGN POSTS AND SPOLE SLEEVES SHALL HAVE 7/16\"/>

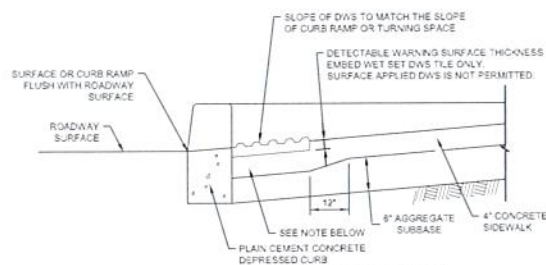


SIGN SHALL ADHERE TO PA DOT R-11 30\"/>

STOP SIGN & POST
NOT TO SCALE

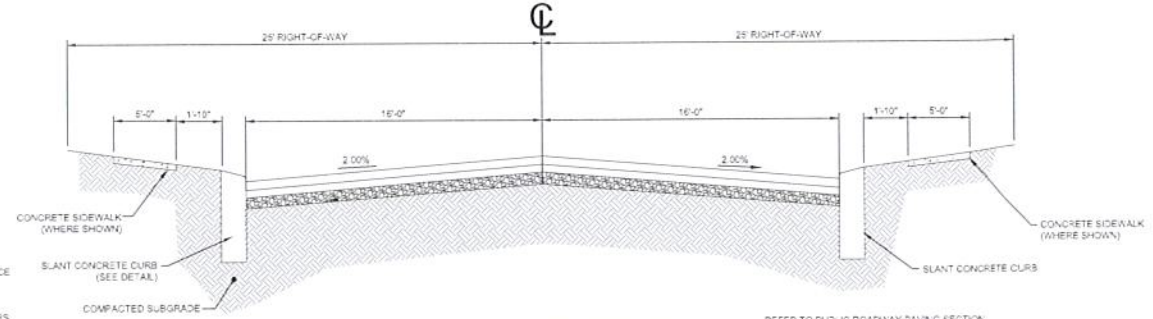


DIM	MIN (IN)	MAX (IN)
A	1.62"	2.40"
B	0.65"	1.50"
C	0.45"	0.91"
D	0.90"	1.40"

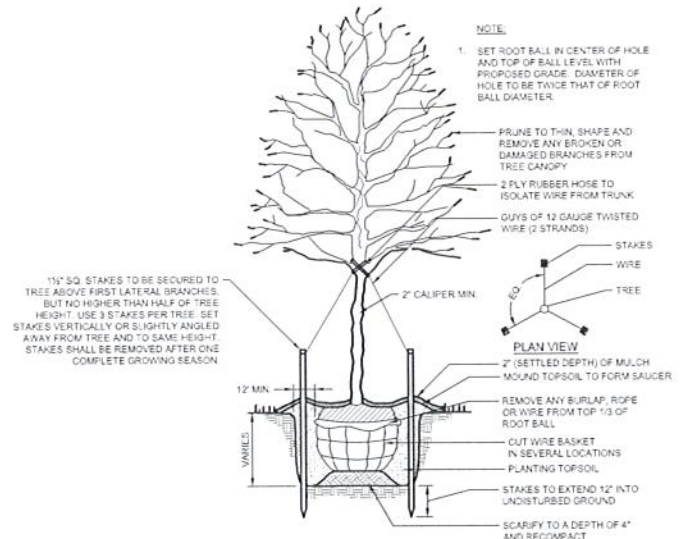


- NOTES:
1. CONSTRUCT NOTCH AS SHOWN TO PROVIDE FULL THICKNESS SIDEWALK UNDER DETECTABLE WARNING SURFACE. OPTIONAL CONSTRUCT 2\"/>
 2. REFER TO THE LATEST RELEASE OF PENNDOT PUBLICATION 72M FOR CURRENT DESIGN STANDARDS.

DETECTABLE WARNING SURFACE
(SEE SITE PLAN FOR ADA RAMP)
NOT TO SCALE

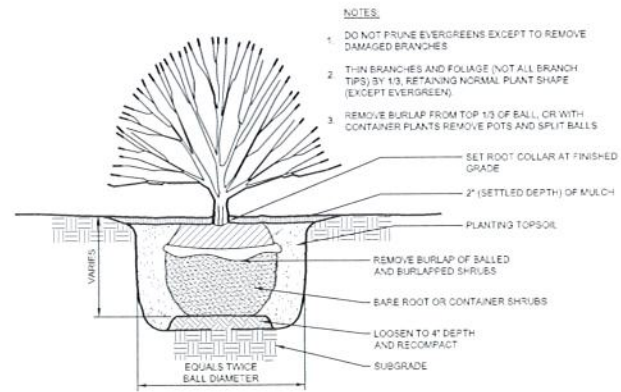


ROADWAY CROSS-SECTION
NOT TO SCALE



- NOTES:
1. A 4\"/>
 2. REFER TO LANDSCAPE PLAN SHEET LL 8.3 FOR PLANT SCHEDULE AND CALIPER SIZES.

DECIDUOUS TREE PLANTING
NOT TO SCALE



- NOTES:
1. DO NOT PRUNE EVERGREENS EXCEPT TO REMOVE DAMAGED BRANCHES.
 2. THIN BRANCHES AND FOLIAGE (NOT ALL BRANCH TIPS) BY 1/3, RETAINING NORMAL PLANT SHAPE (EXCEPT EVERGREEN).
 3. REMOVE BURLAP FROM TOP 1/3 OF BALL, OR WITH CONTAINER PLANTS REMOVE POTS AND SPLIT BALLS.

SHRUB PLANTING
NOT TO SCALE

PROJ. MGR. -	JCG
DESIGN -	GVL
CADD -	GVL
CHECKED -	JCG

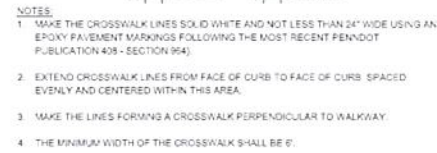
NO.	REVISION	DATE

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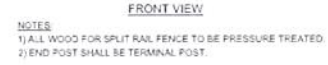


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FOR
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YORK COUNTY, PENNSYLVANIA

PROJECT NO.	22-0108-008
DATE:	04/07/25
SCALE:	N.T.S.
SHEET	C-1001



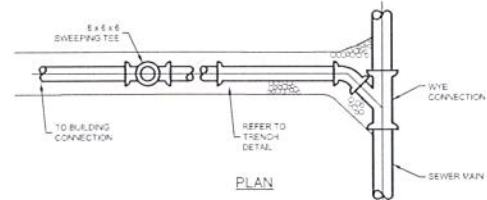
NOT TO SCALE



NOT TO SCALE

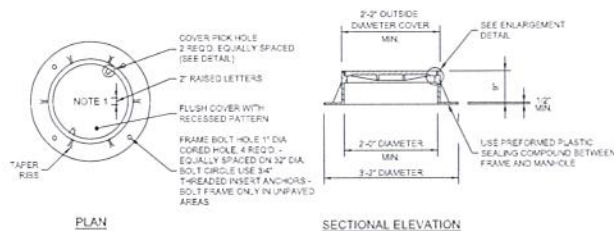


PROJECT NO.	22-0108-008
DATE:	04/07/25
SCALE:	N.T.S.
SHEET	C-1002



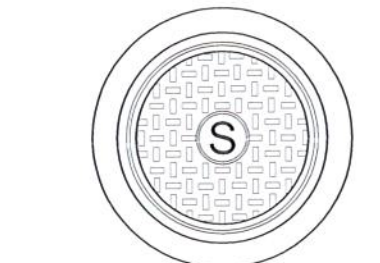
SERVICE LATERAL - NORMAL DEPTH

NOT TO SCALE



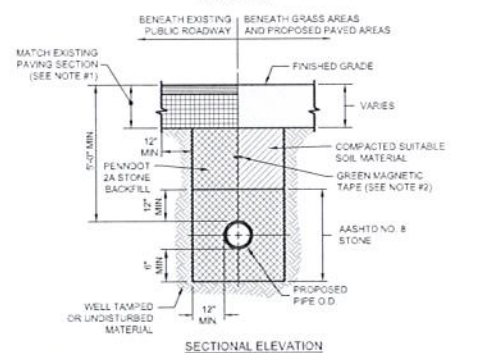
STANDARD FRAME AND COVER

NOT TO SCALE



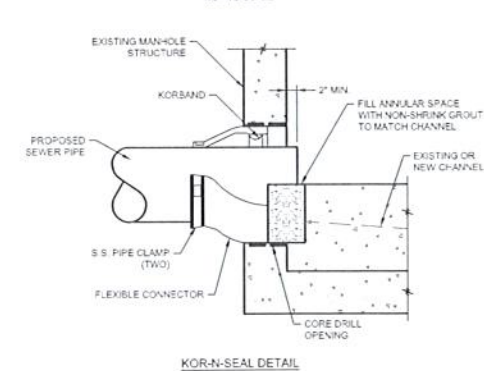
CLEANOUT / OBSERVATION TEE CAP PROTECTION CASTING

NOT TO SCALE



SANITARY SEWER TRENCH

NOT TO SCALE

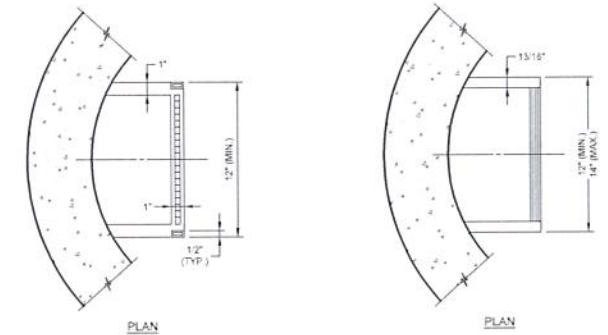


EXISTING MANHOLE PIPE CONNECTION

NOT TO SCALE

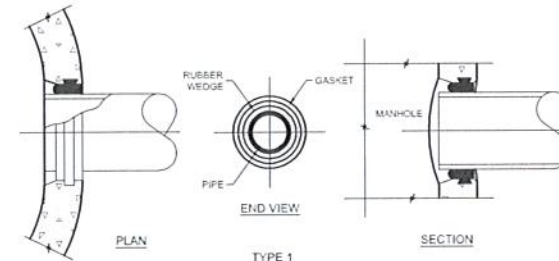
MANHOLE GASKET

NOT TO SCALE



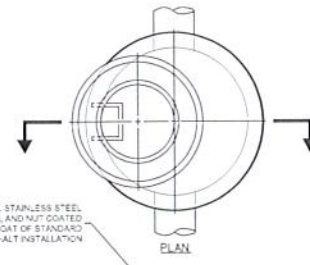
MANHOLE STEPS

NOT TO SCALE



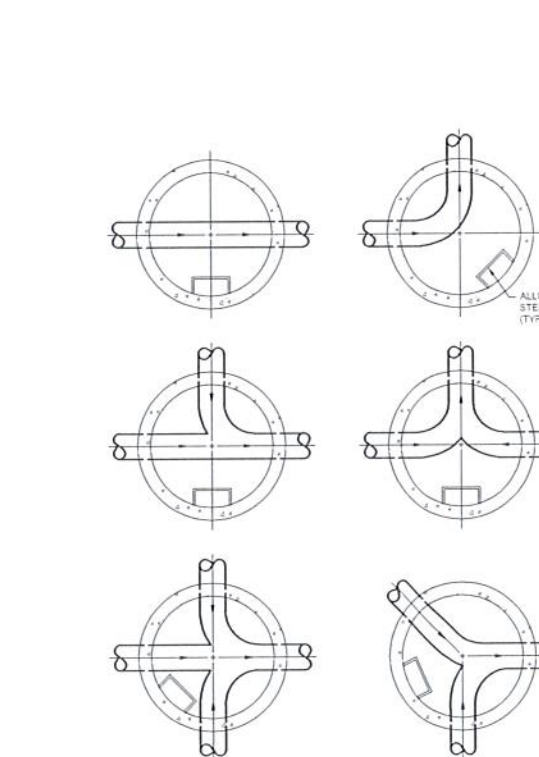
MANHOLE PIPE GASKETS

NOT TO SCALE



SANITARY SEWER MANHOLE

NOT TO SCALE



MANHOLE CHANNELS

NOT TO SCALE

PROJ. MGR.	JCG
DESIGN	GVL
CADD	GVL
CHECKED	JCG

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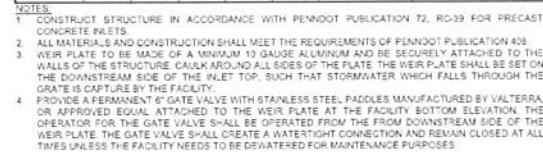
PROJECT NO.	22-0108-008
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SCALE:	N.T.S.
SHEET	C-1003



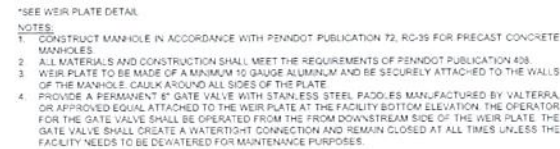
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YORK COUNTY, PENNSYLVANIA

PROJECT NO.	22-0108-008
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SCALE:	N.T.S.
SHEET	C-1007



NOT TO SCALE



NOT TO SCALE