



October 15, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

Re: Responses to Preliminary/Final Land Development Plan Comments
LCBC Church
1400 Church Road
Manchester Township, York County, PA
SDC# 1590.1

Dear Rachel,

We have revised the above stated land development plans for the Proposed House of Worship review #1 from the following:

Township Engineer, CS Davidson – Aaron Stover, E.I.T., dated September 16, 2025
Township Engineer, CS Davidson – Cory A. McCoy, P.E., dated September 22, 2025

We offer the following comments as follows:

Township Engineer – CS Davidson

Waiver / Modifications Request-

1. Waiver Requested.
2. Waiver Requested.
3. Waiver Requested.

Zoning Ordinance Requirement-

1. General note #6 has been revised to state 1 acre minimum as the requirement.
2. General note #7 has been revised to state 150' minimum as the requirement.
3. As discussed in the Manchester Township staff meeting, the existing plants, shrubs, and tree line were satisfactory for this requirement.
4. Loading space count has been revised to show 3 spaces, and general note 15 has been revised accordingly.

SALDO Review

1. Section reference for waiver #1 has been revised.
2. Acknowledged. Fire truck turning template has been revised to be shown at a larger scale.
3. Address for the lot is stated in the uniform parcel identification block on the title sheet.

4. Existing and proposed easements have been shown, dimensioned, and shaded on the plans. An easement is not required for the existing overhead electric line along Church Road, however a 10' wide right to trim is granted to the electric company. A riparian buffer has been added to the plan and dimensioned.
5. Acknowledged.
6. This has been discussed with the township zoning officer and is not applicable in the Office zone.
7. A title search has been completed and is attached with submission.
8. The existing right-of-way and cartway for Roosevelt Ave. have been added to the plan and dimensioned.
9. Off-site Well and on-site septic system have been identified on the plans, as well as isolation radii.
10. The proposed church building has been dimensioned.
11. Proposed access drive lengths have been dimensioned.
12. All proposed traffic control signage has been shown on the plan.
13. Proposed loading spaces have been dimensioned.
14. Proposed Interior parking islands have been dimensioned.
15. A 20' wide drainage easement has been provided for Tributary 08420 to Little Conewago Creek.
16. A soil erosion and sedimentation control plan is currently under review by the York County Conservation District as part of a major amendment to a General NPDES permit for this site and will be provided upon final approval of such permit.
17. Planning Module letter has been attached with submission.
18. Responses to the stormwater management review comments have been included with this letter.
19. Acknowledged.
20. Acknowledged.
21. Acknowledged.
22. A waiver has been requested and is included on the title sheet.
23. A PennDOT HOP permit has been submitted for the two access drives, and a receipt of a permit will be provided once obtained.
24. Acknowledged.
25. Plans are currently under review by York Water Company.
26. A statement of ownership, acknowledgement of the plan, and offer of dedication has been added to the plan.
27. A security estimate has been included with submission.
28. The signature and seal shall be provided upon final plan approval.
29. The carbonate geology statement shall be executed upon final plan approval.
30. Standard Manchester Township notes have been added to the plan.

Traffic Engineer Comments:

1. Trip distribution calculations are not applicable.

Stormwater Management Comments:

1. The volume control calculations in Section 16 of the PCSM Report have been revised to demonstrate that the difference in the runoff volume for the 2 year, 24 hour storm is stored below the lowest orifices of the SIBs for each drainage point.
2. The volume control calculations in Section 16 of the PCSM Report have been revised to show the change runoff volume for each discharge point.
3. All proposed stormwater management facilities are 2' above any limiting zones.
4. All proposed stormwater management facilities are 2' above any limiting zones.

5. Summary table has been provided on sheet C-6.
6. Acknowledged. Seal and signature will be provided prior to final plan approval.
7. Acknowledged. Seal and signature will be provided prior to final plan approval.
8. Note has been added to #49 of the general notes on sheet C-2.
9. Acknowledged. Operation and Maintenance Agreement will be signed and recorded upon final plan approval.
10. Acknowledged.

General Comments:

1. A pavement restoration detail has been added to the plan for Church Road.
2. A guide rail has been added to the plan legend.
3. The pipe sizing for the private sanitary sewer force main has been revised to be consistent between the plans and profiles.
4. A trench plug detail has been added to the plans.
5. Curbing cannot extend around the access drive radii as there is an existing roadside swale that will continue to be utilized, and such addition of curbing will affect the drainage of the swale. Piping underneath the driveway is not possible due to the depth limitation of the swale.
6. A detail has been provided to showcase the existing public manhole with inverts, flow channels, and method of connection.
7. Sanitary Sewer force main has been identified as private across the plan, and notation has been provided for maintenance, operation, and replacement in the general plan notes.
8. A grinder pump application has been included with submission.
9. DEP permits are under review and shall be provided once approved.
10. PennDOT HOP permit shall be provided once approved.

If you require additional information or have any questions on the revised plans, please feel free to contact me.

Respectfully,

SITE DESIGN CONCEPTS, INC.



Thomas B. Englerth II, P.L.S.
Project Manager



C.S. DAVIDSON, INC.
ENGINEERING A BETTER COMMUNITY

September 22, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

Re: LCBC Church-1400 Church Road
Preliminary/Final Land Development Plan
Manchester Township Plan #2025-12
Engineer's Project No. 0841.3.12.53

Dear Rachel:

We have reviewed the above-referenced Preliminary/Final Land Development Plan, submitted by Site Design Concepts, dated September 3, 2025. We offer the following comments:

Waiver Requests:

1. §22-405 To allow the submission of a Preliminary/Final Plan
2. §22-709 – To not require the installation of sidewalk along Church Road (S.R. 0238)
3. §22-705.E.4 – To allow parking within the clear sight triangle

Zoning Ordinance

1. The minimum lot area for a House of Worship is 1 acre. Revise General Note 6 accordingly. (§27-703.6)
2. The minimum street frontage for a House of Worship is 150'. Revise General Note 7 accordingly. (§27-703.6)
3. Screen plantings shall be placed along the rear adjacent dwellings such that within 3 years, a complete year-round visual obstruction of 8' in height is created. (§27-1105.1.C.1)
4. It appears that 3 loading spaces are required, however, only 2 are proposed. Additionally, add the proposed building footprint area to general note 15 and revise the wording to the loading space requirement: "one berth for each additional 25,000 or fraction thereof." (§22-1511.1.A.1)

Subdivision and Land Development Ordinance

1. Revise the section reference for waiver request 1 to §22-303.
2. Emergency services shall review the location of the proposed fire hydrant. Additionally, emergency services should comment on if a turning template for a fire truck approaching from the eastbound lane should be provided on the plans. Additionally, provide the turning template at a larger scale. (§22-311.1.E)

ENGINEERING A BETTER COMMUNITY

38 N. Duke Street • York, PA 17401 • 717.846.4805
50 W. Middle Street • Gettysburg, PA 17325 • 717.337.3021
315 W. James Street, Suite 102 • Lancaster, PA 17603 • 717.481.2991%

CSDavidson.com



3. The address for the lot shall be clearly stated on the cover sheet of the plans. (§22-406.4.8)
4. Any existing or proposed easements shall be defined, dimensioned, and shaded on the plans (§22-404.4.15). Confirm whether an easement is associated with the overhead electric utility line shown along the western corner of the property. A riparian buffer shall be shown on the plans, measured 35' from the top of bank of the UNT to Little Conewago Creek along the rear property line.
5. The sanitary sewer lateral is proposed within the Township's sanitary sewer easement. A private easement shall be obtained for the connection to the sanitary sewer system or an agreement will need to be obtained which outlines ownership, maintenance, and replacement responsibilities (§22-406.4.15). Provide a label on the plans identifying which entity has rights within the existing sewer easement.
6. The required 50' buffer areas shall be labeled and dimensioned along all adjacent residential uses. (§22-404.4.20)
7. A full title search must be completed, and all existing rights-of-way, easements, restrictions, etc. shall be shown or referenced on the plans. Remove General Note 19. Show any existing easement for the overhead utilities running through the property. (§22-406.4.23)
8. The existing right-of-way and cartway width of Roosevelt Ave. (S.R. 4001) shall be dimensioned on the plans (§22-404.4.24). The variable width right-of-way of Church Rd. (S.R. 0238) near the area of the intersection of Roosevelt Avenue shall be dimensioned on the plans.
9. Identify the locations of wells and septic systems along with the required isolation radius on the subject property (§22-404.4.38). Include the required isolation radius around the existing well location on the adjacent Rentzel parcel.
10. Dimension the proposed Church building. (§22-406.4.46)
11. Dimension the length of the proposed access drives. (§22-406.4.50)
12. All existing traffic control devices (signage) shall be shown on the plans. (§22-404.4.51)
13. Loading spaces shall be dimensioned on the plans. (§22-404.4.52)
14. Islands within the parking area shall be dimensioned on the plans. (§22-404.4.51)
15. Provide a 20' drainage easement along Tributary 08420 to the Little Conewago Creek. (§22-511.1.A.1.a)
16. Provide proof of Soil Erosion and Sedimentation Control plan approval. (§22-407.5.1)
17. Provide proof of Planning Module approval to the Township (§22-407.5.2). The number of EDU's authorized for the site shall be clearly stated on the plans.
18. Stormwater management plan approval shall be received from the Township Engineer prior to final plan approval. A stormwater management review will be provided under a separate cover. (§22.407.5.3)

19. Sanitary sewer reservation fees shall be posted prior to unconditional plan approval. (§22-407.5.4)
20. All comments from the traffic engineer shall be addressed prior to unconditional plan approval. (§22-407.5.7)
21. Sanitary sewer design approval shall be obtained from the Manchester Township Municipal Authority Engineer prior to unconditional plan approval (§22-407.5.10).
22. Construction of concrete curb is required along the entire frontage of Church Rd. (§22-703.2)
23. Provide proof of receipt of a permit for the construction of the 2 proposed access drives from PennDOT. (§22.705.3)
24. Willingness and capacity to serve letters from the water company shall be provided to the Township for the water main extension. (§22-713)
25. Plans for the extension of the water main shall be approved by the utility company's engineer prior to unconditional plan approval. (§22-713.2.A.2.a)
26. A statement of ownership, acknowledgment of the plan, and offer of dedication shall be provided on the coversheet of the plans and the owner's notarized signature shall be added (§22-406.1.2).
27. A Public Improvement Security Estimate shall be submitted for review and approval by the Township Engineer; and the security amount shall be posted prior to unconditional approval and recording of the final plan. (§22-502)
28. The responsible professional's signature block, along with seal and dated signature shall be added to the cover sheet. (§22-406.1.4)
29. The Carbonate Geology Statement shall be executed.
30. The following Manchester Township standard notes shall be added to the plans: 16 and 35.

Traffic Engineer Comments:

1. Trip distribution calculations shall be provided in the appendices of the TIS.

General Comments:

1. A pavement restoration detail shall be added to the plans for Church Road.
2. Guide rail shall be added to the plan legend.
3. Revise the discrepancy on the pipe sizing of sanitary sewer service between the plans and profiles.
4. A detail shall be provided on the plans for the proposed trench plugs along the force main alignment.
5. Curbing should extend around the access drive radii and taper on Church Road.

6. A detail shall be provided for the connection to the existing public manhole that defines the method of connection. Existing flow channels within the manhole shall be verified and included within the detail.
7. The sanitary sewer force main shall be identified as "private" on the plans and notation provided on the plans clarifying required maintenance, operation, replacement of force main within the easement area.
8. A grinder pump application shall be submitted. Submissions shall include a design report.
9. DEP permit(s) authorizing the discharge to existing wetlands and stream crossings shall be provided.
10. PennDOT approvals shall be provided for the proposed access drives.

If you have questions related to the enclosed information or require any clarification, please feel free to contact me at 717-814-4501 or via email CAM@csdavidson.com.

Sincerely,



Cory A. McCoy, P.E.

CAM/AJS/dmg

Copy: File

B. J. Treglia, P.E. Manchester Township, via email: b.treglia@mantwp.com

Tom Englerth, Site Design Concepts, LLC, via email: tenglerth@sitedc.com

Lucas Wilson, Site Design Concepts LLC, via email: lwilson@sitedc.com

Rachel Vega

From: Mark Henise, PE <mlhenise@elagroup.com>
Sent: Wednesday, September 17, 2025 4:09 PM
To: Cory McCoy
Cc: Benedict Treglia; Rachel Vega
Subject: Traffic Comments for Plans Submitted this Month

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Cory. My comments on the following plans are as follows:

LCBC

1. Trip distribution calculations should be provided in the appendices of the TIS.
2. I don't have any comments on the plans.

3490-3510 Board Road

1. The only comments that I have are the issues that I mentioned at the meeting with the residential driveways not meeting the residential driveway requirements in the Zoning Ordinance, and potentially not having PennDOT HOPs, which is also a Zoning Ordinance requirement. Mike mentioned yesterday that he thought they would be considered existing nonconformities. If that is the case, then I have no comments.

Penn Ave. Residential

1. The previous speed limit sign has been partially addressed. Speed limit signs are needed on the southern loop of Erin Lane. Also, as a clarification of the previous comment, speed limit signs are not needed within 200 feet of the intersection on the side of the road entering the intersection, just on the side of the road exiting the intersection.
2. The sightline inset on Sheet C-500 is incorrect, as sightlines do not appear to end on the street. Also the stopbars and STOP signs can be moved closer to the intersection to lessen the area needed for the easements.



MARK HENISE, PE
Director: Transportation Engineering
T: (717) 626-7271
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Disclaimer: This E-mail may contain information that is privileged, proprietary or confidential. If you are not the intended

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN PROPOSED HOUSE OF WORSHIP

FOR

LCBC CHURCH

1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PREPARED FOR:
1400 CHURCH ROAD, LLC
221 WEST PHILADELPHIA STREET, SUITE 19
YORK, PA 17401

UNIFORM PARCEL IDENTIFIER		
PARCEL / LOT NO.	STREET ADDRESS	U.P.I.
LOT 1	1400 CHURCH ROAD	



LOCATION MAP
SCALE: 1" = 2,000'
COPYRIGHT BY: ADC THE MAP PEOPLE (PERMITTED USE NUMBER B4080723)

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN SHEET INDEX	
DRAWING SHEET NO.	DRAWING TITLE
*C-1	TITLE SHEET
*C-2	PROJECT NOTES AND PLAN LEGEND
*C-3	EXISTING SITE CONDITIONS AND DEMOLITION PLAN
*C-4	SITE DEVELOPMENT PLAN
*C-5	SITE LAYOUT PLAN
*C-6	MASTER SITE GRADING PLAN
*C-7	ENLARGED SITE GRADING PLAN
*C-8	ENLARGED SITE GRADING PLAN
*C-9	SITE UTILITY PLAN
*C-10	SITE LANDSCAPE PLAN
C-11	STORM SEWER PROFILES
C-12	STORM AND SANITARY SEWER PROFILES
*C-13	SITE DETAILS
*C-14	SITE DETAILS AND TRUCK TURNING TEMPLATES
C-15	PRIVATE SANITARY SEWER GRINDER PUMP DETAIL
C-16	POST CONSTRUCTION STORMWATER MANAGEMENT NOTES AND DETAILS
C-17	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS - S.I.B. NO. 1
C-18	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS - S.I.B. NO. 2
C-19	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS - S.I.B. NO. 3
C-20	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS - S.I.B. NO. 4

* INDICATES PLAN SHEETS TO BE RECORDED

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF YORK
ON THIS, the 13th DAY OF October, 2025, BEFORE ME,
Heather A. Taylor, the undersigned Notary Public, personally
appeared Adam W. Anderson, being Director of
LCBC CHURCH, to me known or provided being duly
sworn according to law, deposes and says that the CORPORATION is the
OWNER of the PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN
HEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE
THE CORPORATION'S ACT AND PLAN, THAT THE CORPORATION DESIRES THE SAME TO BE
RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC
PROPERTY (INCLUDING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY
DEDICATED TO THE PUBLIC USE.

LCBC CHURCH
2302 MOUNT JAY ROAD
HARRISBURG, PA 17145

CORPORATE OFFICER
Director Adam W. Anderson
TITLE
Director
NOTARY PUBLIC

Commission of Notary Public
Heather A. Taylor, Notary Public
York County
My commission expires April 12, 2028
Commission Number 1418823
Notary, Pennsylvania Association of Notaries

NOTARY STAMP SEAL
Commonwealth of Pennsylvania
County of Lancaster

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF YORK
ON THIS, the 14th DAY OF October, 2025, BEFORE ME,
Heather A. Taylor, the undersigned Notary Public, personally
appeared Adam W. Anderson, being Director of
LCBC CHURCH, to me known or provided being duly
sworn according to law, deposes and says that the CORPORATION is the
OWNER of the PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN
HEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE
THE CORPORATION'S ACT AND PLAN, THAT THE CORPORATION DESIRES THE SAME TO BE
RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC
PROPERTY (INCLUDING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY
DEDICATED TO THE PUBLIC USE.

1400 CHURCH ROAD, LLC
221 WEST PHILADELPHIA STREET, SUITE 19
YORK, PA 17401

CORPORATE OFFICER
Adam W. Anderson
TITLE
Director
NOTARY PUBLIC

Commission of Notary Public
Heather A. Taylor, Notary Public
York County
My commission expires April 12, 2028
Commission Number 1418823
Notary, Pennsylvania Association of Notaries

NOTARY STAMP SEAL
Commonwealth of Pennsylvania
County of Lancaster



NOTE: DESIGN CONCEPTS, INC. HAS MET THE OBLIGATION OF PA ACT 267 OF 1974 (ACT 58 OF 2017) BY PREPARING THIS PLAN. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING SURVEYS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHOULD CONTACT THE PA ONE CALL SYSTEM (1-800-484-1773) PRIOR TO ANY EXCAVATION AND REQUIRED BY PA ACT 267 OF 1974 (ACT 58 OF 2017).

DESIGN SERIAL NUMBER 20200641956 (MANCHESTER TOWNSHIP)

COLUMBIA GAS OF PA
201 WEST WALTON STREET
HARRISBURG, PA 17101
CONTACT: JIMMIE PLEAS
EMAIL: JIMMIE.PLEAS@COLUMBIA.GAS.COM
(717) 225-1481

COMCAST OF SE PA
C/O CENTRAL LOCAL SERVICES GROUP
10000 HANLON CROSSING BLVD, SUITE 200
LAKELAND, FL 33803
CONTACT: JON CAMPBELL
EMAIL: JON.CAMPBELL@COMCAST.COM
(800) 534-8484

VIRGINIA COMMUNICATIONS INC.
800 ROUTE 28 WEST SUITE C
CHERRY HILL, NJ 08032
CONTACT: EDUARDO CARROLL
(800) 484-2817

FURST ENERGY CORP.
78 SOUTH MAIN STREET
YORK, PA 17401
CONTACT: OFFICE PERSONNEL
(717) 231-4400

TEXAS EASTERN TRANSMISSION CORPORATION
300 POTTSVILLE PKWY
P.O. BOX 420
YOUNGSTOWN, PA 15795-0420
CONTACT: WILLIAM L. DUNN II
(812) 458-1700

VERIZON NORTH
2401 WEST BRADDOCK BOULEVARD
EVE, PA 15658
CONTACT: MICHAEL A. BEARY
EMAIL: MICHAEL.BEARY@VERIZON.COM
(800) 432-2102

AMERIGAS PROPANE, LP
822 YORK ROAD
DALLAS, TX 75201
CONTACT: JON CAMPBELL
EMAIL: JON.CAMPBELL@AMERIGAS.COM
(972) 452-1025

CTSI LLC
100 CTE DRIVE
SALINA, PA 18812
CONTACT: DAVID MORRIS
(800) 431-2700

MANCHESTER TOWNSHIP YORK CO.
38 NORTH DUKE STREET
YORK, PA 17401
CONTACT: EDWARD C. RUSH
(717) 466-1600

YORK WATER COMPANY
130 EAST MARKET STREET
YORK, PA 17402-3089
CONTACT: WILLIAM L. DUNN II
(717) 458-1700

MANCHESTER TOWNSHIP
3200 FARMTRAIL ROAD
YORK, PA 17401
(717) 764-1040

RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE OFFICE FOR RECORDS OF DEEDS, IN AND FOR YORK COUNTY, PENNSYLVANIA, IN LAND RECORD BOOK _____, PAGE _____, ON THIS _____ DAY OF _____, 20____.

YORK COUNTY PLANNING COMMISSION

THE YORK COUNTY PLANNING COMMISSION, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247 OF 1968, AS AMENDED, RECEIVED THIS PLAN ON _____, 20____, AND A COPY OF THE REVIEW IS ON FILE AT THE OFFICE OF THE PLANNING COMMISSION IN YORK COUNTY. THE CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL OF THE PLAN BY THE YORK COUNTY PLANNING COMMISSION, AND THE COMMISSION DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH OF PENNSYLVANIA, OR THE FEDERAL GOVERNMENT.

DIRECTOR, YORK COUNTY PLANNING COMMISSION DATE

MANCHESTER TOWNSHIP BOARD OF SUPERVISORS FINAL PLAN APPROVAL

AT A MEETING HELD ON _____, 20____, THE MANCHESTER TOWNSHIP BOARD OF SUPERVISORS APPROVED THIS PLAN.

MANCHESTER TOWNSHIP PLANNING COMMISSION REVIEW

AT A MEETING HELD ON _____, 20____, THE MANCHESTER TOWNSHIP PLANNING COMMISSION REVIEWED THIS PLAN.

MANCHESTER TOWNSHIP ENGINEER REVIEW

RECOMMENDED FOR APPROVAL BY THE MANCHESTER TOWNSHIP ENGINEER.

TOWNSHIP ENGINEER DATE

STORMWATER MANAGEMENT SITE PLAN APPROVAL

ON THIS DATE _____, 20____, THE STORMWATER MANAGEMENT SITE PLAN(S) MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE MANCHESTER TOWNSHIP ORDINANCE NO. 2012-05.

ENGINEER

I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE PROPOSED LAND DEVELOPMENT PLANS SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MANCHESTER TOWNSHIP ORDINANCE NO. 2012-05 AND LAND DEVELOPMENT ORDINANCE. THE PROPOSED STORMWATER MANAGEMENT PLANS SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. COPYRIGHT BY AND FOR: _____

ADAM W. ANDERSON, P.E.
REGISTRATION NO. PE 07818-E
(AGENT FOR SITE DESIGN CONCEPTS, INC.)
DATE SEAL

LAND SURVEYOR

I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. COPYRIGHT BY AND FOR: _____

THOMAS E. ENGLISH, S. J.S.
REGISTRATION NO. 26 00684
(AGENT FOR SITE DESIGN CONCEPTS, INC.)
DATE SEAL

WAIVER REQUESTS

THE FOLLOWING WAIVERS FROM THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE HAVE BEEN REQUESTED AND ACTED UPON BY THE BOARD OF SUPERVISORS AT A MEETING HELD ON _____:

A) SECTION 22-303.2, WHICH REQUIRES THE SUBMISSION OF A PRELIMINARY PLAN PRIOR TO A FINAL PLAN.

JUSTIFICATION: WAIVER IS REQUESTED TO PERMIT THE SUBMISSION OF A PRELIMINARY/FINAL PLAN DUE TO THE SIMPLICITY OF THE PROJECT AND LACK OF PROPOSED PUBLIC IMPROVEMENTS.

B) SECTION 22-306, WHICH REQUIRES SIDEWALKS TO BE CONSTRUCTED IN ALL AREAS OF THE TOWNSHIP.

JUSTIFICATION: WAIVER IS REQUESTED TO NOT REQUIRE THE INSTALLATION OF SIDEWALKS ALONG CHURCH ROAD. THERE ARE NO SIDEWALKS ALONG CHURCH ROAD WITHIN THE VICINITY OF THE PROJECT. THE SURROUNDING PROPERTIES AND THE PROPOSED PROJECT ARE NOT CONDUIVE FOR PEDESTRIAN TRAFFIC.

C) SECTION 22-303.2, WHICH REQUIRES CURBS TO BE CONSTRUCTED IN ALL AREAS OF THE TOWNSHIP.

JUSTIFICATION: WAIVER IS REQUESTED TO NOT REQUIRE THE INSTALLATION OF CURBS ALONG CHURCH ROAD. THERE IS NO CURB ALONG CHURCH ROAD WITHIN THE VICINITY OF THE PROJECT.

D) SECTION 22-306.4, WHICH REQUIRES PARKING TO BE OUTSIDE THE ACCESS DRIVE CLEAR SIGHT TRIANGLE.

JUSTIFICATION: WAIVER IS REQUESTED TO ALLOW PARKING IN THE CLEAR SIGHT TRIANGLE DUE TO THE LIMITED SITE AREA.

THE FOLLOWING WAIVERS FROM THE MANCHESTER TOWNSHIP STORMWATER MANAGEMENT ORDINANCE HAVE BEEN REQUESTED AND ACTED UPON BY THE BOARD OF SUPERVISORS AT A MEETING HELD ON _____:

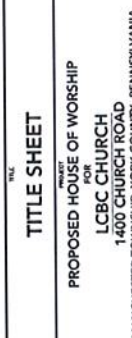
A) SECTION 25-131K, WHICH REQUIRES STORMWATER MANAGEMENT FACILITIES TO BE CONSTRUCTED OUTSIDE THE BUILDING SETBACKS.

JUSTIFICATION: WAIVER IS REQUESTED TO PERMIT THE CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES DUE TO THE LIMITED SITE AREA.

CARBONATE GEOLOGY STATEMENT

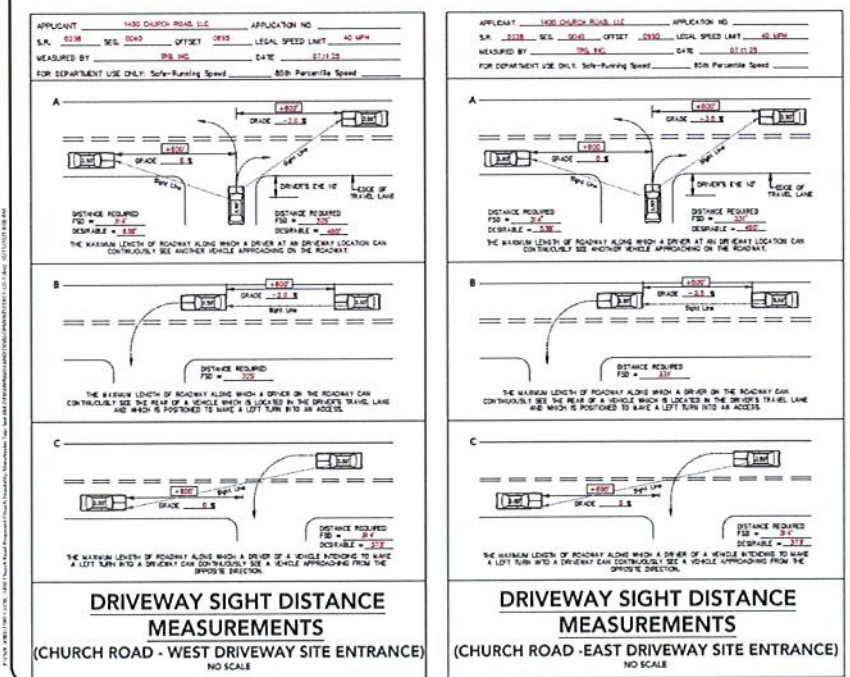
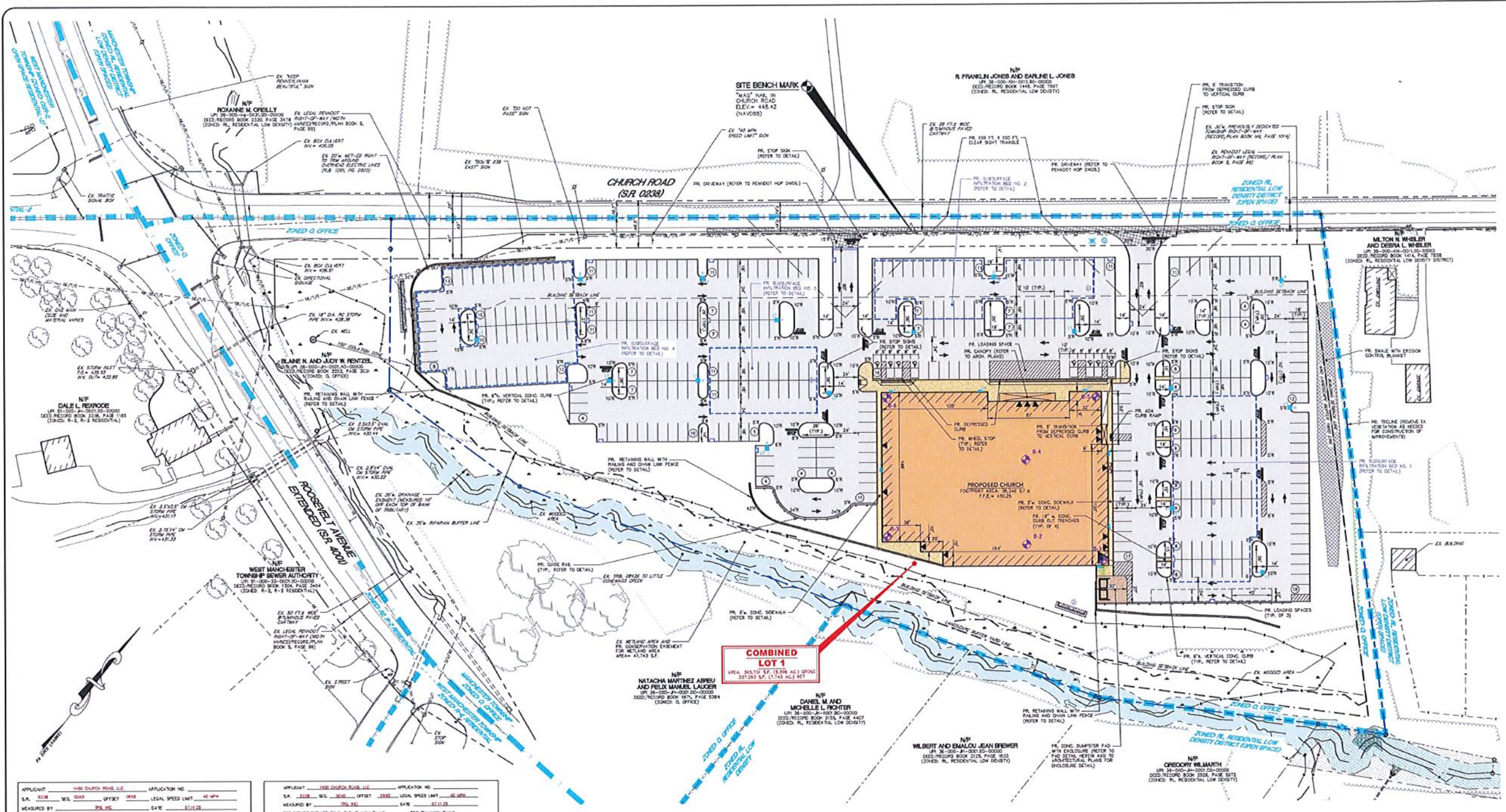
I, ADAM W. ANDERSON, CERTIFY THAT THE STORMWATER MANAGEMENT FACILITIES ARE NOT UNDERLAIN BY CARBONATE GEOLOGY.

ADAM W. ANDERSON, P.E.
REGISTRATION NO. PE 07818-E
(AGENT FOR SITE DESIGN CONCEPTS, INC.)
DATE SEAL

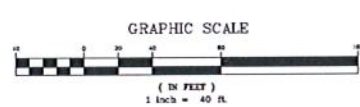


SCALE		AS NOTED
DRAWN BY	LM	
CHECKED BY	TBE	
DESIGNED BY	TBE	
DATE	09.03.25	
FILE NAME	1590.1-LD-1	
AS NO.	1590.1	
SHEET NO.	C-1	1
SHT. 1 OF 20		

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COMBINED LOT 1
AREA: 35,370 S.F. (8.09 AC.) GROSS
337,263 S.F. (7.743 AC.) NET



- PLAN LEGEND** (REFER TO SHEET C-3 FOR FULL LEGEND)
- EXISTING PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - EXISTING RIGHT-OF-WAY LINE
 - PROPOSED RIGHT-OF-WAY LINE
 - EXISTING EASEMENT LINE
 - EXISTING SETBACK LINE
 - EXISTING DISTRICT BOUNDARY LINE
 - PROPOSED SIGN
 - EXISTING LIGHT STANDARD
 - PROPOSED LIGHT STANDARD
 - EXISTING FIRE HYDRANT
 - PROPOSED CONCRETE MONUMENT
 - EXISTING UTILITY POLE
 - EXISTING UTILITY POLE
 - EXISTING ANCHOR
 - EXISTING SANITARY SEWER MANHOLE
 - PROPOSED SANITARY SEWER MANHOLE
 - SURVEY/STAKE MARK

- HATCH LEGEND**
- EXISTING BUILDING
 - EXISTING CONCRETE
 - EXISTING METAL AREA
 - EXISTING DRIVEWAY
 - PROPOSED BUILDING
 - PROPOSED LINE STRIPES
 - PROPOSED CONCRETE
 - PROPOSED STRUCTURAL CONCRETE
 - PROPOSED BITUMINOUS PAVEMENT
 - EXISTING SANITARY SEWER EASEMENT
 - EXISTING DRAINAGE EASEMENT
 - PROPOSED EROSION CONTROL BLANKET ON ALL SLOPES 5:1 OR GREATER, RETAINING WALLS, SLOPES, AND ANY DISTURBED AREAS WITHIN 50 FT. OF SURFACE WATER OR WETLANDS (REFER TO DETAILS)

- SOIL TEST LEGEND**
- B-1 PROPOSED SOIL BORING LOCATION
 - I-1 PROPOSED INFILTRATION TEST LOCATION

PROPOSED IMPERVIOUS LOT COVERAGE:
BUILDING: 38,340 S.F.
PAVING/PARKING: 157,541 S.F.

EXISTING UTILITY NOTE:
SITE CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS, DEPTHS AND CROSSINGS WITH PROPOSED UTILITIES AND OTHER SITE IMPROVEMENTS PRIOR TO INSTALLATION. THE SITE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON DISCOVERY OF ANY CONFLICTS.

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09.03.25
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REVISED PER TOWNSHIP COMMENTS

NO.	DATE	REVISIONS
1	10.03.25	REVISED PER TOWNSHIP COMMENTS

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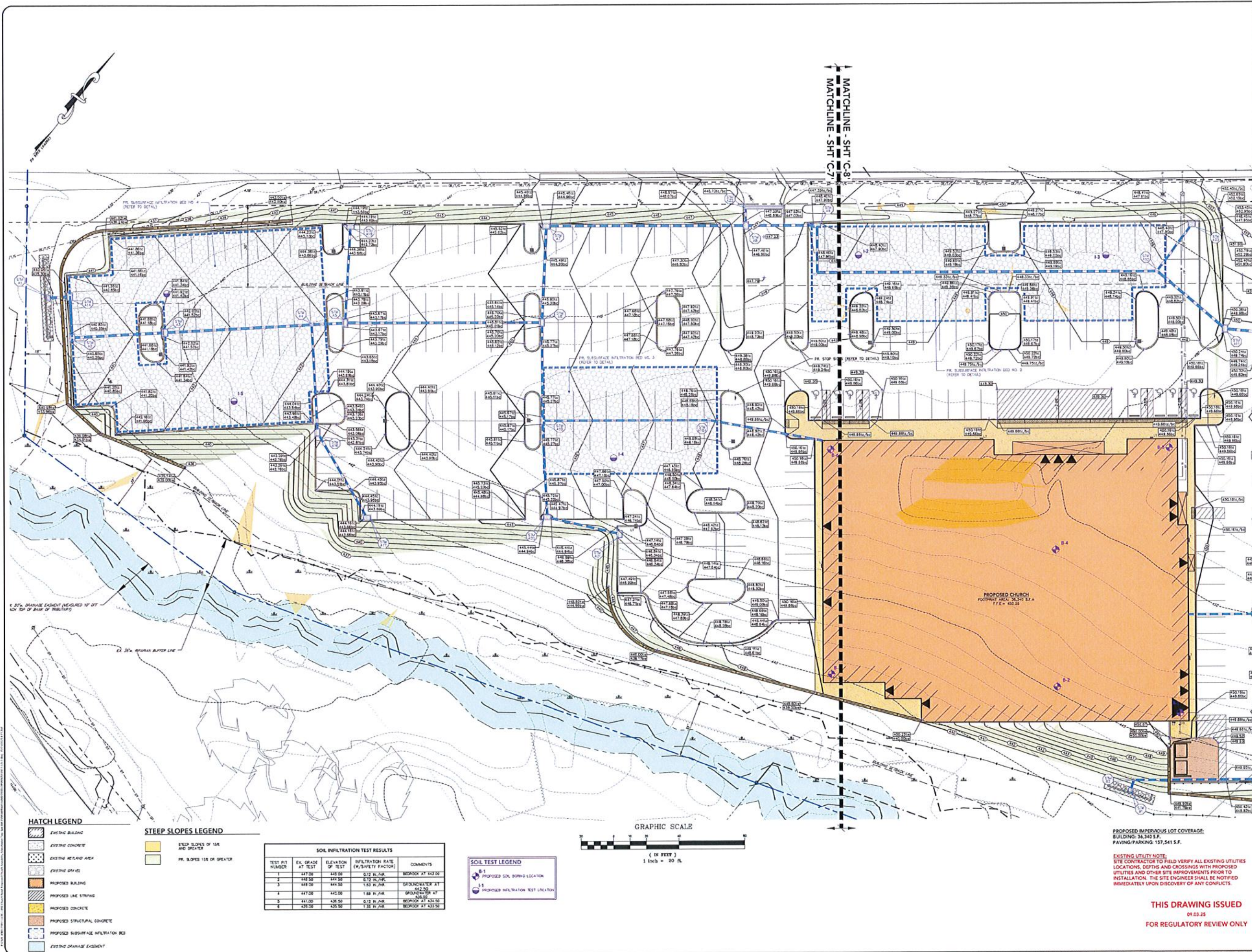
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SITE LAYOUT PLAN

PROPOSED HOUSE OF WORSHIP
FOR
LCBC CHURCH
1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE: AS NOTED

DRAWN BY:	LUN
CHECKED BY:	TBE
DATE:	09.03.25
FILE NAME:	1590.1-LD-1
ASR NO:	1590.1
SHEET NO:	C-5
SHT. 5 OF 20	1

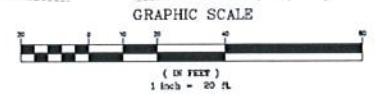


- HATCH LEGEND**
- EXISTING BUILDING
 - EXISTING CONCRETE
 - EXISTING RETAINMENT AREA
 - EXISTING GRAVEL
 - PROPOSED BUILDING
 - PROPOSED LINE STRIPING
 - PROPOSED CONCRETE
 - PROPOSED STRUCTURAL CONCRETE
 - PROPOSED SUBSURFACE INFILTRATION BED
 - EXISTING DRAINAGE EXISTENT

- STEEP SLOPES LEGEND**
- STEEP SLOPES OF 15% AND GREATER
 - PR. SLOPES 15% OR GREATER

SOIL INFILTRATION TEST RESULTS				
TEST PIT NUMBER	EX. GRADE AT TEST	ELEVATION OF TEST	INFILTRATION RATE (IN/SAFETY FACTOR)	COMMENTS
1	447.50	445.00	0.12 IN/IN	BEFORE AT 443.50
2	448.50	447.50	0.12 IN/IN	BEFORE AT 445.50
3	449.00	448.00	1.53 IN/IN	BEFORE AT 446.00
4	447.00	445.00	1.88 IN/IN	BEFORE AT 443.00
5	441.00	438.50	0.13 IN/IN	BEFORE AT 436.50
6	439.00	435.50	1.35 IN/IN	BEFORE AT 433.50

- SOIL TEST LEGEND**
- PROPOSED SOIL BORING LOCATION
 - PROPOSED INFILTRATION TEST LOCATION



PROPOSED IMPERVIOUS LOT COVERAGE:
BUILDING: 36,340 S.F.
PAVING/PARKING: 157,541 S.F.

EXISTING UTILITY NOTE:
SITE CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS, DEPTHS AND CROSSINGS WITH PROPOSED UTILITIES AND OTHER SITE IMPROVEMENTS PRIOR TO INSTALLATION. THE SITE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON DISCOVERY OF ANY CONFLICTS.

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REVISED P&T TOWNSHIP COMMENTS

DATE: 10/15/25

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ENLARGED SITE GRADING PLAN

PROPOSED HOUSE OF WORSHIP
FOR
LCBC CHURCH
1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE: AS NOTED

DRAWN BY: LJM

CHECKED BY: TBE

DATE: 09.03.25

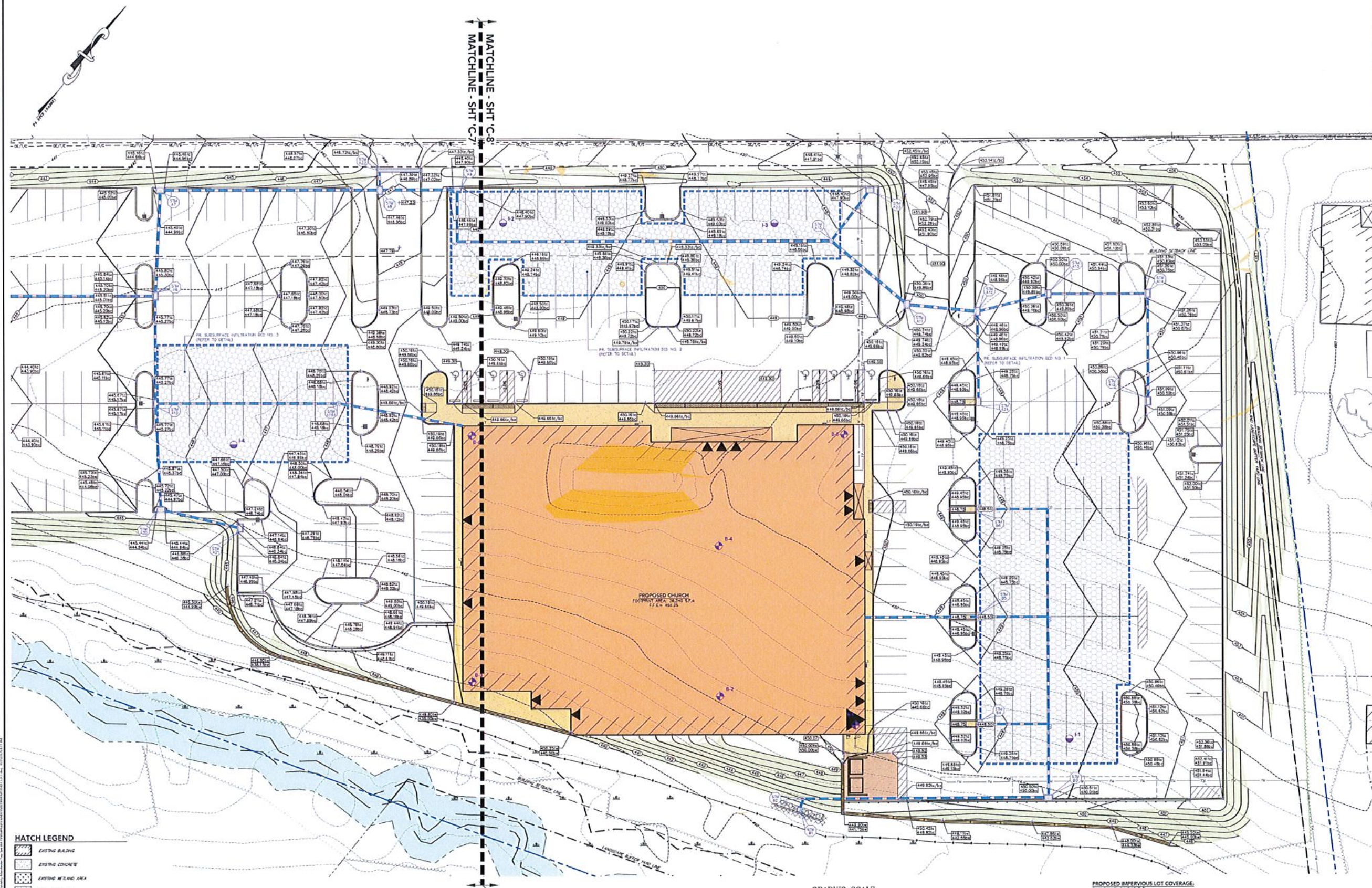
FILE NAME: 1590.1-LD-1

JOB NO: 1590.1

SHEET NO: C-7

SHT. 7 OF 20

REV: 1



HATCH LEGEND

[Pattern]	EXISTING BUILDING
[Pattern]	EXISTING CONCRETE
[Pattern]	EXISTING RETAINMENT AREA
[Pattern]	EXISTING DRIVE
[Pattern]	PROPOSED BUILDING
[Pattern]	PROPOSED LINE STOPPING
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED STRUCTURAL CONCRETE
[Pattern]	PROPOSED SUBSURFACE INFILTRATION BED
[Pattern]	EXISTING DRAINAGE EASEMENT

STEEP SLOPES LEGEND

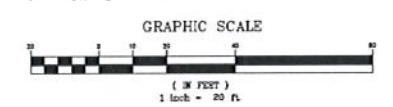
[Yellow]	STEEP SLOPES OF 15% AND GREATER
[Green]	PR. SLOPES 15% OR GREATER

SOIL INFILTRATION TEST RESULTS

TEST HOLE NUMBER	EX. GRADE AT TEST	ELEVATION OF TEST	INFILTRATION RATE (IN/SAFETY FACTOR)	COMMENTS
1	447.50	445.50	0.12 IN/HR	BEDROCK AT 443.00
2	448.50	446.50	0.15 IN/HR	GROUNDWATER AT 445.50
3	448.00	446.00	1.50 IN/HR	GROUNDWATER AT 445.50
4	447.50	445.50	1.80 IN/HR	GROUNDWATER AT 445.50
5	447.50	445.50	0.12 IN/HR	BEDROCK AT 443.00
6	449.00	446.50	1.30 IN/HR	BEDROCK AT 443.50

SOIL TEST LEGEND

[Symbol]	PROPOSED SOIL BORING LOCATION
[Symbol]	PROPOSED INFILTRATION TEST LOCATION



PROPOSED IMPERVIOUS LOT COVERAGE:
BUILDING: 36,340 S.F.
PAVING/PARKING: 157,541 S.F.

EXISTING UTILITY NOTE:
SITE CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS, DEPTHS AND COVERINGS WITH PROPOSED UTILITIES AND OTHER SITE IMPROVEMENTS PRIOR TO INSTALLATION. THE SITE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON DISCOVERY OF ANY CONFLICTS.

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ENLARGED SITE GRADING PLAN

PROPOSED HOUSE OF WORSHIP
FOR
LCBC CHURCH
1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE: AS NOTED

DRAWN BY: LJR

CHECKED BY: TBE

CONTACT: TBE

DATE: 09.03.25

FILE NAME: 1590.1-LD-1

JOB NO: 1590.1

SHEET NO: C-8

SHT. 8 OF 20

REV: 1

NO.	DATE	REVISIONS	COMMENTS
1	10.13.25	REVISED PER TOWNSHIP COMMENTS	



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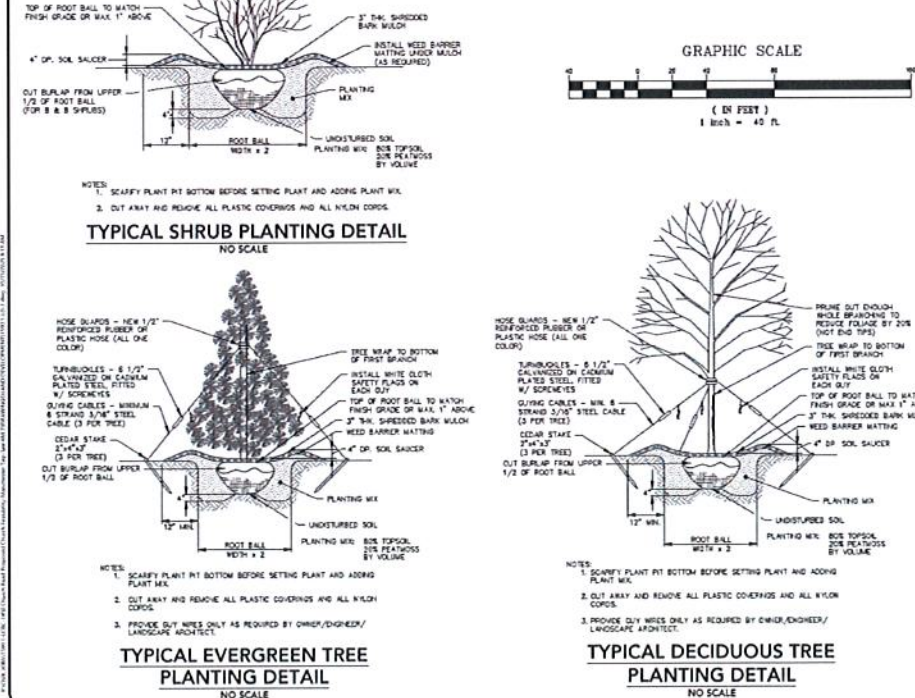
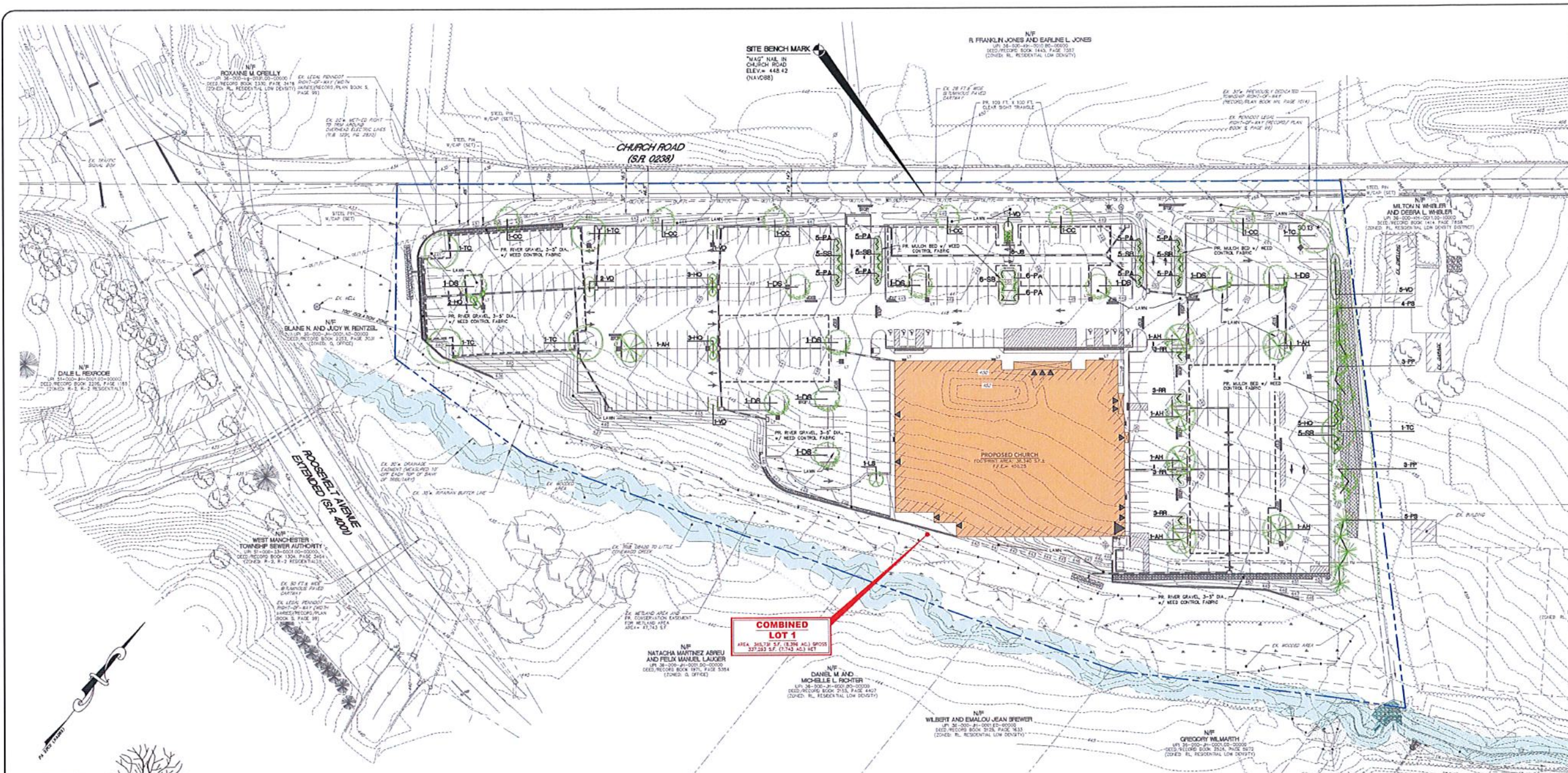
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SITE LANDSCAPE PLAN

PROPOSED HOUSE OF WORSHIP
FOR
LCBC CHURCH
1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE	AS NOTED
DRAWN BY	L.W.
CHECKED BY	TBE
CONTACT	TBE
DATE	09.03.25
FILE NAME	1590.1-LD-1
JOB NO.	1590.1
SHEET NO.	C-10
SHT. 10 OF 20	1



LANDSCAPING NOTES

1. LANDSCAPING PLAN SHALL INCLUDE FURNISHING AND INSTALLING MULCHED BEDS AND PLANT MATERIALS SHOWN ON THE LANDSCAPING SCHEDULE AND COMPLYING WITH THE LANDSCAPING NOTES AND PLANTING DETAILS.
2. PLANT MATERIAL SHALL COMPLY WITH ANSI 260.1-1990. PLANT SIZES AND CONTAINER SIZES SHOWN ARE MINIMUM.
3. CONTRACTOR SHALL LABEL AT LEAST ONE (1) PLANT OF EACH VARIETY WITH A SECURED, ATTACHED TAG BEARING THE LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME TO HELP CORRELATE PLANT TYPE.
4. SUBSTITUTIONS, ADDITIONS, AND DELETIONS ARE PERMISSIBLE UPON APPROVAL FROM OWNER/ENGINEER/ LANDSCAPE ARCHITECT AND MANORIALTY (WHERE REQUIRED).
5. LANDSCAPING CONTRACTOR TO WARRANT LANDSCAPE PLANTS FOR A ONE (1) YEAR PERIOD FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PLANT MATERIAL INSTALLATION. SUBSTANTIAL COMPLETION DATE SHALL BE DETERMINED BY THE OWNER. CONTRACTOR TO WARRANT ALL PLANTS AGAINST DEFECTS INCLUDING DEATH AND UNDESIRABLE GROWTH AS DETERMINED BY THE OWNER OR OWNER'S AGENT. CONTRACTOR TO REMOVE AND REPLACE DEAD PLANTS WITHIN THIRTY (30) DAYS OF DISCOVERY. UNLESS REQUIRED TO PLANT IN THE FOLLOWING PLANTING SEASON.
6. MULCH IS TO BE SHREDDED BARK. MULCH BED THICKNESS SHALL BE (TWO) 2 INCHES MINIMUM AFTER LIGHT TAMPING, EXCEPT THAT MULCH DEPTH AT ANNUAL FLOWERS SHALL BE 1-1/2". PLACE MULCH BED OVER NEED BARRIER MAT OR EQUAL, UNLESS NOTED OTHERWISE.
7. NEED BARRIER MAT SHALL BE ENCLOSED FROM AREA AROUND ANNUAL FLOWERS OR AS NOTED.
8. SOIL PREPARATION FOR ANNUALS ONLY: TILL THOROUGHLY. ADD ONE (ONE) INCH (2") DEPTH OF "SLOTTED-T" (OR APPROXIMATELY EQUAL) SOIL CONDITIONER AND INCORPORATE INTO TOP 4" OF SOIL. USE TOPSOIL SURFACE AFTER PLANTING WITH CHOROPHOS 14-14-14 SLURRY RELEASE FERTILIZER AT 8 LB/1000 SF OF FLOWER AREA. PLANT FLOWERS AT PROPER DEPTH.
9. ALL LANDSCAPE PLANTING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ACCEPTED PRACTICES AS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANTING AND MAINTENANCE OF VEGETATION SHALL INCLUDE, BUT NOT BE LIMITED TO, PROVISIONS FOR SURFACE MULCH, OUTLINES AND STAKES, IRRIGATION, INSECT AND DISEASE CONTROL, PRUNING, MAINTENANCE, WEEDING, AND WEEDING.
10. FORESTED AREAS ALONG THE WESTERN PROPERTY LINE OF THE SITE SHALL BE MAINTAINED AND USED AS A SUPPLEMENTAL BUFFER YARD TO THE PLANTINGS SHOWN HEREON.

PERMANENT SEEDING AND MULCHING SPECIFICATIONS AND NOTES

- PERMANENT GRASS OR LEISURE COVER
- A. ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED SHALL BE COVERED WITH GRASS OR A LEISURE IN ORDER TO MINIMIZE EROSION, UNLESS OTHERWISE DIRECTED BY THE OWNER.
 - B. MULCHING SHALL BE USED TO PROTECT SEEDING AND TO REDUCE RUNOFF. STRAW MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 3 TONS/ACRE.
 - C. THE BERM PERMANENT SEEDING MIXTURES ARE FROM THE PENN. STATE AGRICULTURE GUIDE. THE SEED MIXTURES SHALL CONSIST OF:

SEED TYPE	SEED RATE	SEEDING DATES
LAKE MIX (USED THROUGHOUT SITE)	4 LBS./1000 S.F.	MARCH 15 TO JUNE 1
KY. BLUEGRASS	1 LB./1000 S.F.	AUGUST 1 TO OCTOBER 15
CRISP RED FESCUE	1 LB./1000 S.F.	
PERENNIAL RYEGRASS	1 LB./1000 S.F.	
 - D. IN THE ABSENCE OF SOIL TEST RESULTS, FERTILIZER OF 10-20-20 AT AN APPLICATION RATE OF 1000 LB./ACRE SHALL BE APPLIED WITH THE PERMANENT SEEDING.
 - E. IN THE ABSENCE OF SOIL TEST RESULTS, LIME AT AN APPLICATION RATE OF 4 TONS/ACRE OF AGRICULTURAL GRADE LIME SHALL BE APPLIED WITH THE PERMANENT SEEDING.
 - F. STRAW AND HAY MULCH SHOULD BE APPLIED IMMEDIATELY AFTER APPLICATION TO PREVENT BERM EROSION. A TRACTOR-DRIVEN IMPLEMENT MAY BE USED TO COMB THE STRAW OR HAY INTO THE SOIL. THIS METHOD IS LIMITED TO SLOPES NO STEEPER THAN 3:1. NO MACHINERY SHOULD BE OPERATED ON THE CONTOUR. (NOTE: GROUPING OF HAY OR STRAW BY PILING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED. A WOOD CULVERTOR FILLER MAY BE SPREAD OVER THE STRAW MULCH AT A RATE OF 1000 LB./ACRE.

HATCH LEGEND

- EXISTING BUILDING
- EXISTING CONCRETE
- EXISTING RETAINING AREA
- EXISTING GRAVEL
- PROPOSED BUILDING
- PROPOSED LINE STRIPING
- EXISTING SANITARY SEWER EXISTENT
- EXISTING DRAINAGE EXISTENT
- PR. EROSION CONTROL BLANKET ON ALL SLOPES 3:1 OR GREATER, BERM, BRACKLE, SLOPES, AND ANY DISTURBED AREAS WITHIN 50 FT. OF SURFACE WATERS OR WETLANDS (VECTOR TO DETAILS)

LEGEND:

- EXISTING TREES AND SHRUBS
- THICK, PROPOSED TREES AND SHRUB PLANTINGS
- PROPOSED TREE AND SHRUB (SEE QUANTITY LIST)
- EXISTING EDGE OF TREE LINE/ TREE WATERS/ WETLAND

KEY	QTY.	BOTANICAL NAME (X) NATIVE	COMMON NAME	SIZE	SPACING	COND./HGT./WIDTH
DECIDUOUS TREES						
01	7	CARPANUS CAROLINIANUS (N)	AMERICAN HORSEBARK	2" CAL.	8' x 8'	8' x 8' / 30' / 30'
02	8	QUERCUS CUNEIFOLIA (N)	EASTERN REDBARK	2" CAL.	8' x 8'	8' x 8' / 30' / 30'
03	9	AMELANCHIER ALABORICA (N)	DOUGLASS SERVICEBERRY	1.5" CAL.	8' x 8'	8' x 8' / 30' / 30'
04	1	LAGERSTROMIA INDICA 'CATALINA'	CATALINA CREPE MYRTLE	6-8' HGT.	8' x 8'	8' x 8' / 30' / 30'
05	8	TRILIARIA CORNATA	WINTERGREEN	2" CAL.	8' x 8'	8' x 8' / 30' / 30'
EVERGREEN TREES						
06	6	PRUNUS PENSILVANICA	DOUGLASS SPRUCE	8" HGT.	20' x 20'	8' x 8' / 40' / 40'
07	6	PRUNUS PENSILVANICA	EASTERN WHITE PINE	8" HGT.	20' x 20'	8' x 8' / 40' / 40'
SHRUBS						
08	13	HYDRANGEA QUERCIFOLIA	DOUGLASS HYDRANGEA	48" HGT.	8' x 8'	8' x 8' / 8' / 8'
09	18	AMORPHOSA X PTERODRUMMA ALBA INTRICATA	WILD GUSTARD JASMINE	24" HGT.	4' x 4'	8' x 8' / 8' / 8'
10	12	ROSA 'WALBRIDGE' HYBRID	WALBRIDGE SHRUB ROSE	24" HGT.	8' x 8'	8' x 8' / 8' / 8'
11	31	SPIREA X BUNALISA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	24" HGT.	8' x 8'	8' x 8' / 8' / 8'
12	5	VERBENA DENTATA	VERBENA	24" HGT.	8' x 8'	8' x 8' / 8' / 8'
BRASSICAS						
13	52	BRASSICA ALBOPEPERIS	FOUNTAIN BRASS	10" x 10"	4' x 4'	8' x 8' / 8' / 8'

NOTE: 1. REFER TO THE LANDSCAPING NOTES, THIS SHEET, FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

LANDSCAPE REQUIREMENTS:

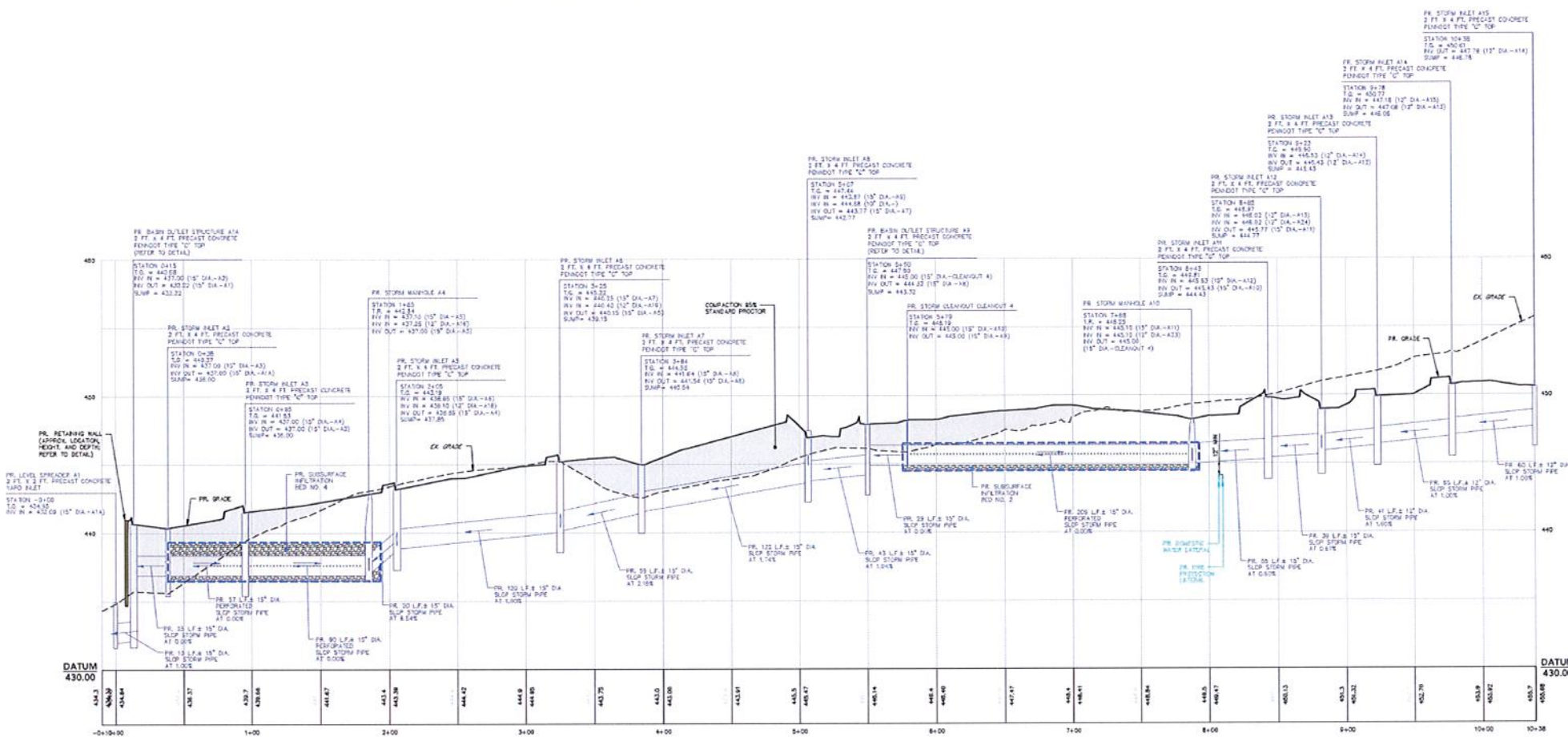
1. PARKING AREAS 1/2 ACRE OR MORE SHALL HAVE A MINIMUM 5% INTERIOR PARKING AREA LANDSCAPING.

PROPOSED PARKING AREA = 115,455 S.F. (2.7 ACRES) x 5% = 5,823 S.F. MIN. REQUIRED INTERIOR LANDSCAPING AREA 5.5% INTERIOR LANDSCAPE AREA PROPOSED

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PROPOSED IMPERVIOUS LOT COVERAGE:
BUILDING: 38,340 S.F.
PAVING/PARKING: 157,541 S.F.

EXISTING UTILITY NOTE:
SITE CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS, DEPTHS AND CROSSINGS WITH PROPOSED UTILITIES AND OTHER SITE IMPROVEMENTS PRIOR TO INSTALLATION. THE SITE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON DISCOVERY OF ANY CONFLICTS.



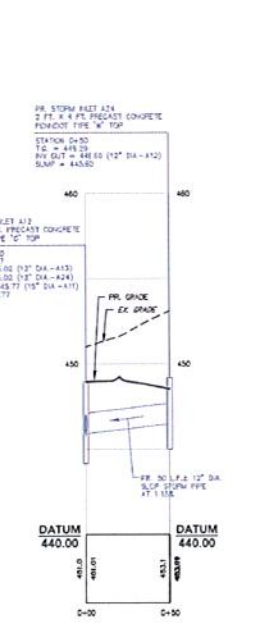
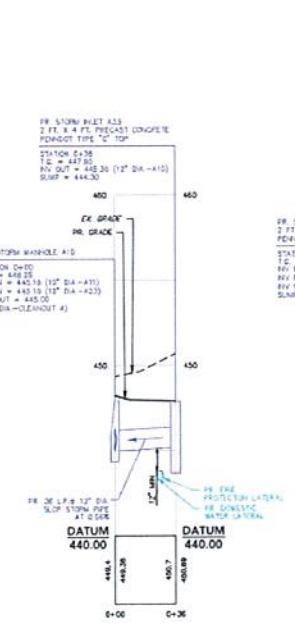
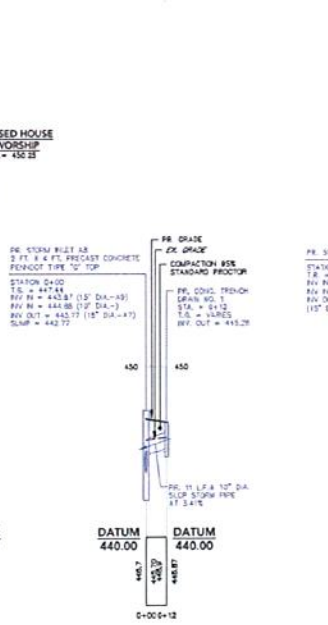
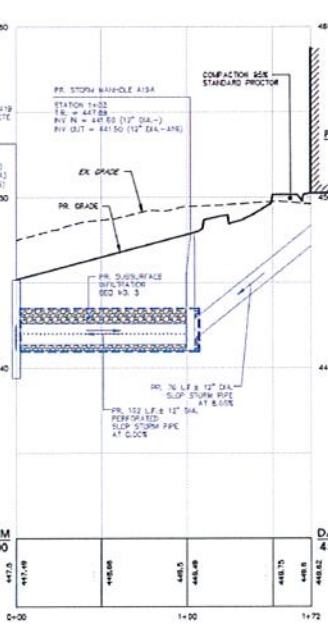
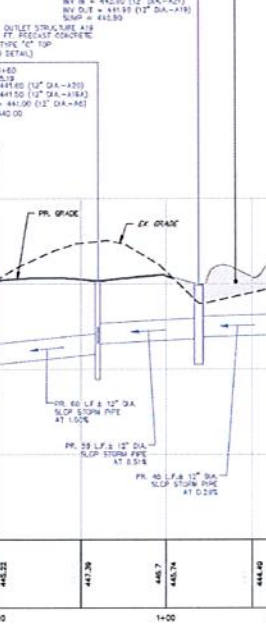
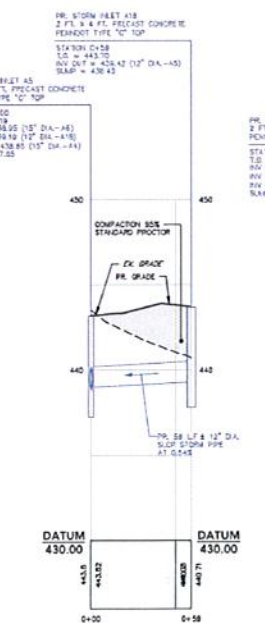
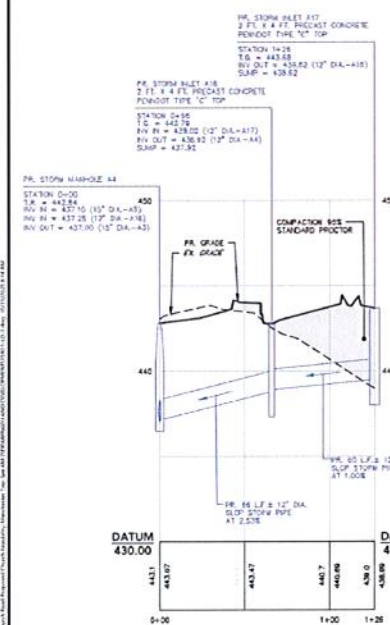
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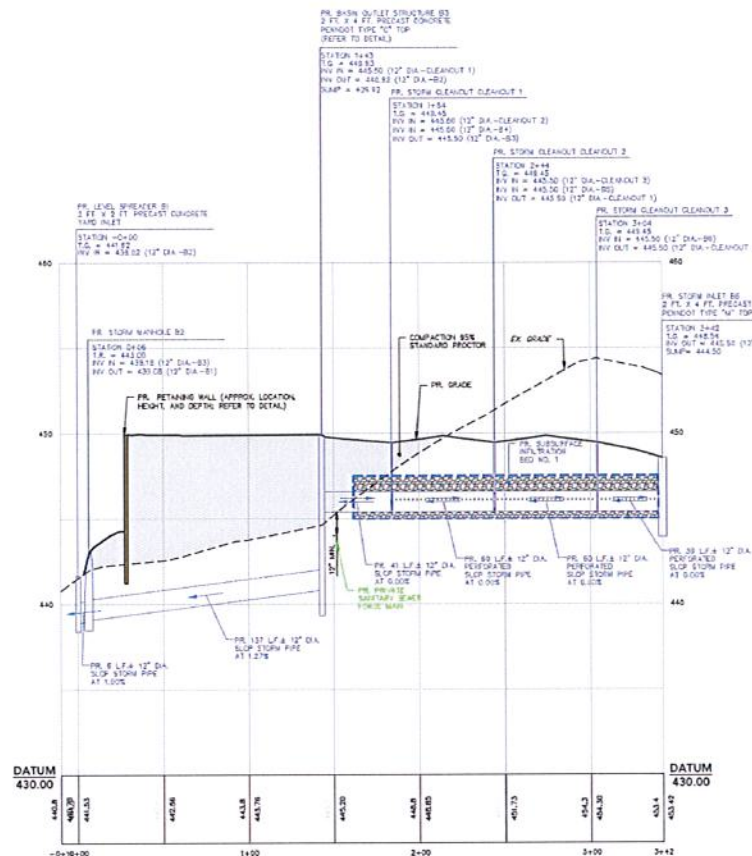


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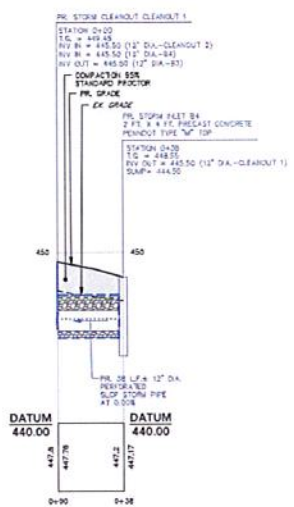
THE
STORM SEWER PROFILES
FOR
**PROPOSED HOUSE OF WORSHIP
FOR
LCBC CHURCH
1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA**

SCALE	AS NOTED
DRAWN BY	LJM
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DATE	09.03.25
FILE NAME	1590.1-LD-1
JOB NO.	1590.1
SHEET NO.	C-11
SHT. 11 OF 20	1

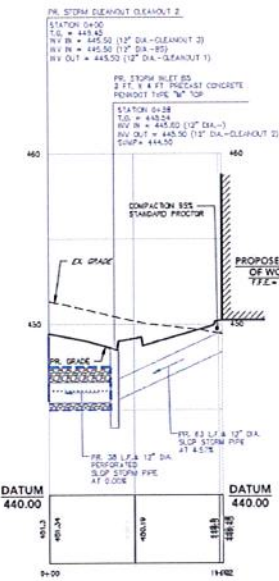




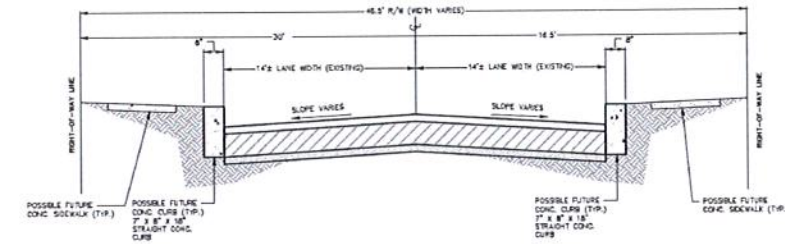
**PR. STORM SEWER PROFILE
LEVEL SPREADER B1 TO INLET B6**
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'



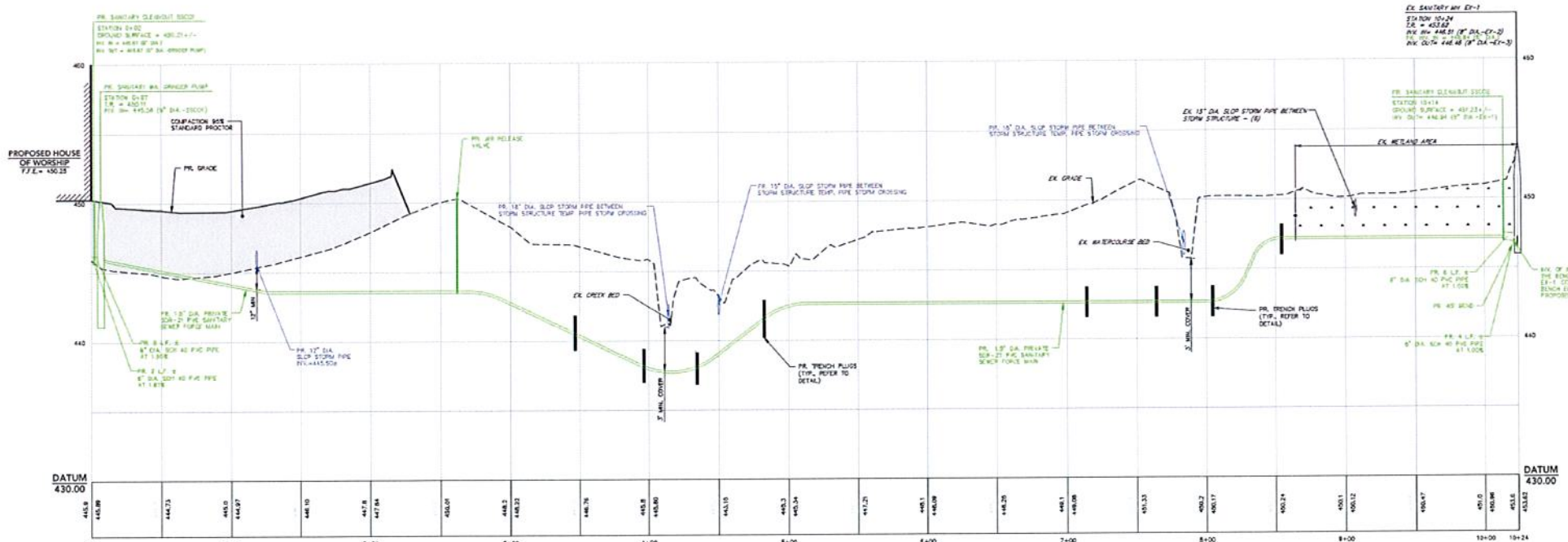
**PR. STORM SEWER PROFILE
CLEANOUT 1 TO INLET B4**
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'



**PR. STORM SEWER PROFILE
CLEANOUT 2 TO BLDG**
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'



**TYPICAL CHURCH ROAD (S.R. 0238)
CROSS SECTION**
NO SCALE



**PR. SANITARY SEWER PROFILE
SANITARY SEWER FORCE MAIN**
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'

NO.	DATE	REVISIONS	COMMENTS
1	10.15.25	REVISED FOR TOWNSHIP COMMENTS	



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STORM AND SANITARY SEWER PROFILES
FOR
PROPOSED HOUSE OF WORSHIP
FOR
LCBC CHURCH
1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE	AS NOTED
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SHEET NO.	1590.1
REV	1

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FOR REGULATORY REVIEW ONLY**

FIRE TRUCK TURNING TEMPLATE

INSTALLATION OF 3" AND LARGER METERED SERVICE LINE, FIRE
BACKFLOW PREVENTION ASSEMBLIES (RADIO FREQUENCY READER)
YORK WATER COMPANY
TYPICAL METER PIT DETAIL
NO SCALE

NOTES:
1. ALL VERTICAL THRUST BLOCKS MUST BE APPROVED BY THE ENGINEER.
2. ALL THRUST BLOCKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WATER SUPPLIERS REQUIREMENTS AND SPECIFICATIONS, AS APPLICABLE.

TYPICAL WATER MAIN - UTILITY CROSSING

1. INSTALL SANITARY SEWER CLEANOUTS IN ACCORDANCE WITH ALL APPLICABLE REGULATORY AGENCY/MUNICIPALITY/AUTHORITY CONSTRUCTION SPECIFICATIONS.

TYPICAL EXTERIOR SANITARY SEWER CLEANOUT DETAIL

3. PROVIDE AND INSTALL FIRE HYDRANT AND VALVE IN ACCORDANCE WITH ALL APPLICABLE POSSUM VALLEY MUNICIPAL AUTHORITY REQUIREMENTS.

TYPICAL FIRE HYDRANT
NO SCALE

Manchester Township Fire Truck	
Overall Length	39.510ft
Overall Width	8.500ft
Overall Body Height	9.851ft
Min Body Ground Clearance	0.920ft
Max Track Width	8.333ft
Lock-to-lock time	6.00s
Max Wheel Angle	42.00°

MANCHESTER TOWNSHIP
FIRE TRUCK

THIS DRAWING ISSUED
09.03.25
FOR REGULATORY REVIEW ONLY

NOTE:
1. ALL BENCHES SHALL SLOPE AT 1/8" PER FOOT TOWARD FLOW CHANNEL

TYPICAL MANHOLE TROUGH DETAILS

NO SCALE

TYPICAL SANITARY SEWER PIPE TRENCH BEDDING AND BACKFILLING DETAIL

**TYPICAL UTILITY TRENCH BACKFILLING AND
PERMANENT RESTORATION DETAIL**
NO SCALE

NOTE:
1. IMPERVIOUS TRENCH PLUGS ARE REQUIRED FOR ALL STREAM, RIVER, WETLAND, OR OTHER WATER BODY CROSSINGS.

TRENCH PLUG INSTALLATION

TOP VIEW

SECTION

NOTES:
1. ALL BENCHES SHALL SLOPE AT 1/8" PER FOOT TOWARD FLOW CHANNEL.
2. INV. OF NEW PIPE TO OUTLET ON THE BENCH OF EX. MANHOLE EX-1.
CONTRACTOR TO VERIFY BENCH ELEV. BEFORE INSTALLING PROPOSED CONNECTION.
3. PROPOSED MANHOLE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL
APPLICABLE REGULATORY AGENCY/MUNICIPALITY/AUTHORITY CONSTRUCTION
SPECIFICATIONS, AS REQUIRED.

**PROPOSED CONNECTION TO EXISTING
SANITARY SEWER MANHOLE NO. 292**

3. FOUNDATION TO BE INSTALLED PER LIGHT POLE MANUFACTURERS SPECIFICATIONS.
4. LIGHT POLE/UTIMORA LIGHTING RSS 10 48

TYPICAL LIGHT POLE FOUNDATION DETAIL
NO SCALE

[illegible]

sdc

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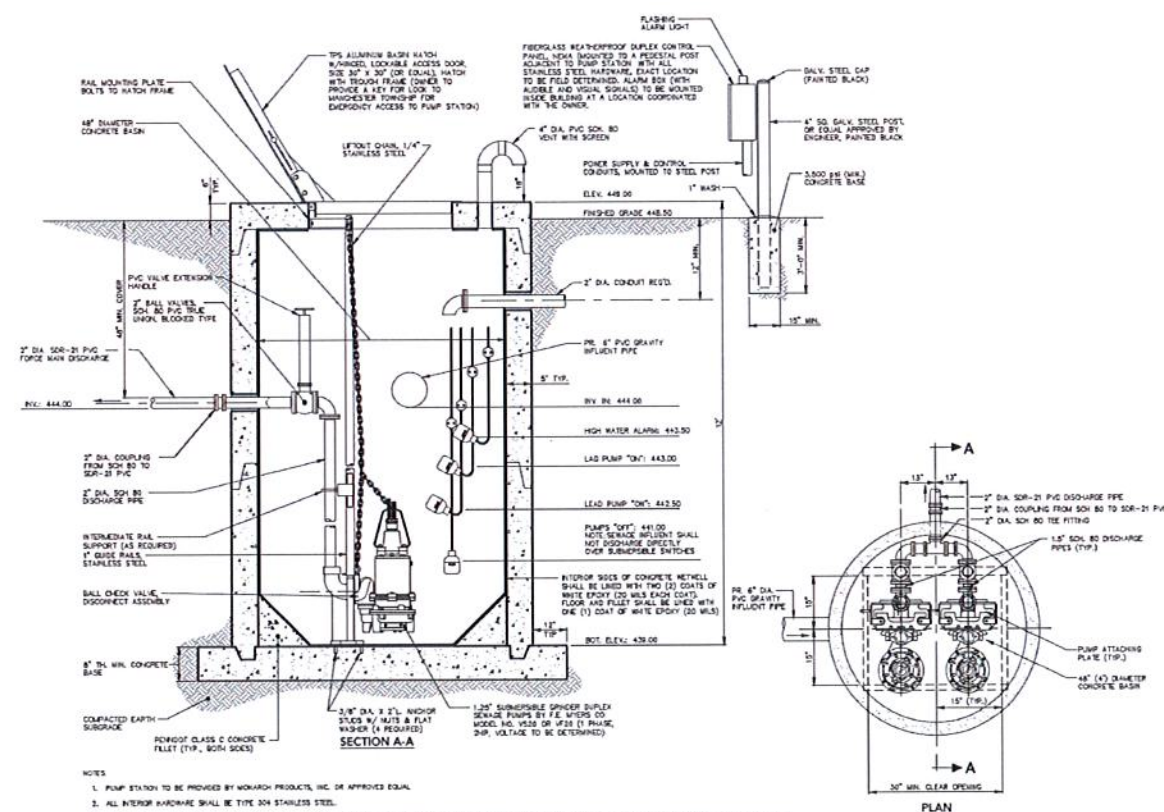
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PRIVATE SANITARY SEWER GRINDER PUMP

DETAIL

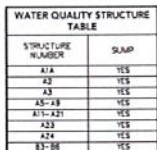
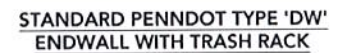
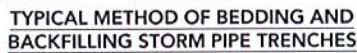
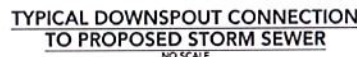
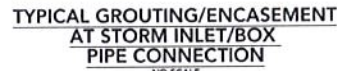
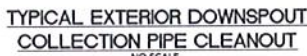
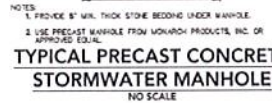
LCBC CHURCH
1400 CHURCH ROAD

SCALE	AS SHOWN
DRAWN BY	
CHECKED BY	
CONTACT	
DATE	09.01.2015
FILE NAME	1590.1-LD-1
JOB NO.	1590.1
SHEET NO.	C-15
	SHT. 15 OF 20

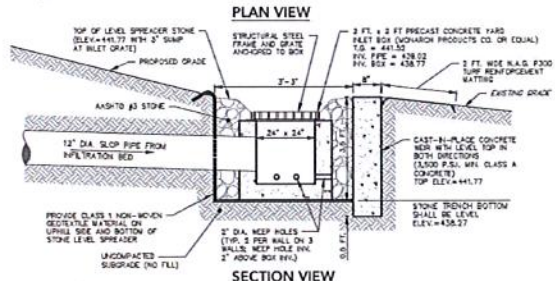
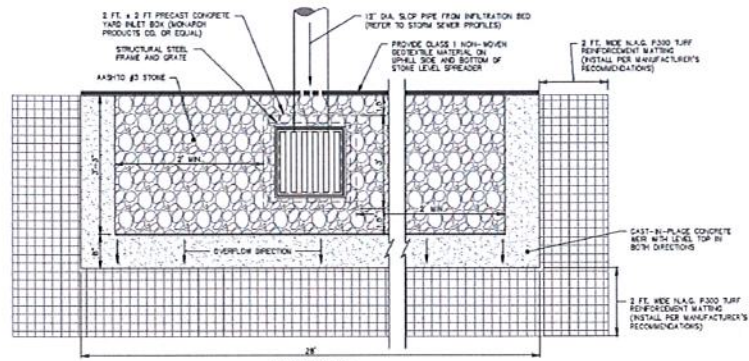


- [illegible]

PRIVATE SANITARY SEWAGE PUMP STATION DETAIL

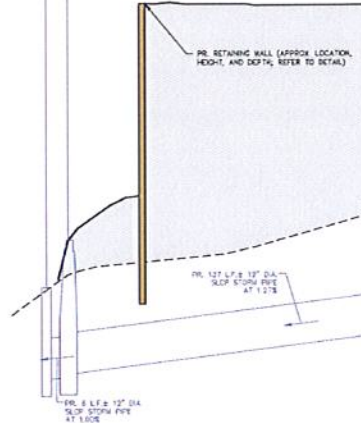


SCALE	A5 N
DRAWN BY	
CHECKED BY	
CONTACT	
DATE	09.0
FILE NAME	1590.1-LD-1
JOB NO.	1590.1
SHEET NO.	C-16

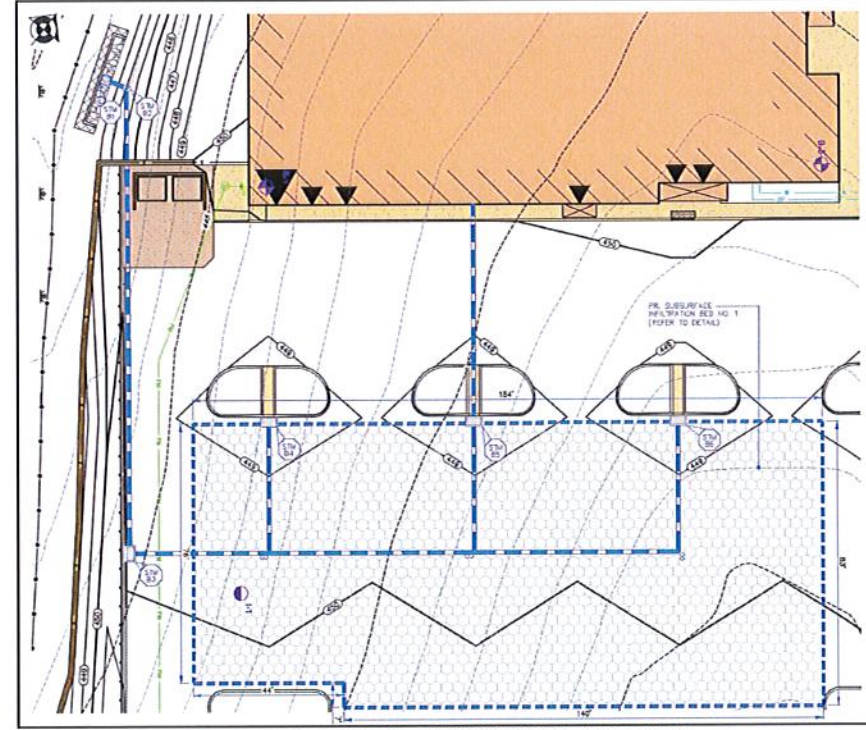


S.I.B. NO. 1 STONE LEVEL SPREADER 'B1' WITH CONCRETE WEIR DETAIL
NO SCALE

PR. LEVEL SPREADER B1
3 FT. x 3 FT. PRECAST CONCRETE HAND INLET
STATION 34-00
T.O. = 44.77
INV. IN = 44.50 (12\"/>

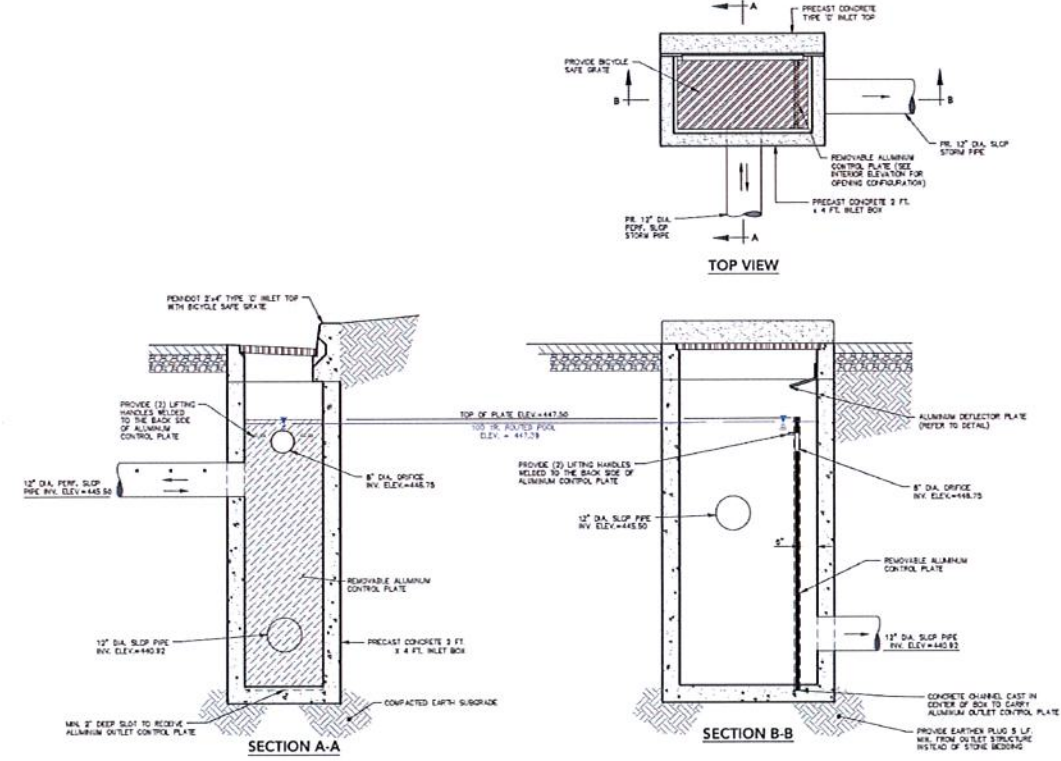


SUBSURFACE STONE INFILTRATION BED NO. 1 SECTION VIEW
NO SCALE



SUBSURFACE STONE INFILTRATION BED NO. 1 PLAN VIEW
SCALE: 1\"/>

NOTES:
1. DISTRIBUTION PIPES FOR SUBSURFACE INFILTRATION BED SHALL BE CONTINUOUSLY PERFORATED SMOOTH INTERIOR, WITH A MINIMUM INSIDE DIAMETER OF 12 INCHES. SLOPE PIPE SHALL MEET A8HTO W252, TYPE S OR A8HTO W254, TYPE S.
2. ONCE EXCAVATION OF THIS STONE BED HAS REACHED FINAL GRADE AND PRIOR TO PLACEMENT OF STONE, AN INFILTRATION TEST SHALL BE COMPLETED IN ACCORDANCE WITH THE PA SLP SHAP MANUAL. IF NECESSARY, THE BED BOTTOM SHOULD BE ADJUSTED TO MAXIMIZE THE INFILTRATION CAPACITY.



SUBSURFACE INFILTRATION BED (S.I.B.) NO. 1 OUTLET CONTROL STRUCTURE 'B3' DETAIL (SCM NO. 1)
NO SCALE

NOTES:
1. CONSTRUCT OUTLET CONTROL STRUCTURE PER PERFORATED 24\"/>

NO.	DATE	REVISIONS	COMMENTS
1		REVISED PER TOWNSHIP COMMENTS	

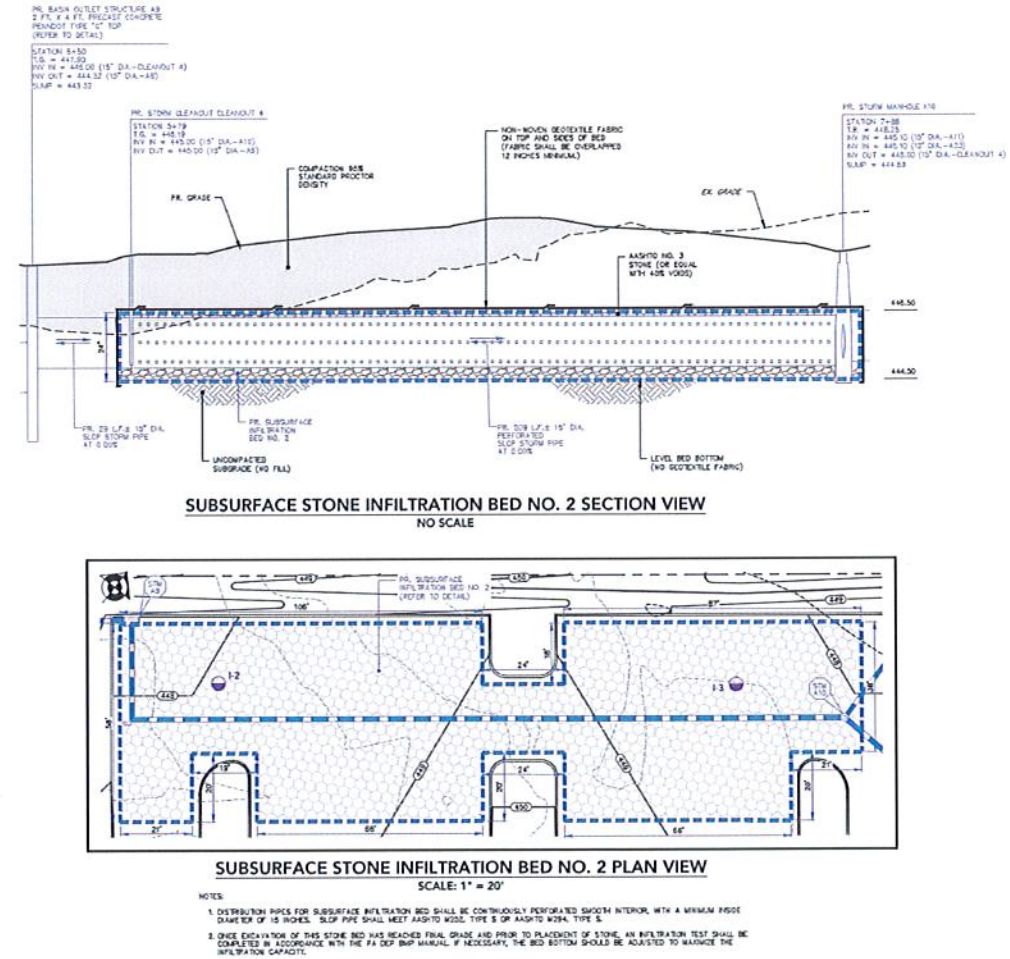
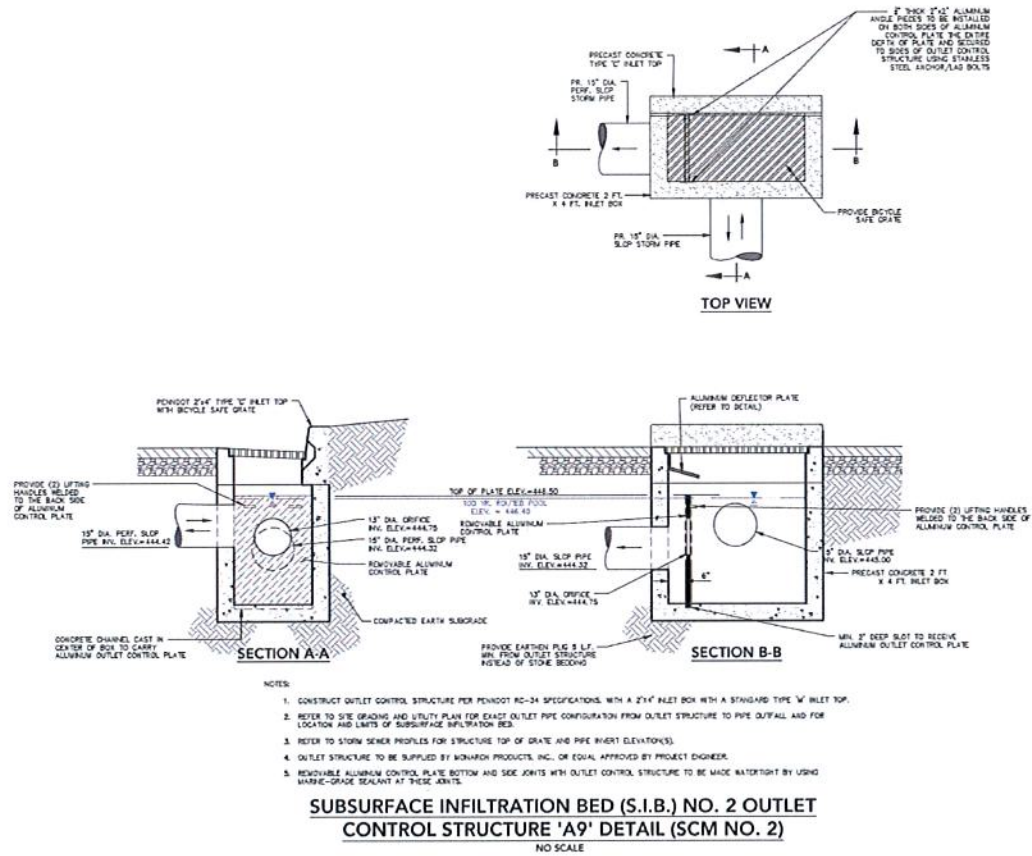


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POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS - S.I.B. NO. 1
FOR
LCBC CHURCH
1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE	AS NOTED
DRAWN BY	LJR
CHECKED BY	TBE
DATE	09.03.25
FILE NAME	1590.1-LD-1
SHEET NO.	1590.1
SHEET NO.	C-17
SHEET NO.	1

THIS DRAWING ISSUED
09.03.25
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NO.	DATE	REVISIONS	COMMENTS
1	10.13.25	REVISED PER TOWNSHIP COMMENTS	



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sdc

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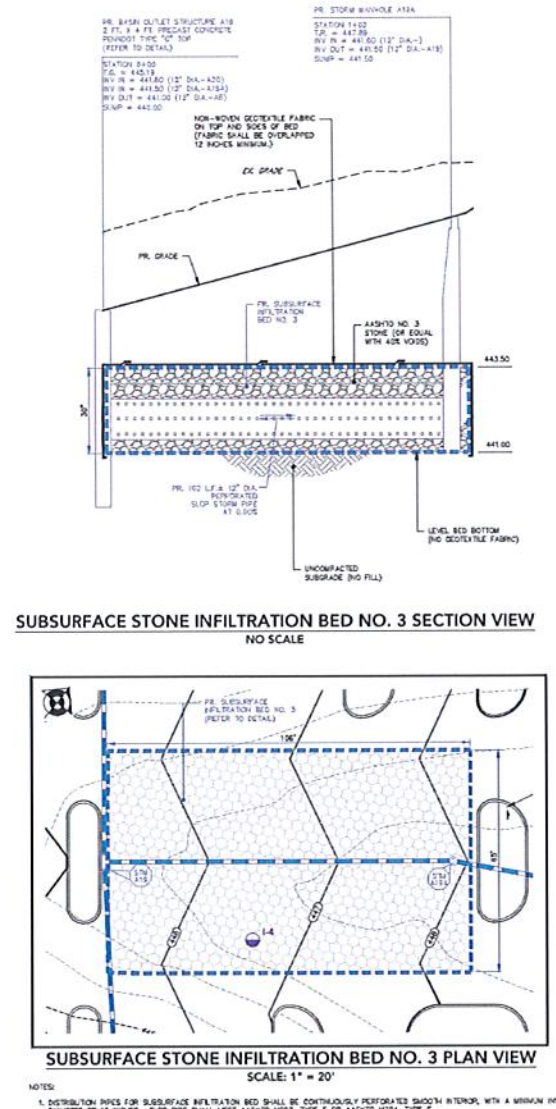
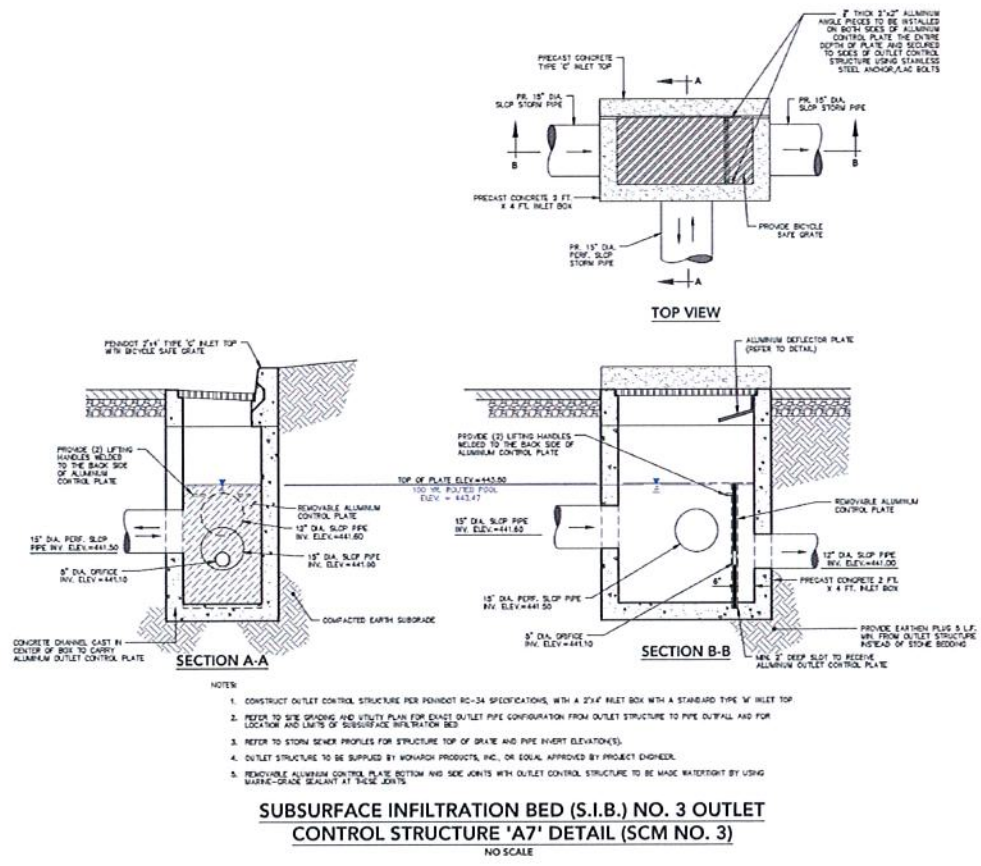
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POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS - S.I.B. NO. 2

FOR
LCBC CHURCH
1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE	AS NOTED
DRAWN BY	LJM
CHECKED BY	TBE
CONTACT	TBE
DATE	09.03.25
FILE NAME	1590.1-LD-1
JOB NO.	1590.1
SHEET NO.	C-18
SHT. 18 OF 20	1

THIS DRAWING ISSUED
09.03.25
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NO. 1
DATE: 10.15.25
REVISED FOR TOWNSHIP COMMENTS

REVISIONS
COMMENTS

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POST CONSTRUCTION STORMWATER
MANAGEMENT DETAILS - S.I.B. NO. 3

PROPOSED HOUSE OF WORSHIP
FOR
LCBC CHURCH
1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE: AS NOTED

DESIGNED BY: LJM

CHECKED BY: TBE

CONTACT: TBE

DATE: 09.03.25

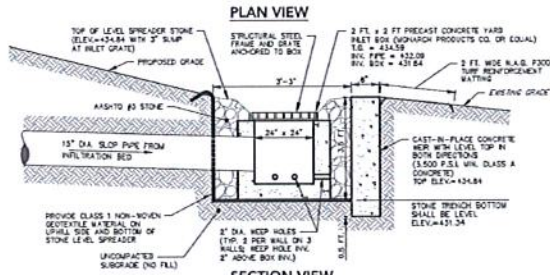
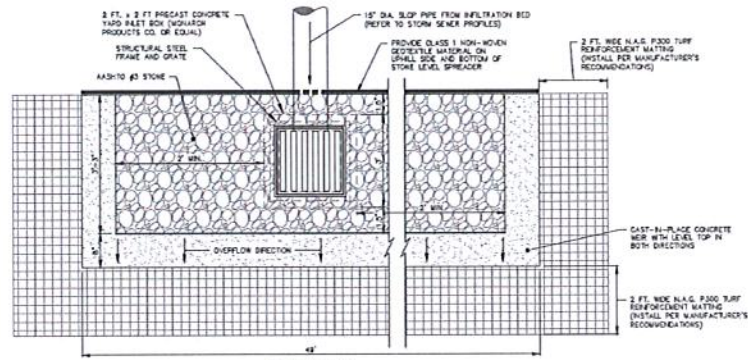
FILE NAME: 1590.1-LD-1

JOB NO: 1590.1

SHEET NO: C-19
SHT. 19 OF 20

REV: 1

THIS DRAWING ISSUED
09.03.25
FOR REGULATORY REVIEW ONLY



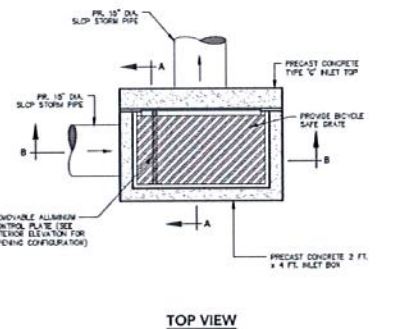
S.I.B. NO. 4 STONE LEVEL SPREADER 'A1' WITH CONCRETE WEIR DETAIL
NO SCALE

NON-ORGANIC AMENDED SOILS NOTES AND SPECIFICATIONS

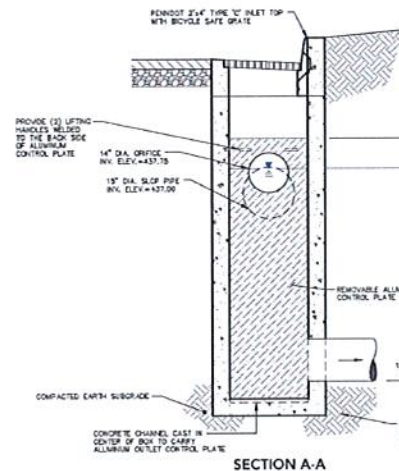
1. REFER TO CHIEF PLAN SHEET WORK FOR LIMITS OF PLACEMENT OF AMENDED SOILS.
2. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY UPON DISCOVERY OF SATURATED CONDITIONS OR ROCK WITHIN THE SHW FACILITY BED EXCAVATIONS.
3. THE NON-ORGANIC AMENDED SOIL MATURE SHALL BE TESTED PRIOR TO PLACEMENT AND SHALL MEET THE FOLLOWING CRITERIA:

PERMISSIBLE SOIL TYPES FOR AMENDED SOIL BASED ON USDA CLASSIFICATION	RANGES OF USDA PARTICLE SIZE PERCENTAGES				TYPICAL INFILTRATION RATES FOR PERMISSIBLE SOIL TYPES (IN/HR)	
	SAND	SILT	CLAY	MIN. (MAX.)	MIN.	MAX.
SAND, LOAMY SAND, SANDY LOAM, LOAM	80	100	0	50	0	20
					0.5	8.3

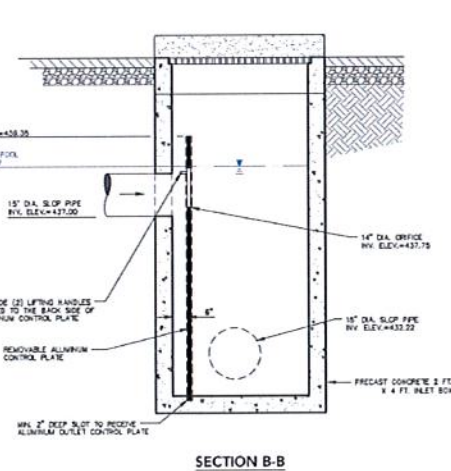
- *THEORETICAL INFILTRATION RATES AS DESIGNED BY PAULS, BRAKENBURY, AND SEXTON (1992)
4. THE AMENDED SOIL MATURE (ASM) SHALL BE A UNIFORM MIX FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. EXCESSIVE MUD OR OTHER MATERIAL OR SUBSTANCES SHALL BE WASHED OR DUMPED WITHIN THE SHW FACILITY AREAS THAT MAY NEGATIVELY IMPACT STABILITY, POROSITY, AND/OR COMPACTION OF AMENDED SOILS.
 5. INSTALLATION OF AMENDED SOILS MUST BE COMPLETED IN A MANNER THAT WILL ENSURE ADEQUATE INFILTRATION. AFTER SCATTERING THE BOTTOM OF THE SHW FACILITIES IN AREA OF THE AMENDED SOILS, INSTALL SOIL IN 8\"/>



TOP VIEW



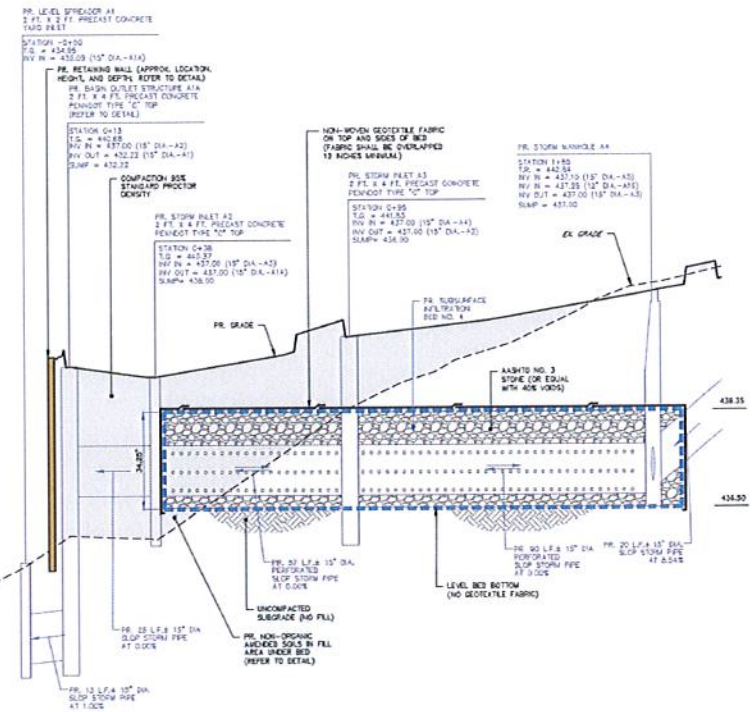
SECTION A-A



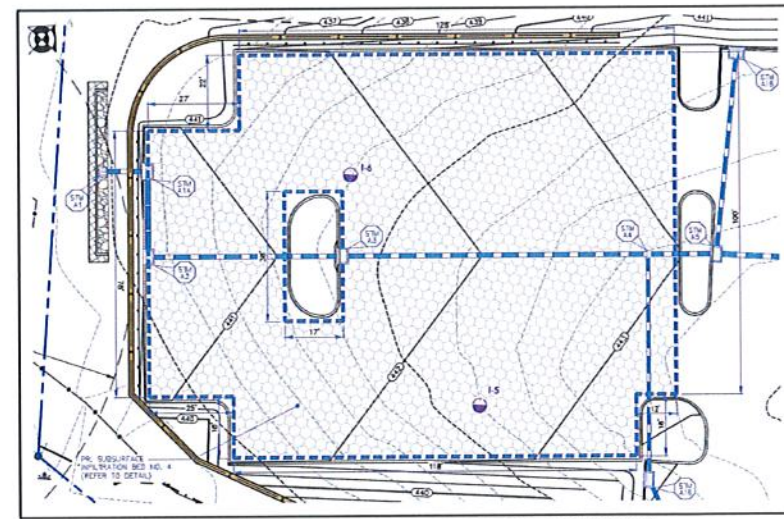
SECTION B-B

- NOTES:
1. CONSTRUCT OUTLET CONTROL STRUCTURE PER PORTNUT RC-34 SPECIFICATIONS, WITH A 24\"/>

SUBSURFACE INFILTRATION BED (S.I.B.) NO. 4 OUTLET CONTROL STRUCTURE 'A1A' DETAIL (SCM NO. 4)
NO SCALE



SUBSURFACE STONE INFILTRATION BED NO. 4 SECTION VIEW
NO SCALE



SUBSURFACE STONE INFILTRATION BED NO. 4 PLAN VIEW
SCALE: 1\"/>

- NOTES:
1. DISTRIBUTION PIPES FOR SUBSURFACE INFILTRATION BED SHALL BE CONTINUOUSLY PERFORATED SMOOTH INTERIOR, WITH A MINIMUM HOSE DIAMETER OF 1/2 INCHES. SLOP PIPE SHALL MEET ANSIS/ASTM A213, TYPE S, OR ANSIS/ASTM A213, TYPE S.
 2. ONCE ELEVATION OF THIS STONE BED HAS REACHED FINAL GRADE AND PRIOR TO PLACEMENT OF STONE, AN INFILTRATION TEST SHALL BE COMPLETED IN ACCORDANCE WITH THE PA DEP BMP MANUAL. IF NECESSARY, THE BED BOTTOM SHOULD BE ADJUSTED TO MATCH THE INFILTRATION CAPACITY.

DATE	REVISION	REVISION FOR	COMMENTS
11/15/23	1	REVISED PER TOWNSHIP COMMENTS	



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POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS - S.I.B. NO. 4
PROPOSED HOUSE OF WORSHIP
LCBC CHURCH
1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE	AS NOTED
DRAWN BY	LWN
CHECKED BY	TBE
CONTRACT	TBE
DATE	08.03.25
FILE NAME	1590.1-LD-1
JOB NO.	1590.1
SHEET NO.	C-20
SHT. 20 OF 20	1

THIS DRAWING ISSUED
09.03.25
FOR REGULATORY REVIEW ONLY

VIA EMAIL/UPS

October 24, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

FedEx Parking Lot Expansion
505 Farmbrook Lane
City of York, York County, PA
Project No. 24008611A

Dear Ms. Vega,

Our office is in receipt of a conditional approval letter prepared by C.S. Davidson, Inc., dated October 23, 2025, regarding the above-mentioned project. Below please find our responses to the comments outlined in said letter. The comments have been repeated again for clarity.

In addition to our responses, we are including the following documents for further review:

- Preliminary Land Development Plan (Sheets 1-12) prepared by our office, last revised October 24, 2025.
 - Please note that eight (8) signed and sealed hard copies will be issued under a separate cover;
- Enbridge Crossing & Encroachment Consent Agreement, dated October 6, 2025;

Subdivision and Land Development Ordinance

1. Grate elevation B of trench drain #3 is 494.34' however, it is downhill of the 494' contour.
Response: The grate of elevation of Trench Drain #3 has been revised in the plan and details accordingly, as depicted on Sheet 4.00 and Sheet 11.00, respectively. Please note that the grate elevation varies along the length of the trench drain.
2. The applicant shall provide a letter to the Township indicating that the owner of the gas transmission lines are aware of the proposed development. This letter shall include any restrictions imposed by the utility owner. (§22- 716)
Response: Please refer to the fully executed Crossing & Encroachment Consent agreement with Enbridge dated October 6, 2025, included herein.
3. A statement of ownership, acknowledgment of the plan, and offer of dedication shall be provided on the coversheet of the plans and the owner's notarized signature shall be added (§22-405.1.2).

Response: A statement of ownership and acknowledgement entitled "Owners Certification" has been provided, as depicted on revised Sheet 1.00. An executed and notarized hard copy of this document shall be furnished for the Final Land Development Plan submission.

4. The responsible professional's signature block, along with seal and dated signature shall be added to the cover sheet. (§22-406.1.4)

Response: A signature block entitled "Engineer Certification" has been provided, as depicted on revised Sheet 1.00.

5. Provide additional signature line spacing for the Planning Commission and Board of Supervisors blocks. (§22- 406.1.5)

Response: Five (5) signature lines for both the Planning Commission and Board of Supervisors have been provided, as depicted on revised Sheet 1.00.

6. Indicate within the plan sheet index on the cover sheet of the plans, which plan sheets are to be recorded. (§22- 406.1.10.A)

Response: The several sheets to be recorded have been designated accordingly within the "Index of Sheets," as depicted on revised Sheet 1.00.

7. Within the site data table on sheet 3 of the plans, revise the item description for setbacks to "front/side/rear yard setback". (§22-406.3.9)

Response: The setback dimensions have been revised accordingly in the plan, and the corresponding dimensions have been incorporated within the "Site Data Table," as depicted on revised Sheet 3.00.

8. Deed book and page number references shall be included on the plans. (§22-406.3.17)

Response: Deed book and page number for the referenced project have been incorporated as "Site Information" Note #5, as depicted on revised Sheet 1.00.

9. The note regarding minimum parking space dimensions proposed shall be revised. (§22-406.3.22)

Response: The proposed parking space dimensions have been revised accordingly and the associated requested waiver has been eliminated. Please refer to the updated "Parking & Loading Table," as depicted on revised Sheet 3.00.

10. Identify existing/proposed loading spaces, including dimensions on the plans. (§22-406.3.24)

Response: Striping and associated dimensioning of the two (2) loading spaces located at the northwest corner of the building, as well as a note and dimensioning of the proposed Hydra loading space, has been incorporated and is depicted on revised Sheet 3.00.

11. Existing structures and parking areas shall be dimensioned on the plans. (§22-406.4.28)

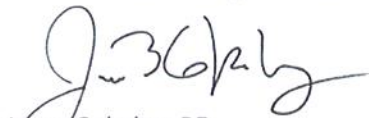
Response: The existing structures and parking areas have been dimensioned accordingly, as depicted on revised Sheet 2.00.

12. Profiles for all proposed storm sewer shall be included within the plan set. (§22-406.4.43)
Response: Profiles of the proposed storm sewers throughout the site have been prepared and incorporated into the plan set as Sheet 4.01.
13. The Carbonate Geology Certification statement shall be signed and dated.
Response: A signed and sealed statement entitled "Limestone/Carbonate Geology Certification" has been provided, as depicted on revised Sheet 1.00.
14. All comments related to the preliminary plan review shall be addressed.
Response: With this submission, all known preliminary plan review comments have been addressed accordingly.
15. A letter of acknowledgement shall be provided to the Township from Texas Eastern in regards to the proposed improvements within the existing easement.
Response: Please refer to our response to Comment #2 above.
16. Provide proof of Soil Erosion and Sedimentation Control plan (NPDES Permit or Amendments thereto) approval. (§22-407.5.1)
Response: Our office recently resubmitted plans to York County Conservation District (YCCD) on September 25, 2025, which are currently under review. The Applicant shall furnish the Township with a copy of the YCCD approval once obtained.
17. A final public improvement security estimate will be provided under a separate cover. The required security amount shall be posted prior to unconditional plan approval. (§22-407.5.14)
Response: Comment acknowledged. The Applicant agrees to submit the appropriate financial security for public improvement security once a value has been established.
18. Conditional approval of the stormwater management plan has been granted along with the preliminary plan. Additional comments may be provided if there are any revisions to the stormwater management features or design.
Response: Comment acknowledged. The Applicant agrees to address any and all additional stormwater management related comments.

Should you have any questions, please do not hesitate to contact our office directly.

Sincerely,

Colliers Engineering & Design, Inc.



Jesse Cokeley, PE
Geographic Discipline Leader



October 17, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

Re: FedEx – Parking Lot Expansion (**For In-House Review**)
Final Land Development Plan
Manchester Township Plan #2025-15
Engineer's Project No. 0841.3.06.44

Dear Rachel:

We have reviewed the above-referenced Final Land Development Plan, submitted by Colliers Engineering & Design, Inc., last revised October 1, 2024. We offer the following comments:

Waiver Requests

- §22-703.2 – To not require the installation of concrete curb at the access drive and along the property frontage
- §22-703.3 – To not require the installation of concrete sidewalk at the access drive and along the property frontage

Subdivision and Land Development Ordinance

1. Grate elevation B of trench drain #3 is 494.34' however, it is downhill of the 494' contour.
2. The applicant shall provide a letter to the Township indicating that the owner of the gas transmission lines are aware of the proposed development. This letter shall include any restrictions imposed by the utility owner. (§22-716)
3. A statement of ownership, acknowledgment of the plan, and offer of dedication shall be provided on the coversheet of the plans and the owner's notarized signature shall be added (§22-405.1.2).
4. The responsible professional's signature block, along with seal and dated signature shall be added to the cover sheet. (§22-406.1.4)
5. The Carbonate Geology Certification statement shall be signed and dated.
6. Provide proof of Soil Erosion and Sedimentation Control plan (NPDES Permit or Amendments thereto) approval. (§22-407.5.1)
7. A final public improvement security estimate will be provided under a separate cover. The required security amount shall be posted prior to unconditional plan approval. (§22-407.5.14)



8. Conditional approval of the stormwater management plan has been granted along with the preliminary plan. Additional comments may be provided if there are any revisions to the stormwater management features or design.

If you have questions related to the enclosed information or require any clarification, please feel free to contact me at the York office number or via email CAM@csdavidson.com.

Sincerely,

Cory A. McCoy, P.E.

CAM/AJS/dmg

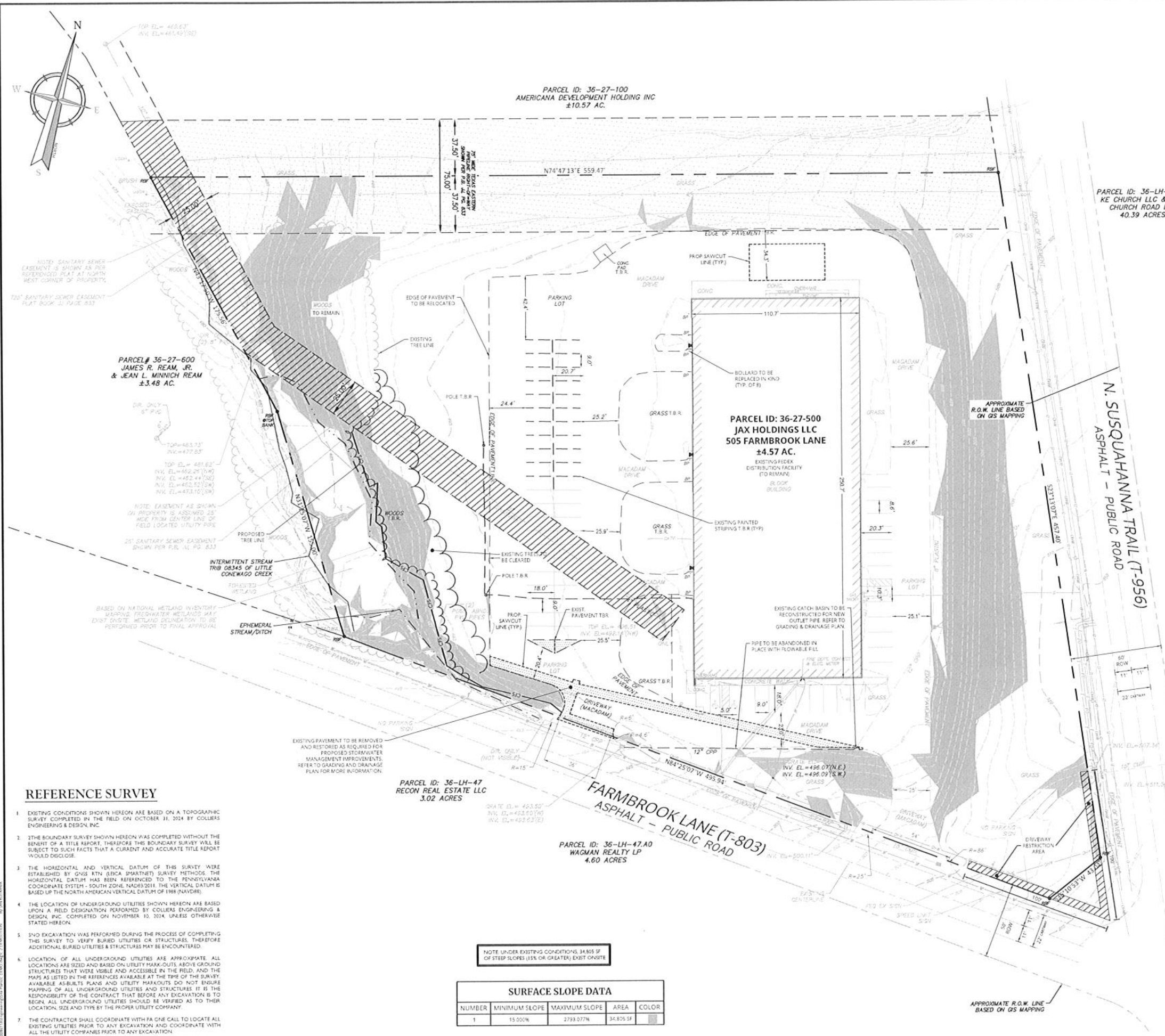
Copy: File

B. J. Treglia, P.E. Manchester Township, via email: b.treglia@mantwp.com

Keith Eitel, ICAD Services, Inc. via email: keitel@icadservices.net

The left map is a zoning map of the Farmbrook area. It shows various zones: Zone A (green), Zone RM (yellow), Zone I (blue), Zone RL (light blue), and Zone RH (orange). Roads shown include Wheatfield Lane, Farmbrook Lane, Roundtown Lane, Johnston's Park Lane, and Farmbrook Lane. A 'SUBJECT SITE' is marked with a black dot. The map also shows the 'Municipal Building & Police Station' and 'Wheatfield Reserve'. The right map is an aerial photograph of the same area. A 'SUBJECT SITE' is highlighted with a black rectangle. The map shows the layout of buildings, roads, and surrounding vegetation. The 'SUBJECT SITE' is located near the intersection of Farmbrook Lane and Roundtown Lane.

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



DEMOLITION NOTES:

1. THIS PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:
 - A. BOUNDARY AND TOPOGRAPHIC SURVEY FOR 505 FARMBROOK LANE (TOWNSHIP OF MANCHESTER), PREPARED BY COLLIER ENGINEERING & DESIGN, INC. DATED 11/18/24.
2. THE CONTRACTOR SHALL BE DEEMED TO HAVE VISITED THE SITE AND ACCEPTED THE SITE AS IS.
3. THE CONTRACTOR SHALL CARRY OUT THE WORK OF THIS CONTRACT PLACING THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY. THE CONTRACTOR SHALL IMPLEMENT SPECIFIED MEASURES, AND ANY OTHER MEASURES DEEMED NECESSARY, TO PROTECT ADJACENT AND ON-SITE PROPERTY, BUILDINGS, HOMES, BUSINESSES, FACILITIES AND UTILITIES.
4. THE CONTRACTOR SHALL ENSURE FREE AND SAFE PASSAGE OF PERSONS AROUND THE AREA OF THE DEMOLITION AS DIRECTED BY THE OWNER AND THE TOWNSHIP OFFICIALS. ALL OPERATIONS SHALL BE CONDUCTED SO AS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, AND INJURY TO PERSONS, BOTH PEDESTRIAN AND WORKERS ALIKE.
5. THE CONSULTANT IS NOT RESPONSIBLE FOR JOB SITE SAFETY AND CANNOT STOP THE DEMOLITION ACTIVITIES.
6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE SECURITY OF THE PROJECT SITE DURING ALL NON-WORKING HOURS, SEVEN DAYS A WEEK.
7. ALL UTILITY LOCATIONS ARE APPROXIMATE AND ADDITIONAL UTILITIES MAY EXIST. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY THE ACTUAL LOCATION OF ALL UTILITIES (WPAID) PRIOR TO THIS WORK, AND WHICH MUST BE MAINTAINED OR REMOVED, WHETHER SHOWN OR NOT SHOWN ON THE CONTRACT DRAWINGS.
8. THE CONTRACTOR SHALL COMPLETELY REMOVE ALL UTILITY SERVICE CONNECTIONS AND APPURTENANCES TO THE BUILDING BEING DEMOLISHED UNLESS OTHERWISE NOTED. ALL FOUNDATIONS ARE TO BE COMPLETELY REMOVED.
9. THE CONTRACTOR SHALL BACKFILL ALL VOIDS REMAINING FROM THE REMOVAL OF FOUNDATIONS, UTILITIES AND OTHER SUBSURFACE ELEMENTS WITH STRUCTURAL COMPACTED FILL MATERIAL IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS.
10. THE CONTRACTOR SHALL OBTAIN AND MAKE PAYMENT FOR TEMPORARY UTILITIES (WATER, ELECTRIC, TELEPHONE) AND IF FOUND ANY OTHER SERVICES NECESSARY FOR PROPER EXECUTION OF THE DEMOLITION WORK.
11. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY DEMOLITION / GRADING PERMITS.
12. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF OFF-SITE ANY HAZARDOUS MATERIALS ENCOUNTERED DURING THE DEMOLITION. BEFORE ANY OFF-SITE REMOVALS, THE CONTRACTOR HAS TO PROVIDE, IN WRITING, THE PROPOSED DESTINATION OF ALL MATERIALS.
13. DEMOLITION AND BACKFILLING WORK IS TO BE PERFORMED IN DRY WEATHER.
14. THE CONTRACTOR SHALL COORDINATE ALL UTILITY REMOVAL AND RELOCATIONS WITH EACH RESPECTIVE UTILITY PROVIDER.

SEQUENCE OF DEMOLITION ACTIVITIES

- AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PREPARER, AND THE YORK COUNTY SOIL CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED ON THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA UTILITY ONE-CALL SYSTEM TO ORDER A UTILITY MARK-OUT AT THE SITE.
- AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, MANCHESTER TOWNSHIP AND THE YORK COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED.
- ALL STRUCTURES ASSOCIATED WITH THE CONSTRUCTION OF SEDIMENT REMOVAL FACILITIES MUST BE ON-SITE PRIOR TO EARTH DISTURBANCE.
- CONTRACTOR SHALL TAKE IMMEDIATE ACTION TO INSTITUTE ADDITIONAL MEASURES IF ANY EROSION AND SEDIMENTATION CONTROL PROBLEMS ARISE PRIOR TO THE STABILIZATION OF EROSION AND SEDIMENTATION CONTROL MEASURES ON-SITE.
1. EXISTING PAVEMENT SHOULD BE USED IN LIEU OF A ROCK CONSTRUCTION ENTRANCE.
 2. INSERT INLET FILTER BAG PROTECTION IN THE EXISTING INLETS WITHIN IMMEDIATELY SURROUNDING THE SITE AS INDICATED ON THIS SOIL EROSION PLAN.
 3. INSTALL COMPOST FILTER SOCK AS INDICATED ON THIS PLAN TO THE EXTENT POSSIBLE.
 4. REMOVE SIGNS, FENCES, BOLLARDS, WHEEL STOPS, TREES, AND OTHER NON-UTILITY ABOVEGROUND FEATURES.
 5. STRIP THE TOPSOIL, AND TEMPORARILY STOCKPILE IN THE LOCATION SHOWN ON THIS PLAN OR IN AN APPROVED ALTERNATIVE LOCATION.
 6. DEMOLISH EXISTING STRUCTURES AS NOTED ON THIS PLAN.
 7. REMOVE ALL EXISTING CURBING AND ASPHALT PAVING THROUGHOUT THE SITE AS SHOWN ON THESE PLANS.
 8. DEMOLISH THE EXISTING STORM STRUCTURES AND PIPES. COORDINATE DEMOLITION WITH THE CONSTRUCTION OF THE PROPOSED STORM STRUCTURES AND PIPES TO ENSURE POSITIVE DRAINAGE IS MAINTAINED THROUGHOUT THE DURATION OF DEMOLITION AND CONSTRUCTION ACTIVITIES.
 9. DEMOLISH SITE ELEMENTS AND BELOW GRADE STRUCTURES INCLUDING BUT NOT LIMITED TO ASPHALT PAVEMENT, BUILDING FOUNDATIONS, SIDEWALK/CONCRETE, AND CURBS AS SHOWN ON THIS PLAN. REMOVE AND DISPOSE OF ALL DEBRIS LAWFULLY OFF SITE.
 10. BACKFILL ALL VOIDS CREATED FROM DEMOLITION AND UTILITY REMOVAL WITH STRUCTURAL FILL MATERIAL PLACED AND COMPACTED IN ACCORDANCE WITH TECHNICAL SPECIFICATION. ROUGH GRADE THE SITE IN PREPARATION FOR CONSTRUCTION ACTIVITIES.
 11. INSPECT AND RECONSTRUCT EROSION CONTROL MEASURES IN PREPARATION FOR THE NEXT PHASE OF SITE DEVELOPMENT. SEE THE SOIL EROSION NOTES & DETAILS FOR THE SEQUENCE OF CONSTRUCTION ACTIVITIES.

REFERENCE SURVEY

1. EXISTING CONDITIONS SHOWN HEREON ARE BASED ON A TOPOGRAPHIC SURVEY COMPLETED IN THE FIELD ON OCTOBER 31, 2024 BY COLLIER ENGINEERING & DESIGN, INC.
2. THE BOUNDARY SURVEY SHOWN HEREON WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT, THEREFORE THIS BOUNDARY SURVEY WILL BE SUBJECT TO SUCH FACTS THAT A CURRENT AND ACCURATE TITLE REPORT WOULD REVEAL.
3. THE HORIZONTAL AND VERTICAL DATUM OF THIS SURVEY WERE ESTABLISHED BY GNSS RTN (LEICA SMARTNET) SURVEY METHODS. THE HORIZONTAL DATUM HAS BEEN REFERENCED TO THE PENNSYLVANIA COORDINATE SYSTEM - SOUTH ZONE, NAD83(2011). THE VERTICAL DATUM IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
4. THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON A FIELD DEGRADATION REFORMED BY COLLIER ENGINEERING & DESIGN, INC. COMPLETED ON NOVEMBER 10, 2024. UNLESS OTHERWISE STATED HEREON.
5. SHO EXCAVATION WAS PERFORMED DURING THE PROCESS OF COMPLETING THIS SURVEY TO VERIFY BURIED UTILITIES OR STRUCTURES, THEREFORE ADDITIONAL BURIED UTILITIES & STRUCTURES MAY BE ENCOUNTERED.
6. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS ARE SIZED AND BASED ON UTILITY MARK-OUTS ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILTS PLANS AND UTILITY MARK-OUTS DO NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR THAT BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PRIOR UTILITY COMPANY.
7. THE CONTRACTOR SHALL COORDINATE WITH PA ONE CALL TO LOCATE ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION AND COORDINATE WITH ALL THE UTILITY COMPANIES PRIOR TO ANY EXCAVATION.

SURFACE SLOPE DATA				
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	AREA	COLOR
1	15.000%	2793.077%	34.925 SF	

LEGEND

- SEWER EASEMENT
- SANITARY SEWER EASEMENT
- STEEP SLOPES OF 15% OR GREATER
- ITEMS TO BE REMOVED
- ITEMS TO REMAIN
- TO BE REMOVED
- SAWCUT AND PAVEMENT TO BE MILLED/PAVED
- COMPOST FILTER SOCK
- FILTER BAG INLET PROTECTION
- CONCRETE WASHOUT
- LOD
- LIMIT OF DISTURBANCE

SCALE

30 0 30 60

SCALE: 1" = 30'

Linear Unit of Measure: US Survey Foot (1 ft = 1200/9137 ft)

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ALL STATES REQUIRE NOTIFICATION OF SEPARATING DESIGNERS, OR ANY PERSON PREPARING TO DISRUPT THE EARTH'S SURFACE, ADVISE IN ADVANCE.

FOR STATE SPECIFIC DIALING PHONE NUMBERS VISIT: WWW.CALL811.COM

REV	DATE	DESCRIPTION	BY	CHKD	APP'D
1	11/18/24	REVISED PER TOWNSHIP COMMENTS	NE	NE	NE
2	11/18/24	REVISED PER TOWNSHIP COMMENTS	NE	NE	NE
3	11/18/24	REVISED PER TOWNSHIP COMMENTS	NE	NE	NE
4	11/18/24	REVISED PER TOWNSHIP COMMENTS	NE	NE	NE
5	11/18/24	REVISED PER TOWNSHIP COMMENTS	NE	NE	NE
6	11/18/24	REVISED PER TOWNSHIP COMMENTS	NE	NE	NE
7	11/18/24	REVISED PER TOWNSHIP COMMENTS	NE	NE	NE
8	11/18/24	REVISED PER TOWNSHIP COMMENTS	NE	NE	NE

Christopher John Riggle

PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
LICENSE NUMBER: PE179908
COLLIERS ENGINEERING & DESIGN, INC.

PRELIMINARY LAND DEVELOPMENT PLAN

FOR
ICAD SERVICES, INC

PROPOSED PARKING LOT IMPROVEMENTS

PARCEL ID # 36-27-500
505 FARMBROOK LANE
MANCHESTER, PA 17406

MANCHESTER TOWNSHIP YORK COUNTY PENNSYLVANIA

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Engineering & Design

WOODCLIFF LAKE
300 Rock Boulevard
Suite 101
Woodcliff Lake, NJ 07677
Phone: 845-352-0411
COLLIERS ENGINEERING & DESIGN, INC. IS AN EQUAL OPPORTUNITY EMPLOYER

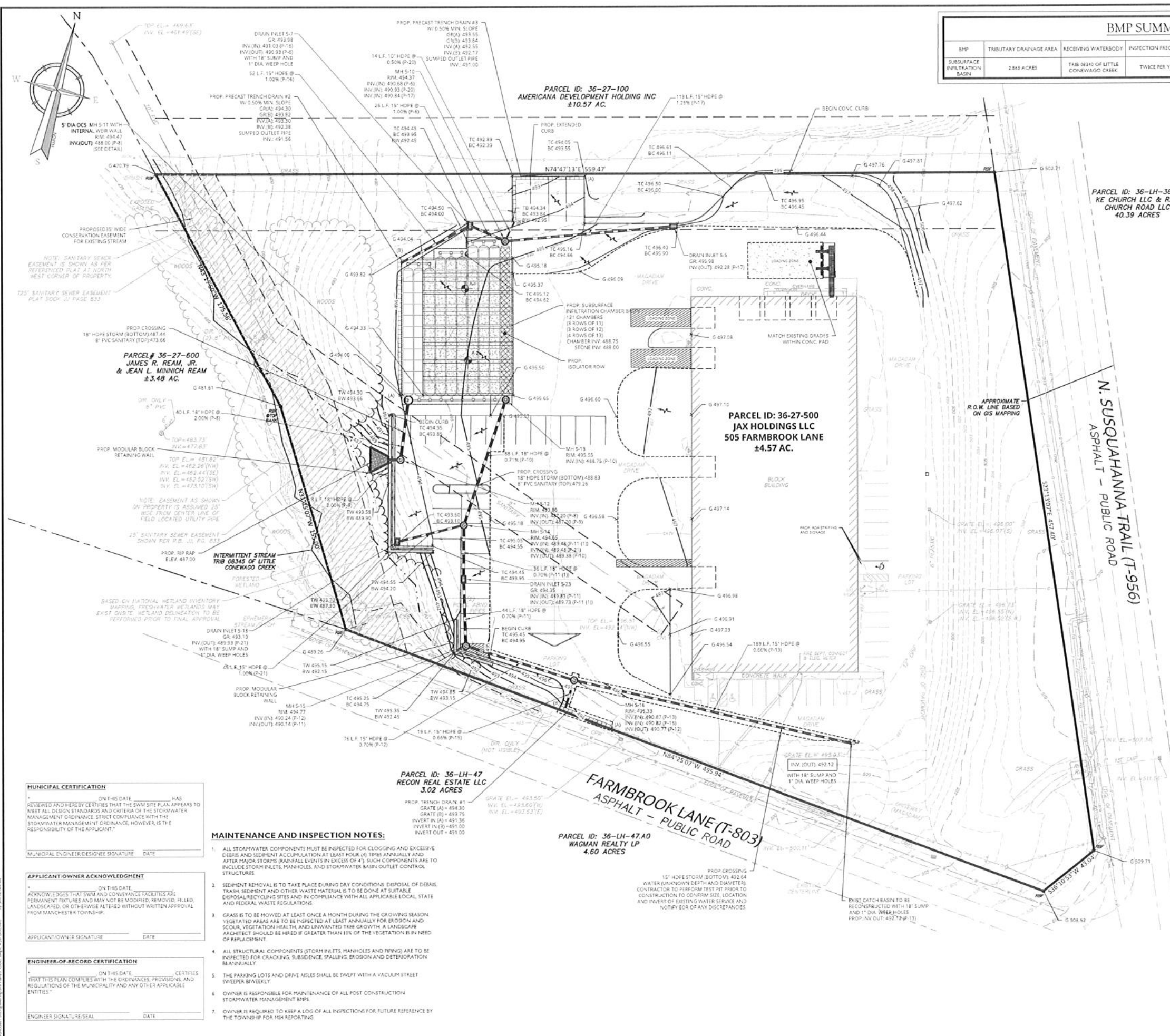
SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	11/20/24	NE	MR

PROJECT NUMBER	DRAWING NAME
2408811A	CDEM0

SHEET TITLE: **EXISTING CONDITIONS & DEMOLITION PLAN**

SHEET NUMBER: **2.00**

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



BMP SUMMARY TABLE						
BMP	TRIBUTARY DRAINAGE AREA	RECEIVING WATERBODY	INSPECTION FREQUENCY	MAINTENANCE FREQUENCY	PERSON OR ORGANIZATION RESPONSIBLE AT TIME OF APPROVAL	LOT NUMBER
SUBSURFACE INFILTRATION BASIN	2.843 ACRES	TRIBUTARY OF LITTLE CONEWAGO CREEK	TWICE PER YEAR	AS NEEDED PER INSPECTION	ICAD SERVICES, INC.	PARCEL ID # 36-27-500

EXISTING		LEGEND		PROPOSED	
12+00	12+00	TRANSVERSE LINE CENTER LINE	12+00	12+00	13+00
RIGHT OF WAY LINE		PROPERTY LINE			
EDGE OF PAVEMENT		CURB			
DEPRESSED CURB		SIDEWALK			
FENCES		TREELINE			
ROADWAY SIGNS		WETLAND LINE			
MUNICIPAL BOUNDARY LINE		TYPE 'A' INLET			
TYPE 'C, D, E' INLET		STORM MANHOLE			
SANITARY MANHOLE		FLARED END SECTION			
HEADWALL		HYDRANT			
POLE MOUNTED LIGHT		CONTOURS			
SPOT ELEVATION		DIRECTION OF OVERLAND FLOW			
TOP OF CURB ELEVATION		BOTTOM OF CURB ELEVATION			
TOP OF DEPRESSED CURB ELEVATION		INFLTRATION TESTING LOCATION			

MUNICIPAL CERTIFICATION
I, _____, ON THIS DATE _____, HAS REVIEWED AND HEREBY CERTIFIES THAT THE SWM SITE PLAN APPEARS TO MEET ALL DESIGN STANDARDS AND CRITERIA OF THE STORMWATER MANAGEMENT ORDINANCE, STRICT COMPLIANCE WITH THE STORMWATER MANAGEMENT ORDINANCE, HOWEVER, IS THE RESPONSIBILITY OF THE APPLICANT.
MUNICIPAL ENGINEER/DESIGNER SIGNATURE _____ DATE _____

AFFILIANT-OWNER ACKNOWLEDGMENT
I, _____, ON THIS DATE _____, ACKNOWLEDGE THAT SWM AND CONVEYANCE FACILITIES ARE PERMANENT FIXTURES AND MAY NOT BE MODIFIED, REMOVED, FILLED, LANDSCAPED, OR OTHERWISE ALTERED WITHOUT WRITTEN APPROVAL FROM MANCHESTER TOWNSHIP.
AFFILIANT/OWNER SIGNATURE _____ DATE _____

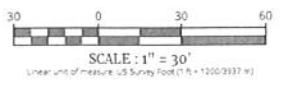
ENGINEER-OF-RECORD CERTIFICATION
I, _____, ON THIS DATE _____, CERTIFIES THAT THIS PLAN COMPLIES WITH THE ORDINANCES, PROVISIONS, AND REGULATIONS OF THE MUNICIPALITY AND ANY OTHER APPLICABLE ENTITIES.
ENGINEER SIGNATURE/SEAL _____ DATE _____

- MAINTENANCE AND INSPECTION NOTES:**
- ALL STORMWATER COMPONENTS MUST BE INSPECTED FOR CLOGGING AND EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST FOUR (4) TIMES ANNUALLY AND AFTER MAJOR STORMS (RAINFALL EVENTS IN EXCESS OF 4"). SUCH COMPONENTS ARE TO INCLUDE STORM INLETS, MANHOLES, AND STORMWATER BURN-OUTLET CONTROL STRUCTURES.
 - SEDIMENT REMOVAL IS TO TAKE PLACE DURING DRY CONDITIONS. DISPOSAL OF DEBRIS, TRASH, SEDIMENT AND OTHER WASTE MATERIAL IS TO BE DONE AT SUITABLE DISPOSAL/RECYCLING SITES AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WASTE REGULATIONS.
 - GRASS IS TO BE MOVED AT LEAST ONCE A MONTH DURING THE GROWING SEASON. VEGETATED AREAS ARE TO BE INSPECTED AT LEAST ANNUALLY FOR EROSION AND SCOUR, VEGETATION HEALTH, AND UNWANTED TREE GROWTH. A LANDSCAPE ARCHITECT SHOULD BE HIRED IF GREATER THAN 10% OF THE VEGETATION IS IN NEED OF REPLACEMENT.
 - ALL STRUCTURAL COMPONENTS (STORM INLETS, MANHOLES AND PIPING) ARE TO BE INSPECTED FOR CRACKING, SUBSIDENCE, SPALLING, EROSION AND DETERIORATION BIENNIALY.
 - THE PARKING LOTS AND DRIVE AISLES SHALL BE SWEEPED WITH A VACUUM STREET SWEEPER BIENNIALY.
 - OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL POST CONSTRUCTION STORMWATER MANAGEMENT BMPs.
 - OWNER IS REQUIRED TO KEEP A LOG OF ALL INSPECTIONS FOR FUTURE REFERENCE BY THE TOWNSHIP FOR PMA REVIEW.

THIS STORMWATER MANAGEMENT PLAN DOES NOT REQUEST ANY VARIANCES TO THE STORMWATER MANAGEMENT ORDINANCE.

A MINIMUM 15 FOOT WIDE DRAINAGE EASEMENT SHALL BE PROVIDED FOR ALL STORMWATER MANAGEMENT FACILITIES. EXACT LIMITS AND COORDINATES OF PROPOSED EASEMENT TO BE REVIEWED AND APPROVED BY THE TOWNSHIP PRIOR TO CONSTRUCTION.

NOTE: THE HORIZONTAL AND VERTICAL DATUM OF THIS SURVEY WERE ESTABLISHED BY GNSS RTN (LEICA SPARTANET) SURVEY METHODS. THE HORIZONTAL DATUM HAS BEEN REFERENCED TO THE PENNSYLVANIA COORDINATE SYSTEM - SOUTH ZONE, NAD83/2011. THE VERTICAL DATUM IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).



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REVIEW	DATE	DESCRIPTION
1	10/20/25	REVIEWED PER TOWNSHIP COMMENTS
2	10/20/25	REVIEWED PER TOWNSHIP COMMENTS
3	10/20/25	REVIEWED PER TOWNSHIP COMMENTS
4	10/20/25	REVIEWED PER TOWNSHIP COMMENTS
5	10/20/25	REVIEWED PER TOWNSHIP COMMENTS
6	10/20/25	REVIEWED PER TOWNSHIP COMMENTS
7	10/20/25	REVIEWED PER TOWNSHIP COMMENTS
8	10/20/25	REVIEWED PER TOWNSHIP COMMENTS

Christopher John Riggie
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
LICENSE NUMBER: PE079508
COLLIERS ENGINEERING & DESIGN, INC.

PRELIMINARY LAND DEVELOPMENT PLAN
FOR
ICAD SERVICES, INC.
PROPOSED PARKING LOT IMPROVEMENTS
PARCEL ID # 36-27-500
505 FARMBROOK LANE
MANCHESTER, PA 17406
MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

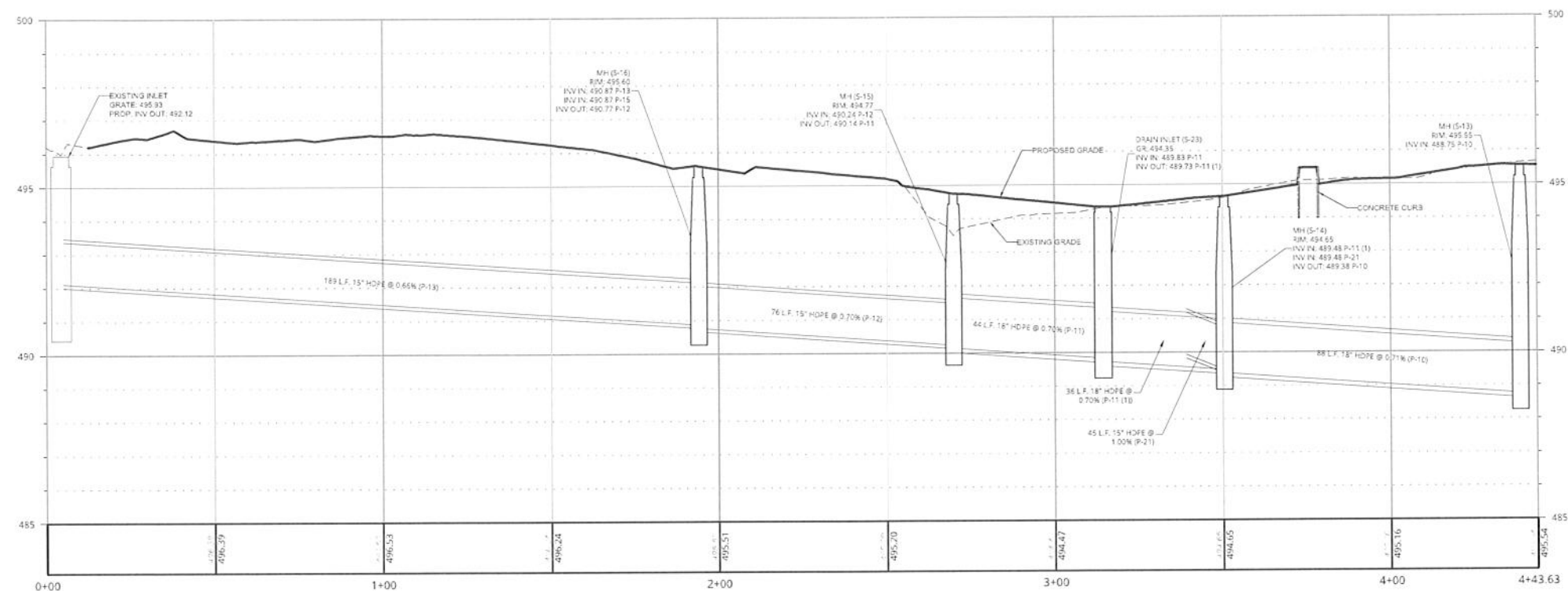
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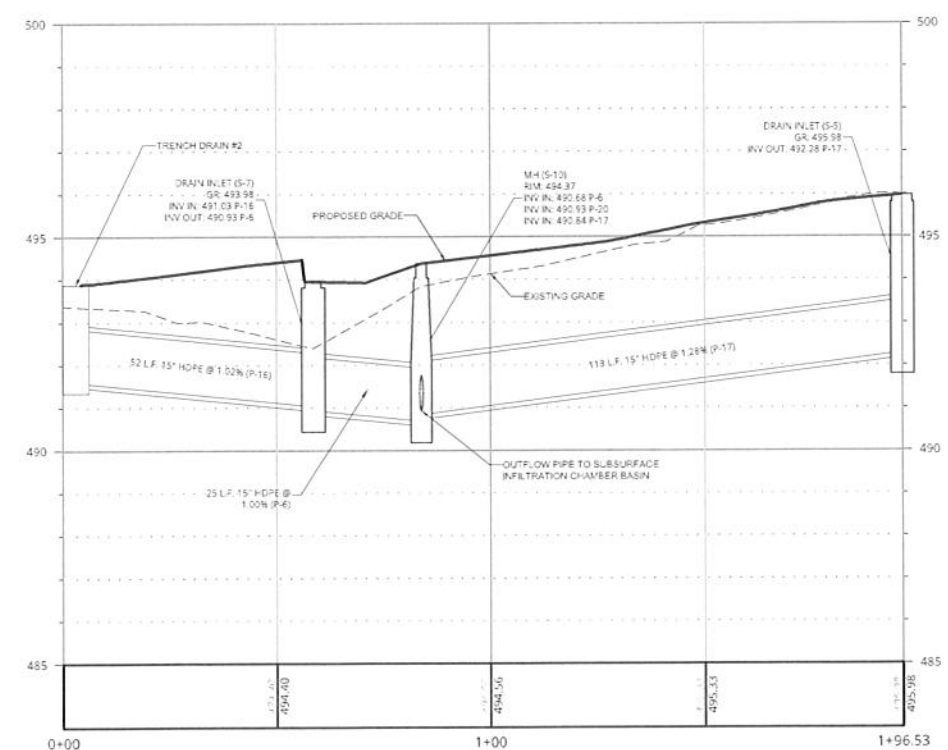
SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	10/24	NJ	MR
PROJECT NUMBER		DRAWING NAME	
2400811A		C-GRAD	

SHEET TYPE: **GRADING & DRAINAGE PLAN**
SHEET NUMBER: **4.00**

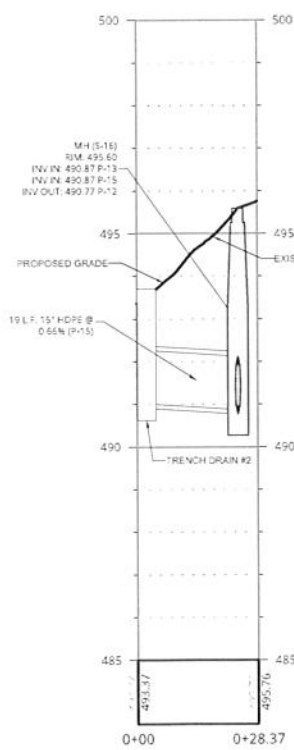
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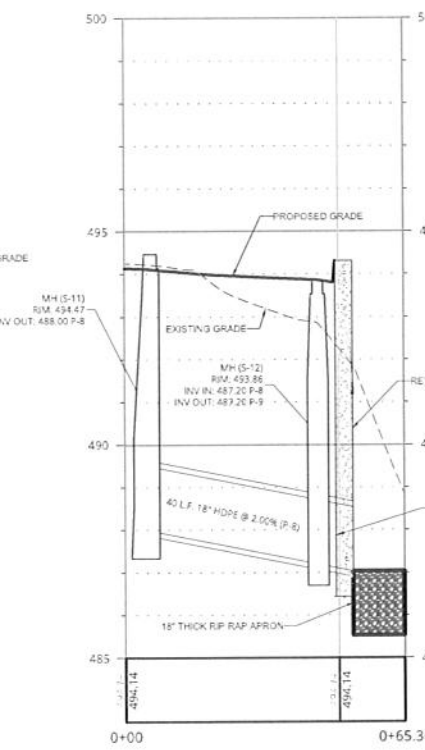
PROFILE OF EX. INLET TO MH S-13
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



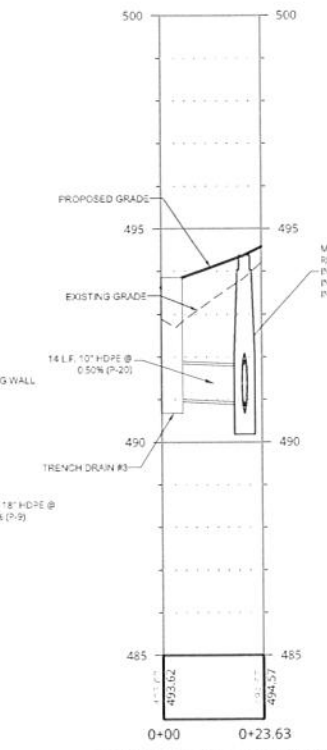
PROFILE OF TD#2 TO INLET S-5 VIA MH S-10
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



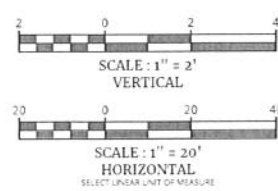
PROFILE OF TD#1 TO MH S-16
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



PROFILE OF ADS TO RIPRAP
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



PROFILE OF TD#3 TO MH S-10
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



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FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV	DATE	BY	DESCRIPTION
1	6/10/25	NR	ISSUED FOR TOWNSHIP COMMENTS
2	6/26/25	NR	REVISED PER TOWNSHIP COMMENTS
3	7/1/25	NR	REVISED PER PLANNING COMMUNICATION APPROVAL
4	7/22/25	NR	REVISED PER PLANNING COMMUNICATION APPROVAL
5	8/20/25	NR	REVISED PER TOWNSHIP SWM REVIEW
6	9/23/25	NR	REVISED PER YORK COUNTY CONSIDERATION, DISTRICT COMMENTS
7	10/16/25	NR	REVISED PER ENGINEER REVIEW DATED 9/16/25
8	10/24/25	NR	REVISED PER ENGINEER REVIEW DATED 10/24/25

Christopher John Riggie

PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER

LICENSE NUMBER: PE1279508

COLLIERS ENGINEERING & DESIGN, INC.

PRELIMINARY LAND DEVELOPMENT PLAN

FOR

ICAD SERVICES, INC

PROPOSED PARKING LOT IMPROVEMENTS

PARCEL ID # 36-27-500

505 FARMBROOK LANE

MANCHESTER, PA 17406

MANCHESTER TOWNSHIP

YORK COUNTY

PENNSYLVANIA

WOODCLIFF LAKE

300 Tree Boulevard

Suite 101

Woodcliff Lake, NJ 07677

Phone: 855.352.2411

COLLIERS ENGINEERING & DESIGN, INC. 20140

BLUENOTES UNDER CONSULTING

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	12/3/24	NR	MR

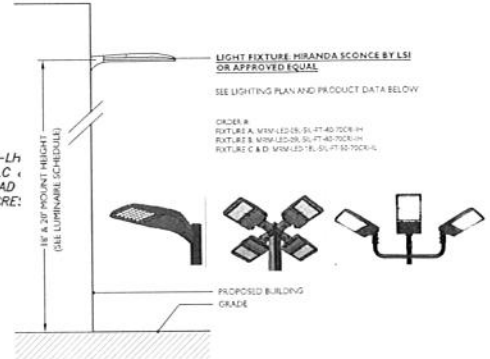
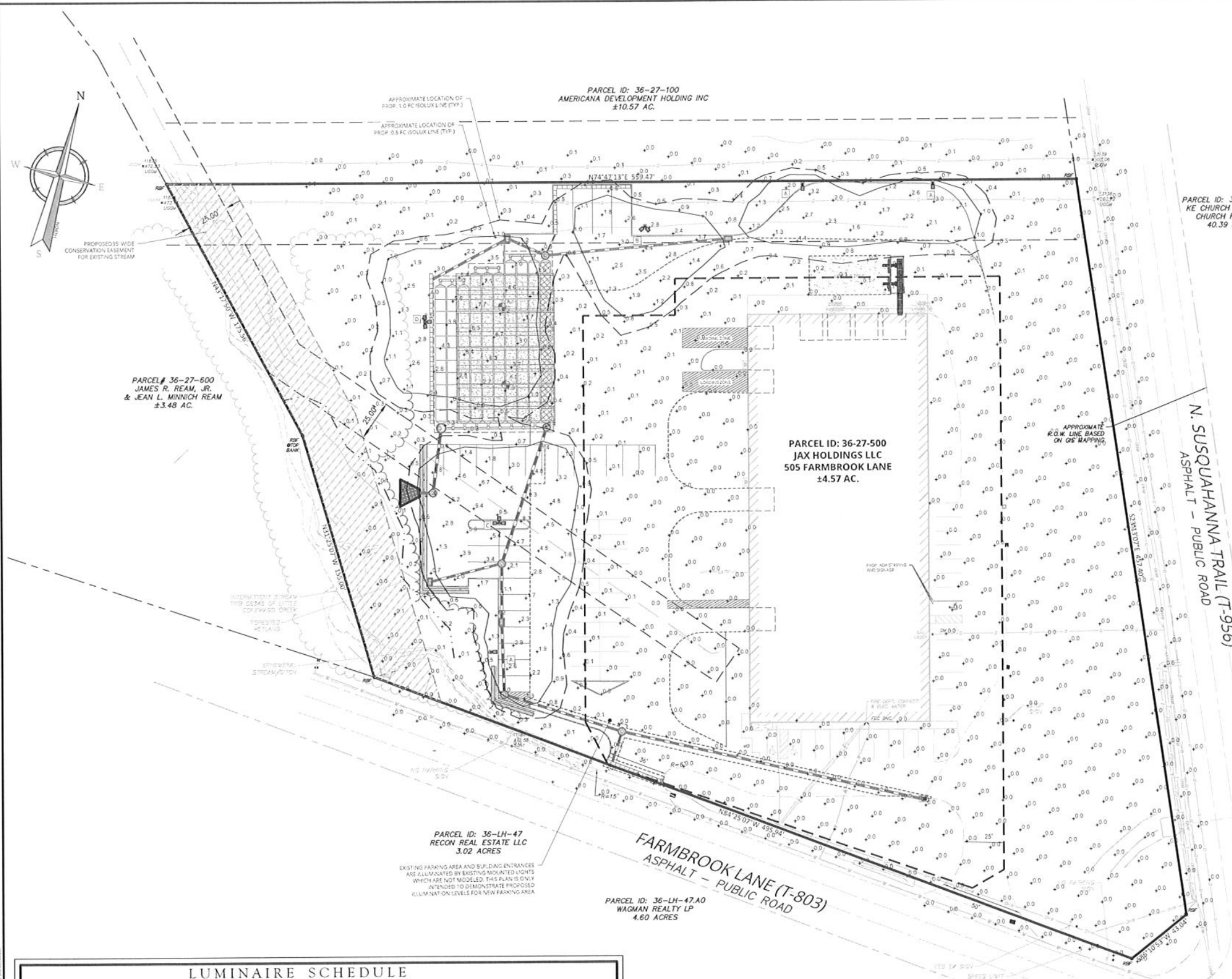
PROJECT NUMBER	DRAWING NAME
24008611A	C-ROAD

SHEET TITLE:

STORM SEWER PROFILES

SHEET NUMBER:

4.01



- NOTES
1. LIGHT TO BE MANUFACTURED BY LSI INDUSTRIES LLC OR APPROVED EQUAL
 2. LIGHT FINISH TO BE T80 COLOR
 3. MOUNTING HEIGHT TO BE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE

POLE MOUNTED LUMINAIRE DETAIL

LIGHTING LEGEND	
	AREA LIGHT POLE MOUNT LUMINAIRE
	AREA LIGHT POLE MOUNT LUMINAIRE
	AREA LIGHT POLE MOUNT LUMINAIRE
	1.00 FOOT CANDLES
	0.50 FOOT CANDLES



LUMINAIRE SCHEDULE						
KEY	QTY	DESCRIPTION	ARRANGEMENT	MTG. HT.	LUMENS	IES FILE NAME
A	3	LSI MIRADA MEDIUM OUTDOOR LED AREA LIGHT	SINGLE	18'	9,000	MIR-LED-09L-SL-FT-40-70C94-H.ies
B	1	LSI MIRADA MEDIUM OUTDOOR LED AREA LIGHT	TWIN	18'	9,000	MIR-LED-09L-SL-FT-40-70C94-H.ies
C	1	LSI MIRADA MEDIUM OUTDOOR LED AREA LIGHT	TRIPLE	18'	18,000	MIR-LED-18L-SL-FT-50-70C94-L.ies
D	1	LSI MIRADA MEDIUM OUTDOOR LED AREA LIGHT	TRIPLE	27'	18,000	MIR-LED-18L-SL-FT-50-70C94-L.ies

LIGHTING STATISTICS						
AREA DESCRIPTION	SYMBOL	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
CALCULATION ZONE	+	0.5 FC	9.5 FC	0.0 FC	N/A	N/A

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PROTECT YOURSELF

ALL EXISTING UTILITIES NOT SHOWN ON THIS DRAWING. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. CONTACT UTILITIES LOCATING SERVICES FOR A PRELIMINARY SURVEY. VISIT: WWW.CALL811.COM

REVISIONS

REV	DATE	DESCRIPTION
1	08/12/25	REVISED PER TOWNSHIP COMMENTS
2	08/12/25	REVISED PER TOWNSHIP COMMENTS
3	08/12/25	REVISED PER TOWNSHIP COMMENTS
4	08/12/25	REVISED PER TOWNSHIP COMMENTS
5	08/12/25	REVISED PER TOWNSHIP COMMENTS
6	08/12/25	REVISED PER TOWNSHIP COMMENTS
7	08/12/25	REVISED PER TOWNSHIP COMMENTS
8	08/12/25	REVISED PER TOWNSHIP COMMENTS

Christopher John Riggie

PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER

LICENSE NUMBER: PE079008

COLLIERS ENGINEERING & DESIGN, INC.

PRELIMINARY LAND DEVELOPMENT PLAN

FOR

ICAD SERVICES, INC

PROPOSED PARKING LOT IMPROVEMENTS

PARCEL ID # 36-27-500

505 FARMBROOK LANE

MANCHESTER, PA 17406

MANCHESTER TOWNSHIP

YORK COUNTY

PENNSYLVANIA

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Engineering & Design

WOODCLIFF LAKE

300 TICE BOULEVARD

Suite 101

Woodcliff Lake, NJ 07677

Phone: 845.352.0411

COLLIERS ENGINEERING & DESIGN, INC. 2000

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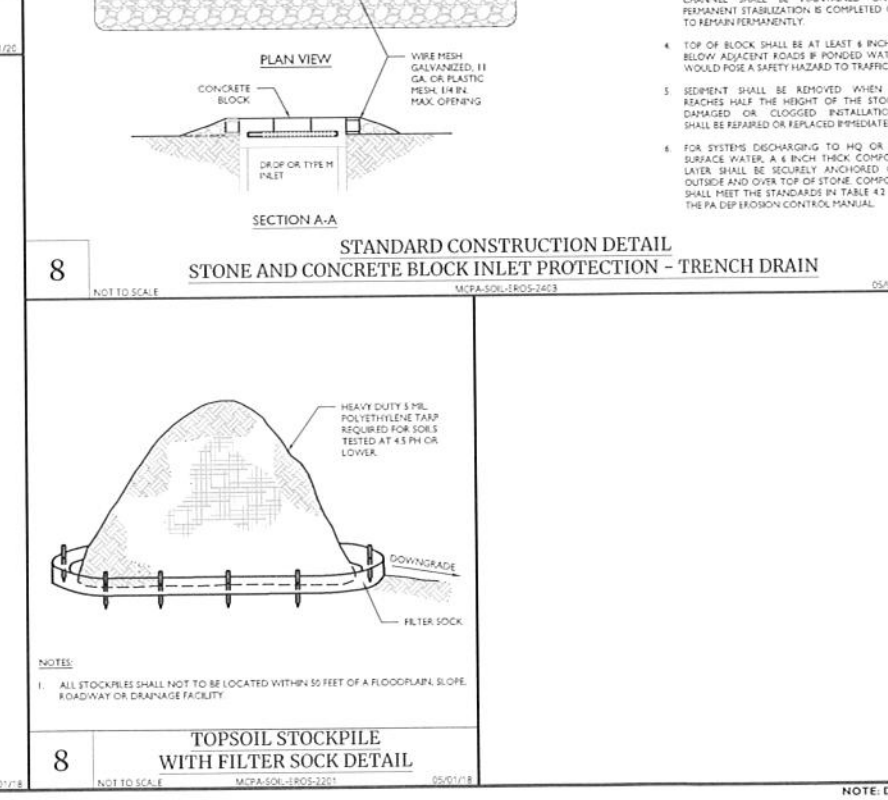
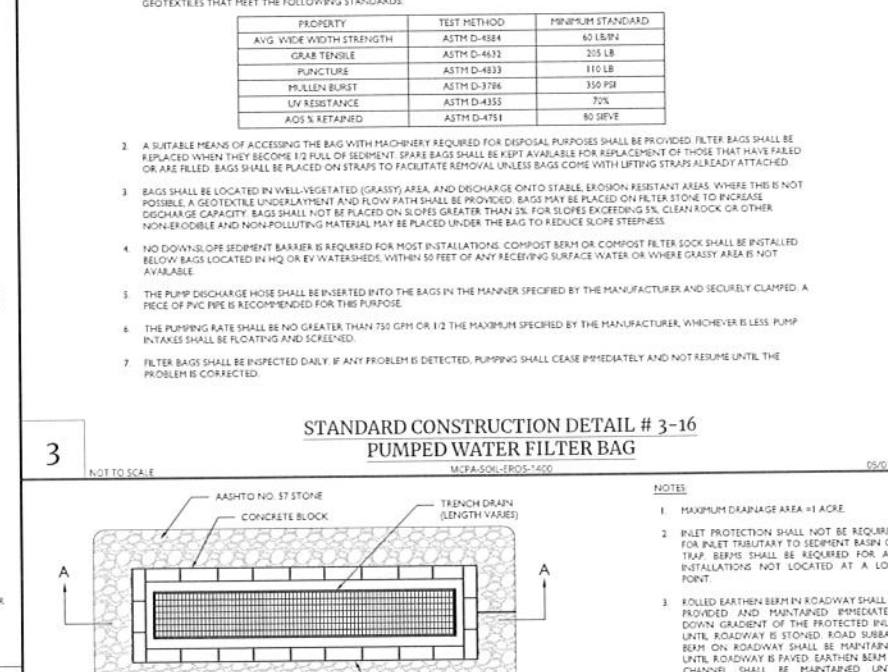
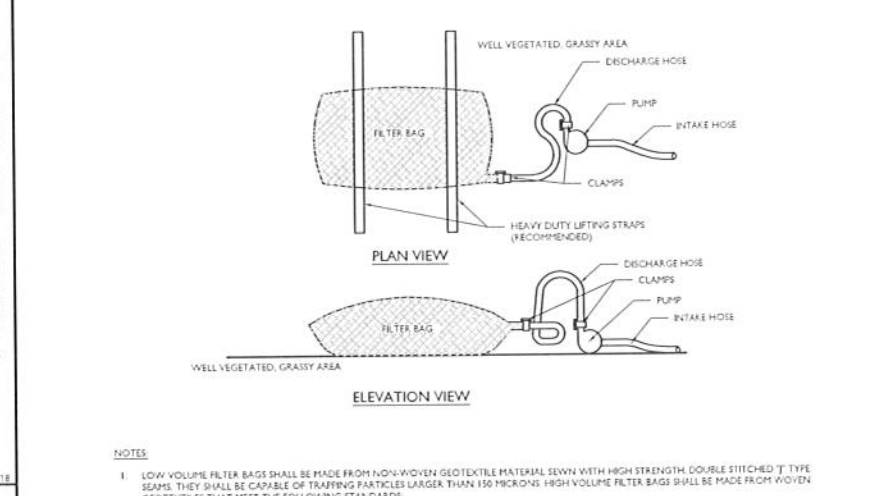
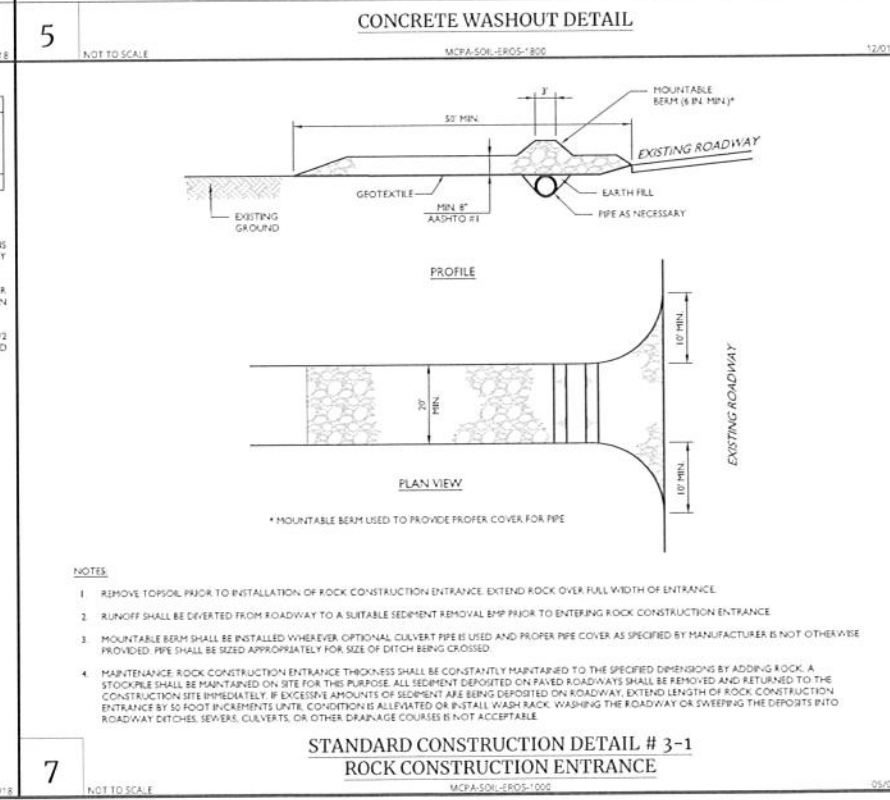
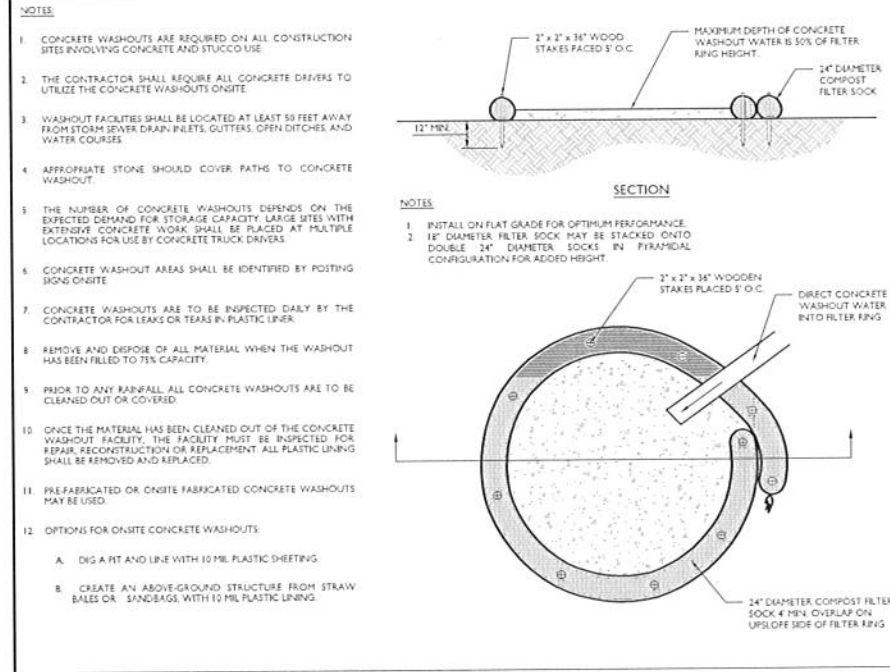
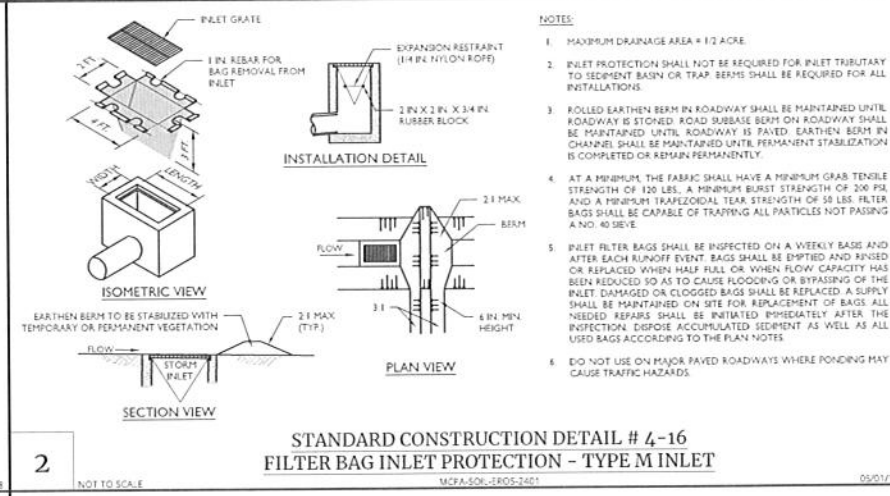
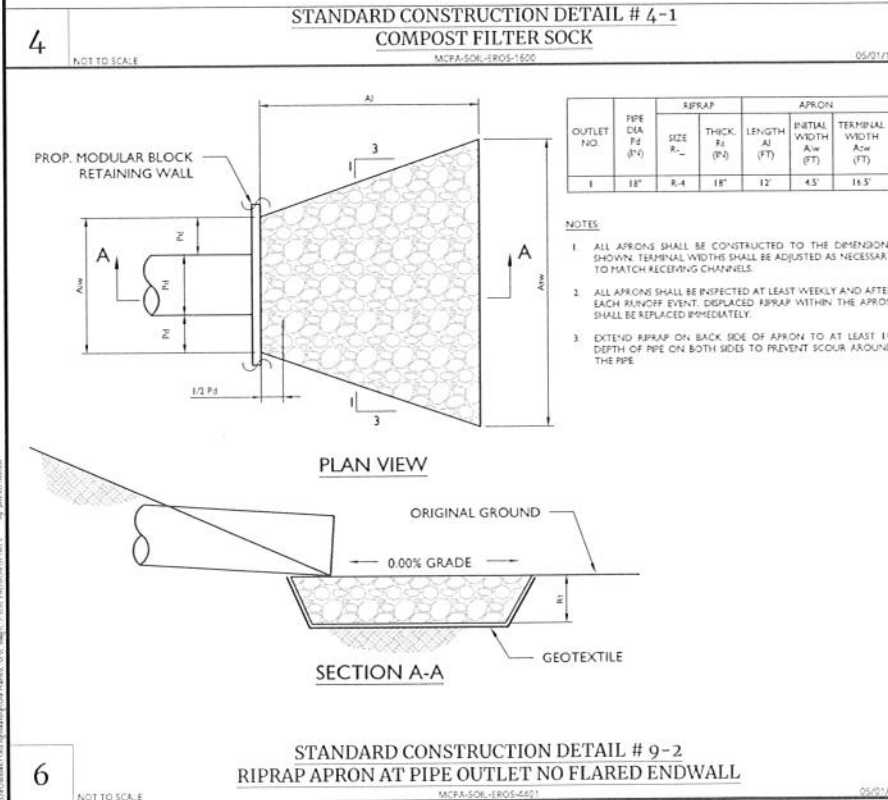
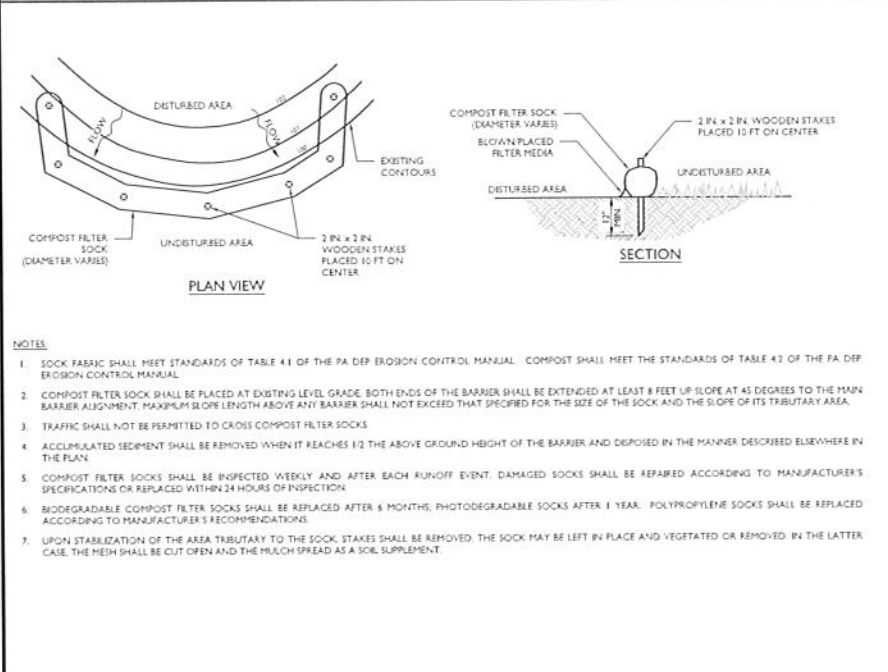
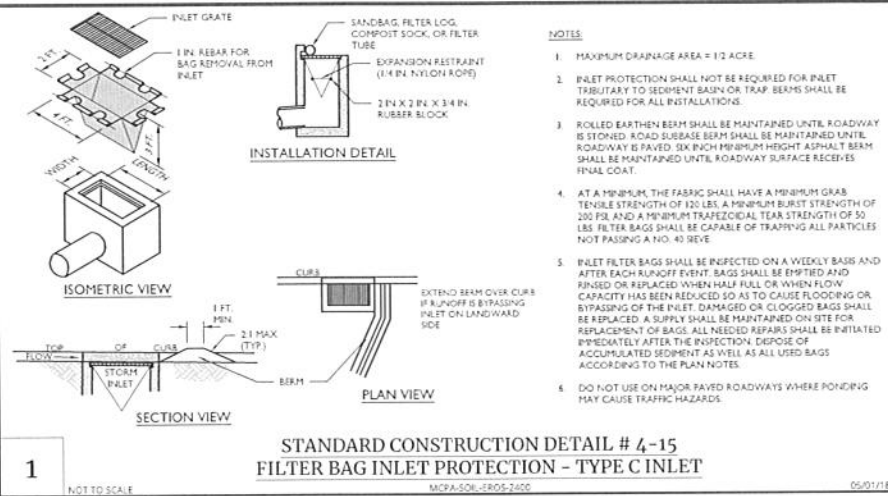
SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	11/13/24	NJ	MR

PROJECT NUMBER	DRAWING NAME
2400811A	C-LIGHT

SHEET TITLE: LIGHTING PLAN

SHEET NUMBER: 5.00

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05/01/18	CHECKED	MC	MC	MC
05/01/18	APPROVED	MC	MC	MC
05/01/18	DESIGNED	MC	MC	MC
05/01/18	CHECKED	MC	MC	MC
05/01/18	APPROVED	MC	MC	MC
05/01/18	DESIGNED	MC	MC	MC
05/01/18	CHECKED	MC	MC	MC
05/01/18	APPROVED	MC	MC	MC

Christopher John Riggie

PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
LICENSE NUMBER: PE079508
COLLIERS ENGINEERING & DESIGN, INC.

PRELIMINARY LAND DEVELOPMENT PLAN

FOR

ICAD SERVICES, INC

PROPOSED PARKING LOT IMPROVEMENTS

PARCEL ID # 36-27-500
505 FARMBROOK LANE
MANCHESTER, PA 17406

**MANCHESTER TOWNSHIP
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AS SHOWN	12/3/24	MC	MC
PROJECT NUMBER	2408811A	DRAWING NAME	C-535C

SOIL EROSION & SEDIMENT CONTROL DETAILS

SHEET NUMBER: 7.00

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CONSTRUCTION SEQUENCE OF BMP INSTALLATION AND REMOVAL

1. CONTRACTOR TO BECOME FAMILIAR WITH ALL TEMPORARY AND PERMANENT BMPs, SOIL EROSION STANDARDS, DETAILS, AND NOTES AS SHOWN ON EROSION CONTROL PLAN AND THIS SHEET.
2. CONTRACTOR TO FIELD-MARK FOLLOWING AREAS:
 - a. ALL WATERS OF THE COMMONWEALTH BOUNDARIES PRIOR TO PROPOSED EARTH-DISTURBANCE.
 - b. LIMITS OF DISTURBANCE.
 - c. LIMITS OF DISTURBANCE WITHIN THE INTERIOR OF THE SITE.
3. SAWCUT LINE AND LIMIT OF PAVEMENT REMOVAL.
4. INSTALLATION OF ALL PROPOSED EAS BMPs PRIOR TO ANY UPSLOPE DISTURBANCE INCLUDING SITE DEMOLITION ACTIVITIES.
5. INSPECT AND RECONSTRUCT BMPs INSTALLED DURING DEMOLITION PHASE.
6. CLEAR & GRUB EXISTING VEGETATION.
7. STRIPPING, STOCKPILING, INSTALLING COMPOST FILTER SOCK DOWNSLOPE, AND STABILIZATION OF TOPSOIL.
8. ADEQUATE PERIMETER BMPs FOR EXCAVATION OF ALL UTILITY TRENCHES. IN ADDITION TO PERIMETER BMPs, THE DISTRICT SUGGESTS PLACING SOIL MATERIAL ON THE UPSLOPE SIDE OF THE TRENCH, LIMITING THE LENGTH OF OPEN TRENCH TO THAT WHICH WILL BE BACKFILLED THE SAME DAY, IMMEDIATELY STABILIZING, AND IMMEDIATELY REPAIRING ANY AFFECTED BMPs.
9. INSTALL TEMPORARY CONSTRUCTION FENCE.
10. AS SOON AS SLOPES, CHANNELS, DITCHES AND OTHER DISTURBED AREAS REACH FINAL GRADE THEY MUST BE STABILIZED. UPON COMPLETION OR TEMPORARY CESSATION OF ANY EARTH DISTURBANCE ACTIVITY FOR AT LEAST 4 DAYS, TEMPORARY STABILIZATION IS REQUIRED.
11. NO REGULAR EQUIPMENT MAINTENANCE SHALL BE PERFORMED ON SITE. IF EMERGENCY SERVICE IS TO BE PERFORMED, CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PREVENT AND CONTAIN ANY FUEL OR OIL SPILLS.
12. REMOVE EXISTING STRUCTURES AS NOTED ON THE EXISTING CONDITIONS AND DEMO PLAN.
13. REMOVE EXISTING PAVEMENT AS NECESSARY.
14. REMOVE TOP SOIL AS NECESSARY.
15. INSTALL PROPOSED STORMWATER INLETS, TRENCH DRAINS, PIPES, & UNDERGROUND BASIN. INSTALL INLET BMPs AS REQUIRED.
16. INSTALL UNDERGROUND INFILTRATION BASIN. (CRITICAL STAGE OF CONSTRUCTION - DESIGN ENGINEER TO BE PRESENT DURING THIS PHASE)
 - a. INSTALL AND MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES (AS PER THE PENNSYLVANIA EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL) DURING CONSTRUCTION. PLACE COMPOST FILTER SOCKS UPSLOPE OF THE BED AREA. THE EXISTING SUBGRADE UNDER THE BED AREAS SHOULD NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO GEOTEXTILE AND STONE BED PLACEMENT. POSITIVE DRAINAGE SHOULD BE MAINTAINED UNTIL THE BASIN HAS BEEN FULLY STABILIZED.
 - b. ENSURE ALL PIPING, CHAMBERS, INSPECTION PORTS, AND ALL OTHER NECESSARY BASIN STRUCTURES HAVE BEEN INSTALLED PER THE MANUFACTURERS SPECIFICATIONS. SEE SHEET C19 ON THIS SET FOR MANUFACTURERS INSTALLATION INSTRUCTIONS.
 - c. WHERE EROSION OF SUBGRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHOULD BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARPED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE (OR EQUIVALENT) AND LIGHT TRACTOR. ALL FINE GRADING SHOULD BE DONE BY HAND.
 - d. IF THERE ARE ANY REMAINING RESIDUAL SOILS ENCOUNTERED DURING THE EXCAVATION THEY SHALL BE REPLACED WITH INFILTRATION MEDIA. APPROVED BY THE GEOTECHNICAL ENGINEER.
 - e. GEOTEXTILE AND BED AGGREGATE SHOULD BE PLACED IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION AND INSTALLATION OF STRUCTURES. GEOTEXTILE SHOULD BE PLACED IN ACCORDANCE WITH MANUFACTURERS STANDARDS AND RECOMMENDATIONS. ADJACENT STRIPS OF GEOTEXTILE SHOULD OVERLAP A MINIMUM OF 16 INCHES. IT SHOULD ALSO BE SECURED AT LEAST 4 FEET OUTSIDE OF BED IN ORDER TO PREVENT ANY RUNOFF OR SEDIMENT FROM ENTERING THE STORAGE BED. THIS EDGE STRIP SHOULD REMAIN IN PLACE UNTIL ALL BARE SOILS CONTIGUOUS TO BEDS ARE STABILIZED AND VEGETATED. AS THE SITE IS FULLY STABILIZED, EXCESS GEOTEXTILE ALONG BED EDGES CAN BE CUT BACK TO EDGE OF THE BED, PER PLAN.
 - f. CLEANWASHED, UNIFORMLY GRADED AGGREGATE SHOULD BE PLACED IN THE BED IN MAXIMUM 6-INCH LIFTS. EACH LAYER SHOULD BE LIGHTLY COMPACTED, WITH CONSTRUCTION EQUIPMENT KEPT OFF THE BED BOTTOM AS MUCH AS POSSIBLE.
 - g. APPROVED SOIL MEDIA SHOULD BE PLACED OVER INFILTRATION BED IN MAXIMUM 6-INCH LIFTS.
 - h. DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED. ROUGH GRADE TO WITHIN 6" OF FINISHED GRADE.
17. INSTALLATION OF PROPOSED RETAINING WALLS, RIPRAP APRON, SITE PAVING, AND RECONSTRUCT EXISTING INLET SITE PAVING.
18. ROUGH GRADE THE REMAINING PORTION OF THE SITE.
19. INSTALL STONE BASE COURSE & SITE CURBING.
20. INSTALL POLE BASES AND SITE LIGHTING POLES AND FIXTURES.
21. ALL BMPs ARE TO BE INSPECTED WEEKLY AND AFTER EVERY RAIN EVENT. THEY SHALL BE CLEANED AND REPAIRED AS NECESSARY. DEWATER THE SITE AS NECESSARY. VERTICAL CONSTRUCTION MAY BEGIN.
22. ALL SOIL REMOVAL AND INSTALLATION SHALL BE PERFORMED IN VERTICAL INCREMENTS TO MINIMIZE EROSION OF NEIGHBORING SOIL.
23. PERFORM CONCRETE WASHOUT FOR ALL APPLICABLE MACHINES/TOOLS.
24. ANY DISTURBED AREA SHALL BE TEMPORARILY STABILIZED PER THE NOTES ON THIS SHEET AND EROSION CONTROL PLAN. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL DURING CONSTRUCTION AND SHALL SPRINKLE DISTURBED AREAS OR PERFORM OTHER MEANS OF DUST CONTROL AS NECESSARY.
25. REPLACE AND INSTALL TOP SOIL (APPROXIMATELY 4-6 INCHES).
26. PERMANENTLY STABILIZE ANY REMAINING AREA PER NOTES ON EROSION CONTROL PLAN.
27. THE SITE IS CONSIDERED STABILIZED WHEN A MINIMUM OF 70% VEGETATION COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN INSTALLED.
28. ALL REMAINING CONSTRUCTION MATERIAL TO BE REMOVED FROM SITE.
29. ALL REMAINING STOCK PILED DIRT SHALL BE REMOVED FROM THE SITE. CONTRACTOR IS RESPONSIBLE TO DISPOSE OF DIRT PER ALL LOCAL, COUNTY, AND STATE LAWS.
30. ALL IMPERVIOUS AREAS ARE TO BE CLEANED OF DIRT AND DEBRIS.
31. REPAIR AND PERMANENTLY STABILIZE AREAS DISTURBED DURING CONSTRUCTION. COMPOST FILTER SOCK, INLET PROTECTION AND OTHER EAS BMPs MAY BE REMOVED UPON ACHIEVING PERMANENT STABILIZATION.
32. PROJECT COMPLETION ESTIMATED AT 2-3 MONTHS.

TABLE 4.1
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years
Two-ply systems					
Inner Containment Netting	HDPE biaxial net				
	Continuously wound				
	Fusion-welded junctures				
	3/4" X 3/4" Max. aperture size				
Outer Filtration Mesh	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch)				
	3/16" Max. aperture size				
	Sock fabrics composed of burlap may be used on projects lasting 6 months or less.				

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TABLE 4.2
Compost Standards

Organic Matter Content	80% - 100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5 - 8.0
Moisture Content	35% - 55%
Particle Size	98% pass through 1" screen
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

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SOIL LIMITATION

SOIL NAME	CUTBANKS CAVE	CORROSIVE TO CONCRETE/STEEL	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE/ SEASONAL HIGH WATER TABLE	HYDRIC/ HYDRIC INCLUSIONS	LOW STRENGTH/ LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK - SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS
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SOIL USE LIMITATIONS AND RESOLUTIONS:

1. CUTBANKS - CONTRACTOR SHALL BE AWARE OF POTENTIAL ISSUES AND FOLLOW OSHA GUIDELINES FOR OPEN TRENCHING.
2. CORROSIVE TO STEEL - IF STEEL PIPE IS USED, RUST PROTECTION COATINGS AND/OR USE OF CATHODIC PROTECTION IS RECOMMENDED.
3. EASILY ERODIBLE - SPECIAL ATTENTION SHALL BE GIVEN TO MAINTAINING EXISTING VEGETATION IN EASILY ERODIBLE SOILS, TO THE EXTENT POSSIBLE.
4. LOW STRENGTH - UTILITY TRENCHING WILL NOT BE ADVERSELY EFFECTED BY POOR SOIL STRENGTH.
5. SLOW PERCOLATION - BMPs TO INSPECTED AFTER RUNOFF EVENTS, MAKE SURE THERE IS AN ADEQUATE AREA FOR PLUMPED WATER DISCHARGE.
6. PIPING - POTENTIAL IN THE SOIL WILL BE MINIMIZED BY THE USE OF TRENCH PLUGS, ANY PLANNED.
7. POOR SOURCE OF TOPSOIL - ANY EXCAVATED TOPSOIL WILL BE STOCKPILED AND REUSED. IF NECESSARY ADDITIONAL TOPSOIL WILL BE BROUGHT ON-SITE.



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2	04/22/25	NJ	REVISED PER TOWNSHIP COMMENTS
3	07/02/25	NJ	REVISED PER PLANNING COMMISSION APPROVAL
4	07/02/25	NJ	REVISED PER PLANNING COMMISSION APPROVAL
5	08/07/25	NJ	REVISED PER TOWNSHIP ZONE REVIEW
6	08/29/25	NJ	REVISED PER YORK COUNTY CONSIDERATION OF INLET COMMENTS
7	09/16/25	JK	REVISED PER TOWNSHIP COMMENTS DATED 09/16/25
8	10/29/25	JK	REVISED PER TOWNSHIP COMMENTS DATED 10/29/25

Christopher John Riggie
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PRELIMINARY LAND
DEVELOPMENT PLAN

FOR
ICAD SERVICES, INC

PROPOSED PARKING LOT
IMPROVEMENTS

PARCEL ID # 36-27-500
505 FARMBROOK LANE
MANCHESTER, PA 17406

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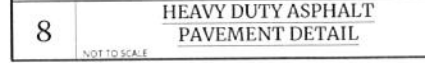
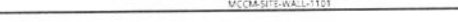
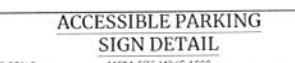
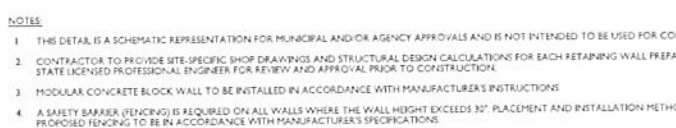
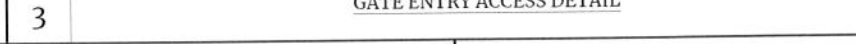
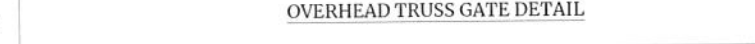
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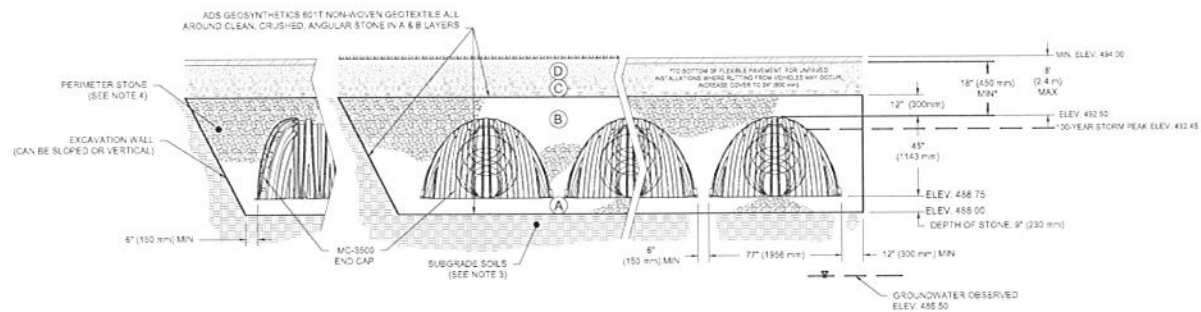
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PROJECT NUMBER 24028811A	DRAWING NAME C353C		

SHEET TITLE:
SOIL EROSION & SEDIMENT
CONTROL DETAILS

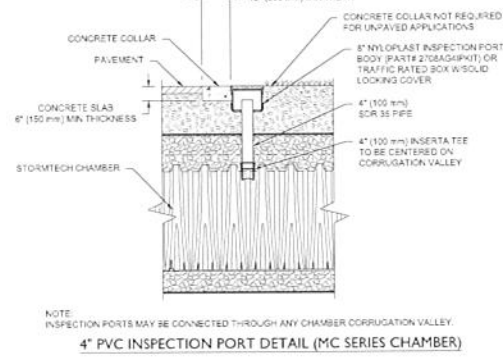
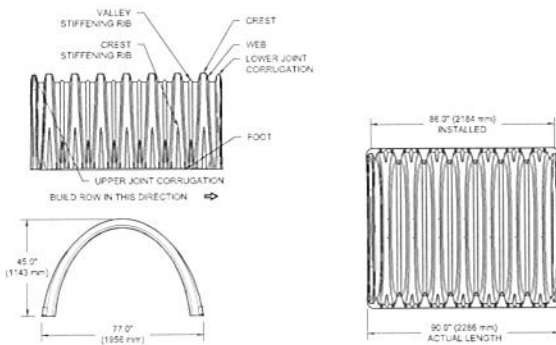
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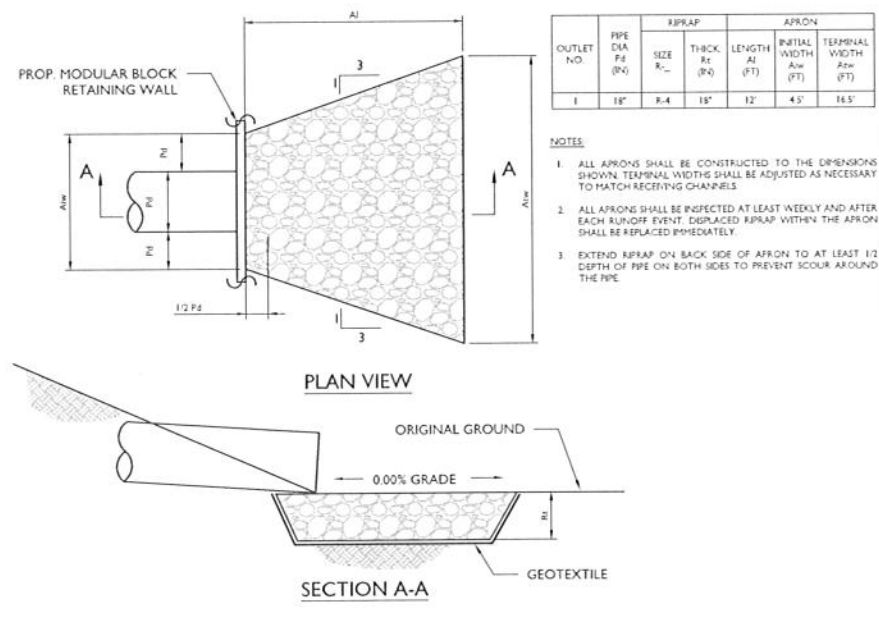
- NOTES**
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45/76 DESIGNATION 55.
 - MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT AS DERIVED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LB/FT/LIN. AND 3) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



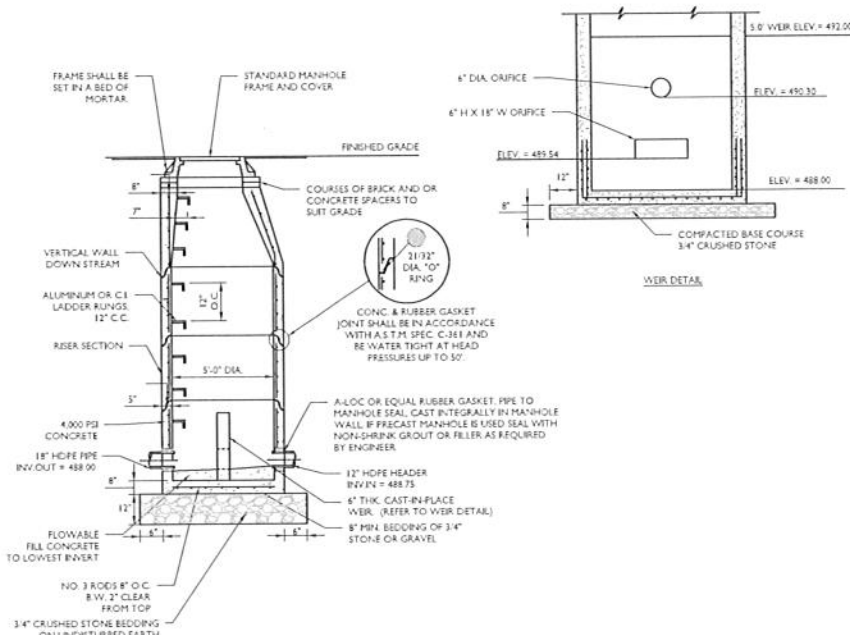
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CANL-DTLS-STN0-G9D
NOT TO SCALE

2 SUBSURFACE INFILTRATION CHAMBER BASIN DETAIL
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NOT TO SCALE

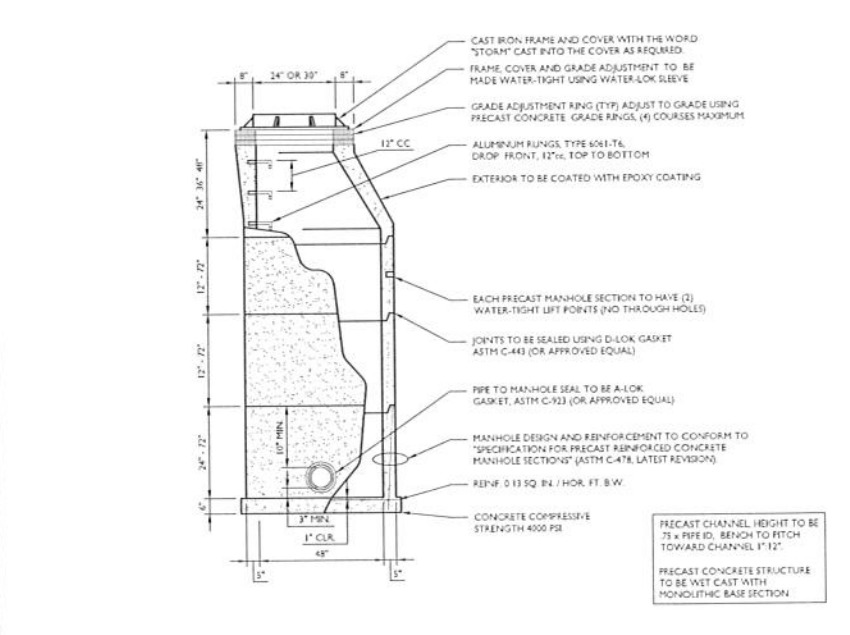
4 R1-1 SIGN DETAIL
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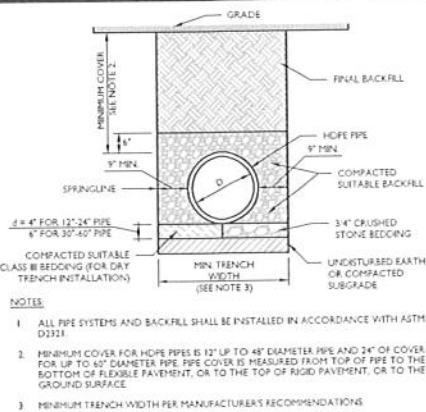
5 STANDARD CONSTRUCTION DETAIL # 9-2 RIPRAP APRON AT PIPE OUTLET NO FLARED ENDWALL
MCPA-SOIL-EROS-402-1
NOT TO SCALE



6 OUTLET CONTROL STRUCTURE (OCS MH S-11) DETAIL
MCM-UTL-STRM-2500-1
NOT TO SCALE



7 48\"/>



3 HDPE STORM PIPE BEDDING DETAIL
MCM-UTL-STRM-2302
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4	07/01/25	ISSUED FOR TOWNSHIP COMMENTS
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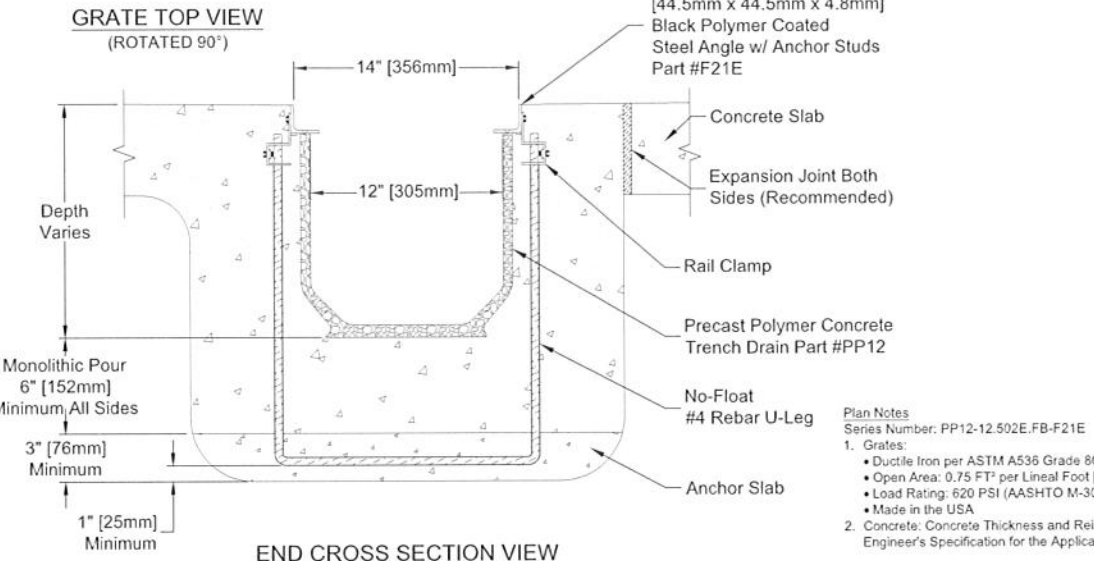
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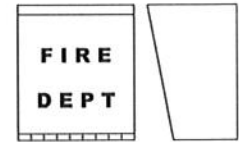
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AS SHOWN	12/3/24	NJ	MR
PROJECT NUMBER	3400811A	DRAWING NAME	C-07.3
SHEET TITLE	CONSTRUCTION DETAILS		
SHEET NUMBER	10.00		

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



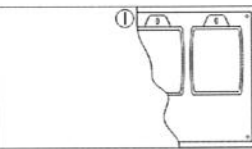
PRECAST TRENCH DRAIN DETAIL



1400
5.375" H x 4.5" W x 3.675" D
136.5mm H x 114.3mm W x 93.3mm D

Lock Boxes

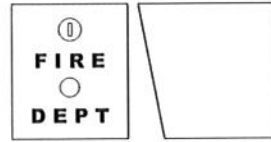
- 1400
 - Access door has a hole for a standard padlock and accepts Fire Department pad lock
 - Gate opens automatically when lock is removed and door is open
 - Holds gate open until door is closed and lock is replaced
 - Ample room inside for additional access control devices or keys
 - Blank label inside door provides space for written instructions
 - 14-gauge steel painted bright red
 - Built-in micro-switch for gate/door activation



1200-080
6" H x 11.125" W x 4.5" D (154mm H x 282.5mm W x 114.3mm D)

Auxiliary Transformer Box

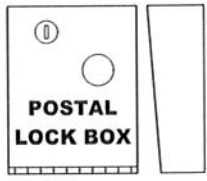
- Lockable transformer box
- Indoor or outdoor use
- Holds up to four 20 VA transformers
- ETL Listed



1401
5.375" H x 4.5" W x 5.375" D
136.5mm H x 114.3mm W x 136.5mm D

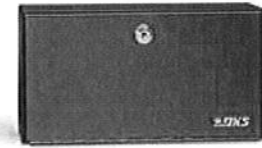
- 1401
 - Designed to accept the Knox 3501 key switch used by Fire Departments throughout the country
 - Ample room inside for additional access control devices or keys
 - 14-gauge steel
 - Faceplate is painted bright red, enclosure is painted black

Mounting
Lock boxes can be surface or post mount



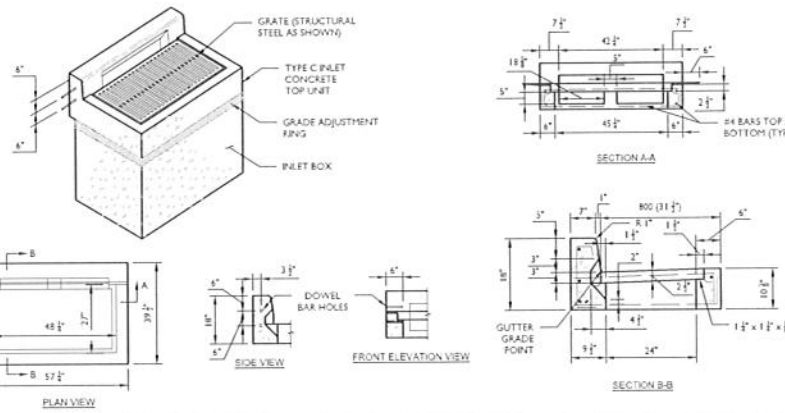
1402
6.5" H x 5" W x 2.375" D
165.1mm H x 127mm W x 60.3mm D

- 1402
 - Designed to accept the standard postal key lock
 - Postal lock can be installed so that it activates a gate or door, or can be installed to open the access door of the 1402 to obtain an access control device or keys
 - 14-gauge steel painted postal blue
 - Built-in micro-switch for gate/door activation

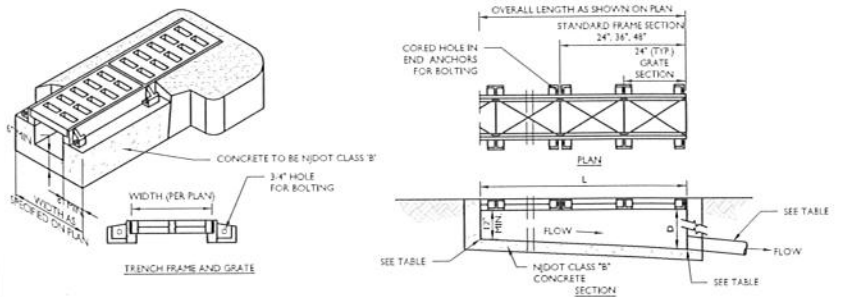


Transformer Box

KNOX BOX DETAIL



TYPE "C" INLET DETAIL



NOTES

- TRENCH DRAINS TO BE HEAVY DUTY CAST IRON TYPE AS MANUFACTURED BY CAMPBELL CORPORATION. PATTERN # 4504 (COVER) & # 4529 (GRATE) FOR H-30 (LOADING OR APPROVED EQUAL).
- WIDTH, DEPTH AND BOTTOM SLOPE OF TRENCH AS SPECIFIED ON THE PLANS.
- MINIMUM BOTTOM SLOPE = 0.30%

TRENCH DRAIN NO.	GRATE		INVERT		LENGTH	SLOPE	RECEIVING
	A	B	A	B			
1	454.30	493.75	493.34	491.00	491.00	37.8'	0.95% 12" HOPE 104 S-16
2	454.30	493.82	493.30	492.38	491.54	92.0'	1% 12" HOPE 104 S-16
3	493.55	493.84	492.55	492.17	491.00	75.5'	0% 12" HOPE 104 S-16

TRENCH DRAIN DETAIL

STEEL GUIDE RAIL



STORMWATER OPERATION & MAINTENANCE PROGRAM FOR BMPS

SUBSURFACE INFILTRATION BASIN	
OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE
ALL INLETS AND MANHOLES CONTRIBUTING TO THE SUBSURFACE FACILITY SHOULD BE VISUALLY INSPECTED FOR TRASH AND DEBRIS. IF TRASH OR DEBRIS IS FOUND, REMOVE FROM SYSTEM AND DEPOSE OF IN ACCORDANCE WITH ALL APPLICABLE STATE AND FEDERAL REGULATIONS. VACUUM TRUCKS OR SIMILAR EQUIPMENT MAY BE NECESSARY TO ENSURE ALL TRASH AND DEBRIS IS REMOVED FROM THE INLETS, MANHOLES AND/OR SUBSURFACE INFILTRATION FACILITY.	MONTHLY
THE SUBSURFACE SYSTEM SHALL BE VISUALLY INSPECTED VIA THE FACILITY'S MANHOLES FOR EVIDENCE OF STANDING WATER (LONGER THAN 72 HOURS AFTER A 1-YEAR 24-HOUR, 2.80 INCH, OR GREATER RAINFALL EVENT). IF STANDING WATER IS OBSERVED, THE OWNER SHALL CONTACT A LICENSED PROFESSIONAL ENGINEER TO PREPARE A CORRECTIVE ACTION PLAN. THE OWNER AND LICENSED PROFESSIONAL ENGINEER WILL BE RESPONSIBLE FOR SECURING ANY REQUIRED PERMIT MODIFICATIONS FROM CDDC AND FAFER PRIOR TO REMEDIATION.	AS NEEDED AND TWICE PER YEAR
VISUALLY INSPECT THE SUBSURFACE SYSTEM VIA THE FACILITY'S MANHOLES FOR SALT OR OTHER CORROSIVE SUBSTANCE ACCUMULATIONS WITHIN THE SYSTEM. IF EVIDENCE IS FOUND, RINSE THE SYSTEM BY USE OF WATER AND VACUUM TRUCKS TO FLUSH OUT AND REMOVE ANY DEBRIS/POLLUTANTS FOUND IN THE SYSTEM. ALL DEBRIS/POLLUTANTS THAT ARE REMOVED FROM THE SYSTEM DURING FLUSHING SHALL BE DEPOSED OF IN ACCORDANCE WITH ALL APPLICABLE STATE AND FEDERAL REGULATIONS.	ONCE PER YEAR IN LATE SPRING AFTER FINAL SNOW-MELT

STORMWATER COLLECTION/CONVEYANCE	
OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE
INLETS & CATCH BASINS SHOULD BE CLEANED OF DEBRIS. REPAIRS SHOULD BE MADE AS SOON AS PROBLEMS ARISE.	CLEAN ONCE PER YEAR & REPAIR AS NEEDED
INSPECT OUTFALL STRUCTURES QUARTERLY DURING 1ST YEAR & ONCE PER YEAR THEREAFTER.	QUARTERLY & ONCE PER YEAR
COLLECTION/CONVEYANCE SYSTEMS SHOULD BE INSPECTED TWICE PER YEAR MINIMUM.	TWICE PER YEAR
GENERAL MAINTENANCE NOTES: 1. VACUUM TRUCKS MAY BE AN EFFICIENT CLEANING MECHANISM. 2. CATCH BASINS SHOULD BE CLEANED BEFORE HALF FULL.	

LANDSCAPE RESTORATION (MEADOW)	
OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE
WEEDS MUST BE CAREFULLY CONTROLLED AND CONSISTENTLY MOVED BACK TO 44 INCHES TALL WHEN THEY REACH 12 INCHES IN HEIGHT.	FIRST GROWING SEASON
WEEDS SHOULD CONTINUE TO BE MONITORED AND MOVED AND RHYZOMATOUS WEEDS SHOULD BE SPOT TREATED WITH HERBICIDE. WEEDS SHOULD NOT BE SPRAYED WITH HERBICIDE AS THE DRIFT FROM THE SPRAY MAY KILL LARGE PATCHES OF DESIRABLE PLANTS, ALLOWING WEEDS TO MOVE IN TO THESE NEW OPEN AREAS.	SECOND GROWING SEASON
MEADOW SHOULD BE MOVED VERY CLOSELY TO THE GROUND. THE MOVED MATERIAL SHOULD BE REMOVED FROM THE SITE TO EXPOSE THE SOIL TO THE SUN.	ONCE PER YEAR (LATE SUMMER OR EARLY FALL)



REV	DATE	DESCRIPTION
1	01/15/20	REVISED PER TOWNSHIP COMMENTS
2	02/05/20	REVISED PER TOWNSHIP COMMENTS
3	07/05/20	REVISED PER TOWNSHIP COMMENTS
4	07/05/20	REVISED PER TOWNSHIP COMMENTS
5	07/05/20	REVISED PER TOWNSHIP COMMENTS
6	07/05/20	REVISED PER TOWNSHIP COMMENTS
7	07/05/20	REVISED PER TOWNSHIP COMMENTS
8	07/05/20	REVISED PER TOWNSHIP COMMENTS

Christopher John Riggie
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
LICENSE NUMBER: PE079508
COLLIERS ENGINEERING & DESIGN, INC.

PRELIMINARY LAND DEVELOPMENT PLAN
FOR
ICAD SERVICES, INC.
PROPOSED PARKING LOT IMPROVEMENTS
PARCEL ID # 36-27-500
505 FARMBROOK LANE
MANCHESTER, PA 17406
MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA