

THE TOWNSHIP OF MANCHESTER

YORK COUNTY



PENNSYLVANIA

MANCHESTER TOWNSHIP PLANNING COMMISSION AGENDA

Wednesday –October 29, 2025 – 6:00 p.m.

CALL TO ORDER

APPROVAL OF MINUTES FROM September 24, 2025

NEW BUSINESS:

- **RVW #2025-07 3875 & 3885 Board Road LLC FSD** – The applicant requests approval of a Preliminary/Final Subdivision and Land Development Plan for a lot consolidation and construction of a contractor's office and storage building for a total of 20,010 square feet and associated improvements in the Industrial (I) District at 3875 and 3885 Board Road, UPI 36-000-LH-0016.00-00000 and 36-000-LH-0015.00-00000.
- **RVW #2025-11 LCBC Church FSD** – The applicant requests approval of a Preliminary / Final Subdivision Plan for a lot consolidation in the Office (O) District at 1400 Church Road, UPI 36-000-JH-0115.00-00000, 36-000-JH-0001.F0-00000 and 36-000-KH-0011.B0.00-00000.
- **RVW #2025-12 LCBC Church FLD** – The applicant requests approval of a Preliminary / Final Land Development Plan for construction of a 36,340 house of worship in the Office (O) District at 1400 Church Road, UPI 36-000-JH-0115.00-00000, 36-000-JH-0001.F0-00000 and 36-000-KH-0011.B0.00-00000.
- **RVW #2025-15 FXG Parking Lot Expansion FLD** – The applicant requests approval of a final land development plan for a parking lot expansion at 505 Farmbrook Lane in the Industrial (I) District, UPI 36-000-27-0005.00-00000.

OLD BUSINESS:

None

ADJOURNMENT

THE TOWNSHIP OF MANCHESTER

YORK COUNTY



PENNSYLVANIA

PLANNING COMMISSION MINUTES September 24, 2025

MEETING

The Manchester Township Planning Commission held its regularly scheduled meeting on Wednesday, September 24, 2025, at the municipal building located at 3200 Farmtrail Road, York, PA, 17406. Vice-Chairman Kenneth Stoutzenberger called the meeting to order at 6:00 p.m.

ATTENDANCE *(A) = Absent

Nicholas Hauck, Chairperson (A)
Kenneth Stoutzenberger, Vice-Chair
Brian Salsgiver, Member
Scott Ettien, Member (A)
Daniel Spies, Member

B.J. Treglia, Township Engineer
Rachel Vega, Zoning/Planning Officer
Larry Young, Solicitor (A)
Cory McCoy, CS Davidson Engineer (A)
Harry Long, Supervisor

APPROVAL OF MINUTES

Upon a motion by Mr. Salsgiver, seconded by Mr. Spies, the planning commission approved the August 27, 2025, minutes as presented. Motion carried 3-0.

NEW BUSINESS

- **RVW #2025-09 Hunsberger FSD** – The applicant requests approval of a Preliminary/Final Subdivision Plan for a lot line adjustment in the Residential Low (RL) District at 748 and 772 Greenbriar Road, UPI 36-000-KH-0070.A0-00000 and 36-000-KH-0072.00-00000. Upon a motion by Mr. Stoutzenberger, seconded by Mr. Spies, the planning commission recommended approval of RVW #2025-09, Hunsberger preliminary/final subdivision plan, with the condition that subdivision and land development item 18 and general comment number 3 in the CS Davidson review letter dated September 24, 2025, are addressed. The planning commission also recommended approval of waivers from § 22-203 to allow a preliminary/final subdivision plan submission, §22-703.2 to not construct concrete curbs, and §22-709.1 to not construct sidewalks. Motion carried 3-0.
- **RVW #2025-10 Jelleco, LLC FSD** – The applicant requests approval of a Preliminary / Final Subdivision Plan for a lot consolidation in the Residential Low (RL) District at 1270 and 1260 Mill Creek Road, UPI 36-000-LH-0129.E0-00000 and 36-000-LH-0155.00-00000. Upon a motion by Mr. Salsgiver, seconded by Mr. Spies, the planning commission recommended approval of RVW #2025-010, Jelleco, LLC preliminary/final subdivision plan with the condition that subdivision and land development items 6, 13, and 19 in the CS Davidson review letter dated September 24, 2025, are addressed. The planning commission also recommended approval of waivers from § 22-303 to allow a preliminary/final subdivision plan submission, §22-703.2 to not construct concrete curbs, and §22-709.1 to not construct sidewalks. Motion carried 3-0.

- **RVW #2025-05 Penn Avenue Residential PSD** – The applicant requests approval of a Preliminary Subdivision Plan for 83 single-family dwelling lots and two open space lots in the Residential Low (RL) District, UPI 36-000-JH-0070.C0-00000. Upon a motion by Mr. Salsgiver, seconded by Mr. Spies, the planning commission recommended approval of RVW #2025-05, Penn Avenue Residential preliminary subdivision plan, with the condition that zoning item 4.c, subdivision and land development items 1, 3, 4, 5, 6, 8, 9, 10, 13, 14, general comment numbers 6, 16, 17, 21, 22, 23, 26, 29, 38, 39, and traffic engineer comments 2, 4, and 6 in the CS Davidson review letter dated September 24, 2025, are addressed. Additionally, the planning commission recommended the township solicitor review the access easement across the subject property to ensure the developer is legally able to relocate the access drive to the cemetery. Motion carried 3-0.

OLD BUSINESS

ADJOURNMENT

With no additional business on the agenda, Mr. Stoutzenberger adjourned the meeting at 7:13 p.m.

Respectfully submitted,

Rachel Vega
Zoning/Planning Officer



3904 B Abel Drive
Columbia, PA 17512
717-522-5031
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September 17, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

RE: 3875-3885 Board Road – Office & Storage
Preliminary/Final Subdivision & Land Development Plan
Manchester Township Plan #2025-07
Engineer's Project No. 0841.3.02.A1
Response #1

Dear Rachel:

On behalf of 3875 & 3885 Board Road, LLC, *PennTerra Engineering, Inc. (PTE)* has received the 7/30/2025 review from C.S. Davidson, Inc.. The following responses are in bold after each comment:

Waiver Requests (Subdivision Plan & Land Development Plan)

1. §22-303 – To allow a Preliminary/Final Plan.
2. §22-703.2 – Requirement to construct concrete curbing along roadway.
3. §22-709.1 – Requirement to construct concrete sidewalk along the roadway.

Subdivision Plan Review

Zoning Ordinance:

1. Plan sets shall be combined into a single "Lot Consolidation and Land Development Plan".
Both the Land Development and Lot Consolidation Plan sets have been combined as requested.
2. Provide the existing and proposed net and gross lot areas in table form on sheet 3 of the plans (§27-902).
Both existing and proposed lot areas are provided on the Lot Add-On Plan. Sheet 4 of 17.
3. List the existing and proposed lot areas in square feet in addition to acres (§27-902).
Both square feet and acres are listed for the lot areas.
4. The adjacent properties to the north are within East Manchester Township's Medium Density Residential District. As such, a 50' buffer yard shall be provided in addition to the required setback(s) (§27-904.3.A). When required by the Planning Commission in a buffer yard, a dense screen planting shall be provided.
A 50' buffer yard is provided in addition to the required setbacks.
5. A 50' front setback is required within the Industrial zoning district along arterial roads (Board Road).
The front yard setback is revised to be 50'.

Subdivision Land Development Ordinance:

1. The cover sheet shall include the owner(s)'s notarized signature prior to the Planning Commission meeting. (§22-404.1.2)

Acknowledged.

2. The plan preparers dated and sealed signature shall be added to the plans prior to final approval (§22-404.1.4).

Acknowledged. The plans shall be sealed upon final review and approval.

3. Label all significant streets on the location map on the cover sheet of the plans – Marrienne Drive, Shandy Lane, etc. (§22-404.1.9)

The requested streets are provided on the Cover Sheet, Location Map.

4. The minimum lot depth required and proposed for each lot shall be provided on the plan set (§22-404.3.12). N/A

The minimum lot depth existing is 270 ft the proposed lot depth is 270 ft.

5. The planning module number shall be listed in the site data table (§22-404.3.19).

A Planning module number shall be provided once a number is issued.

6. Label the southeasternmost property corner (found or to be set and material/type) (§22-404.4.13.A).

The property corner is noted, REBAR (Set) on the Lot Consolidation Plan.

7. Significant natural features such as wetlands shall be delineated on the plans. If none exist on the site, note so on the coversheet along with reference to the report utilized to make the determination (§22-404.4.17).

The significant features are illustrated on the plan, Per the Vortex Environmental site visit and study there are no existing wetlands.

8. Any existing easements or rights-of-way (Overhead utilities outside of the public street right-of-way) shall be shown and dimensioned on the plans. (§22-404.4.23).

The survey did not identify any overhead easements therefore none are illustrated.

9. The waiver requests are applicable to the subdivision plan and shall be listed on the coversheet (§407.3.13).

Noted.

10. Township standard notes numbers: 1, 4, 5, 6, 7, 10.1, 11, 14, 17, 18, 19, 21, 22, 23, 24, 25, 26, 28, 33, and 35 shall be added to the plans, see attachment 3 of the SALDO for the required wording. (§22-408.3).

The notes are added to sheet 2 of 17. The wetlands and recording certifications are located on the cover sheet.

General Plan Comments:

1. Add grey hatch used to delineate the ultimate right-of-way to the legend on sheet 3.

A grey hatch is added to sheet 3 that indicated the Right-of-way.

2. The plan shall identify what structures and improvements are to be removed and Zoning/Site Data updated to reflect this.

Sheet 5 of 17 illustrated items to be removed (TBR) and items to remain, (TR).

3. In the offers of dedication, the notary block should be outside of the offers of dedication per the Recorder of Deeds.

The notary block is outside the offers for dedication.

Land Development Plan Review

Zoning Ordinance:

1. The adjacent properties to the north are within East Manchester Township's Medium Density Residential District, provide a 50' buffer yard in addition to the required setback(s) (§27-904.3.A)

A 50' buffer yard is provided on the layout plan.

2. A loading space is required for offices 8,000-25,000 sq. ft. and a loading space is required for storage uses 5,000- 10,000 sq.ft. As shown on the plans, the proposed Office/Storage building requires 2 loading spaces. (§27-1511.1.A. 2 and 6)

One enlarged loading zone to accommodate both areas is provided and illustrated on the plan. The office supplies delivery shall not interfere with any tractor trailer deliveries.

3. A 50' front setback is required within the Industrial zoning district along arterial roads (Board Road).

A 50' ft front yard setback is provided as required.

Subdivision and Land Development Ordinance:

1. The cover sheet shall include the owner(s)'s notarized signature prior to the Planning Commission meeting. (§22-406.1.2)

Noted. The owner's signature is provided.

2. A dated engineer and surveyor seal and signature shall be included on the coversheet. (§22-406.1.4)

The engineer and survey seal shall be completed upon final approval.

3. Label all significant streets on the location map on the cover sheet of the plans – Marriane Drive, Shandy Lane, etc. (§22-404.1.9). The location map shall be at a scale of 1"=2,000'.

The location map is revised to include all significant streets.

4. The existing and proposed net and gross areas shall be included in the site data table. (§22-406.3.1.A and B)

The proposed net and gross areas are provided on the cover sheet.

5. The existing and proposed water and sanitary services shall be listed in the site data table. (§22-406.3.7 and 8)

The existing water is public and sewer is on-lot. The proposed water remains public and the sewer is public.

6. The minimum lot depth (required/proposed) shall be included in the site data table. (§22-406.3.12).

The ordinance does not list a minimum lot depth. Therefore, N/A is listed until the township can provided a minimum lot depth to be placed on the plan.

7. The planning module number shall be provided on the coversheet (§22-406.3.19).

The planning module number shall be placed on the coversheet when it is assigned.

8. The handicap parking spaces (required/proposed) shall be added to the site data table. (§22-406.3.23)
Handicapped spaces are calculated on the cover sheet under Parking Data.
9. The existing features legend shall include the overhead utilities and gas lines. (§22-406.4.3)
The existing features legend is revised to include the overhead utilities and gas line.
10. The property corners shall be labeled (found or to be set and material/type) on the existing conditions and lot layout plans (§22-406.4.13.A).
The property corners area labeled as needed.
11. Any existing easements or rights-of-way (overhead utilities outside of the public street right-of-way) shall be shown and dimensioned on the plans. (§22-406.4.23)
All existing easements are illustrated on the plan. The survey did not pick up any easements associated with the overhead utility line.
12. The plans shall reference the location of the nearest fire hydrants (3835 Board Road and at intersection with Beshore School Rd.). The Fire Marshall shall determine if a fire hydrant is required at this site. (§22-406.4.37.A).
A note is provided on sheet 2, utility note 12.
13. Provide proof of Soil Erosion and Sedimentation Control plan approval from the York County Conservation District. (§22-407.5.1)
Proof of erosion and sedimentation control shall be provided once received. Attached to this letter is a proof of administration review. A technical review shall follow.
14. A PennDOT Highway Occupancy Permit will be required for the proposed access drive.
The permit approval is pending.
15. The applicant is required to pay all Act 57 sanitary sewer fees (§22-407.5.4).
Acknowledged, the applicant shall pay all Act 57 fees. The township shall direct the applicant as to what fees need to be paid.
16. Sanitary sewer design approval shall be obtained from the Manchester Township Municipal Authority Engineer prior to unconditional plan approval (§22-407.5.10).
Acknowledged.
17. Township standard notes numbers: 1, 4, 5, 6, 7, 10.1, 11, 14, 17, 18, 19, 21, 22, 23, 24, 25, 26, 28, 33, and 35 shall be added to the plans, see attachment 3 of the SALDO for the required wording. (§22-408.3).
The notes are added to sheet 2 of 17. The wetlands and recording certifications are located on the cover sheet.
18. A Public Improvement Security Estimate shall be submitted for review and approval by the Township Engineer; and the security amount shall be posted prior to unconditional approval and recording of the final plan. (§22-502)
Noted an Opinion of Cost shall be submitted to determine the Security Estimate.
19. Connection to public water supply will be designed in accordance with the utility company's standards and received approval by its engineer (§22-713.2.A.2).

Noted, The City of York water company shall review the proposed water line. That review is pending.

General Plan Comments:

1. The proposed loading space will restrict parking on the left side of the building. The applicant should resolve this issue accordingly.
The layout has been revised and the proposed truck loading zone no longer restricts parking. Parking is no longer proposed on the left side of the building near the loading zone.
2. A vehicle parked in the parking space nearest to the access drive would violate the clear sight triangle easement. (Nothing > 3' in height within a CST Easement)
The layout is revised to accommodate the CST. The parking stall no longer violates the CST.
3. Provide details and planting specifications for the proposed landscaping areas within the parking lot.
A planting list and tree and shrub details are provided on the landscape plan.
4. The area for the storage portion of the building is incorrect. (115'-70') x 174' = 7,830 sq. ft.
The building size is revised and this has been corrected.
4. A plan and construction details for the proposed retaining shall be provided and sealed by a structural engineer.
Noted, one will be provided under sperate cover.
6. On sheet 7, expand the proposed stormwater easement (L18 and L24) to the eastern property line to allow for inspection/repair of any future erosion/scour.
The stormwater easement is revised to extend to the property line.
7. Refer to the Manchester Township Construction and Material specifications and revise details appropriately –manhole steps, frames and covers, and inside drop. Inside drop connection shall be provided with “Intraflow” low-profile inside drop system manufactured by Forterra Pipe and Precast or an approved equal.
The manhole steps, frames and covers, and inside drop are provided on the detail pages.
8. The proposed sanitary sewer easement required to be provided shall be described on the plans with bearings and distances.
The easements are added to the plan. They are illustrated on sheet 9 of 17.
9. A table shall be provided for the UPI to be assigned to the consolidated lot.
A place holder for the UPI # is located on the Cover Sheet in the Zoning/Data Chart for After Consolidation.
10. Manchester Township shall be listed for the sewer rather than CSD in the list of utilities.
Manchester Township Sanitary Sewer is list for the sewerage rather than CSD.
11. The Planning Commission signature block shall say “Reviewed By” rather than “Approved By.”
The cover sheet Planning Commission signature block is revised as directed.
12. The sheet numbering shall include the number of sheets in the set (i.e. X of Y).

The sheet number system is revised per the comment above.

13. The provided consolidated lot area shall be listed as both Gross and Net.
The consolidated lot area is listed in both the Gross and Net value.
14. The proposed use shall be listed as Contractor Office/Storage in the Site Data.
Noted. This is evident on the Cover Sheet.
15. The plan shall identify what structures and improvements are to be removed and Zoning/Site Data updated to reflect this.
Sheet 5 of 17 illustrated items to be removed (TBR) and items to remain, (TR).
16. In the Zoning/Site Data, list the criteria as being a "Max" or "Min" requirement.
The Zoning/Site Data is revised to indicate minimum or maximum requirements.
17. Include a conversion to township sewer datum with the vertical datum reference.
The township needs to provide this information.
18. Provide and label CST for any drive to remain on the lot.
The CST is illustrated on the Layout plan for the proposed driveway. All other remaining driveway entrances shall be removed.
19. Provide dimensions for any drive to remain on the lot.
Dimensions are provided for the proposed driveway. All other remaining driveway entrances shall for be moved.
20. Dimension the road right of way from the center line, both existing and proposed.
The road right of way is dimensioned on both the existing conditions and proposed layout plan.
21. Identify type, status and location of all existing and proposed property corners.
Existing property corners are provided by survey and are called out per survey information, such as, "MAG NAIL (SET), REBAR (FD), PIPE (FD) and REBAR (SET)" at each corner.
22. Any utilities to be capped, plugged or disconnected shall be identified on the plan.
Capped utilities are labeled on the demolition plan.
23. The on-lot septic systems shall be identified and the intent to remain or be removed.
The on-lot sand mound is scheduled TBR – to be removed.
24. Zoning boundaries shall be identified and labeled.
The Zoning boundary is identified and labeled on the plan.
25. A street cross section shall be provided showing the proposed future location of curb and sidewalk.
The street cross section is added to the detail plan sheet 15 of 18.
26. Loading spaces should be provided for each use, one for office and one for storage.
Two loading spaces are provided and overlap each other. One 12x40 and one 14x70 foot loading spaces are available.

27. Provide all adjacent property owner information as well as show existing structures and driveways.

All adjacent property owner information as well as illustrating the existing structures and driveways are added to the plan.

28. Provide and dimension the driveway length.

The proposed driveway length is +/- 180.57 feet and 24 feet wide.

29. Provide the following standard notes:

- Sidewalk and curbing within six months

Township note number one on sheet 2 of 17.

- Property restoration

Township note number eight on sheet 2 of 17.

- Storm sewer berms

Township note number nine on sheet 2 of 17.

30. In the offers of dedication, the notary block should be outside of the offers of dedication per the Recorder of Deeds.

The notary block is revised to be outside of the offers for dedication.

31. Provide address assignment (which address do they desire to retain once the lots are combined). Also, the address should be provided on layout plan. 3885 Board Road

The address to be retained is 3885 Board Road.

32. Provide cartway and right of way width for Willow Springs Lane.

The cartway and right of way width for Willow Springs Lane is provided on the plans.

33. Utilities are provided on the plan, however, not depicted in the legend, "OU", "NO", and "gas."

The utilities are now depicted on the legend.

34. Provide the following standard notes:

- Rebuilding of non-conformities - N/A
- Sanitary sewer constructed to Municipal Authority specifications
- Non-residential addressing
- "Knox" box
- Zoning Hearing Board decisions - N/A
- Grinder pump prohibition
- Street of address
- No parking
- Permits required
- Blasting
- Fire hydrants
- Sanitary sewer dedication
- Wetlands delineation – **Cover Sheet**
- Limestone certification – **Cover Sheet**
- Recording information – **Cover Sheet**

All notes are located on sheet 2 of 17 unless otherwise indicated above.

Traffic Engineer Comments:

1. Add the following note to the cover sheet: "All traffic signs are to be installed per the PennDOT standard for the installation of Type B Post-Mounted Signs. Refer to Section 931 in the current version of PennDOT Publication 408, Specifications."

This note is added to the General Notes Note 21.

2. The proposed STOP sign on the access drive at the intersection with Board Road shall be 30"x30"

The detail for the proposed Stop Sign is revised to be 30" X 30".

3. There is a parking space within the clear sight triangle. A request for waiver of the clear sight triangle requirement should be submitted.
The parking is revised to eliminate the parking stall within the CST.

Sincerely,
PennTerra Engineering, Inc.



Christopher Sestrich
Enclosures
cc: file



C.S. DAVIDSON, INC.
ENGINEERING A BETTER COMMUNITY

July 30, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

Re: 3875-3885 Board Road – Office & Storage
Preliminary/Final Subdivision & Land Development Plan
Manchester Township Plan #2025-07
Engineer's Project No. 0841.3.02.A1

Dear Rachel:

We have reviewed the above-referenced Preliminary/Final Subdivision Plan and Preliminary/Final Land Development Plan, submitted by PennTerra Engineering, Inc., dated June 3, 2025. We offer the following comments:

Waiver Requests (Subdivision Plan & Land Development Plan)

1. §22-303 – To allow a Preliminary/Final Plan.
2. §22-703.2 – Requirement to construct concrete curbing along roadway.
3. §22-709.1 – Requirement to construct concrete sidewalk along the roadway.

Subdivision Plan Review

Zoning Ordinance:

1. Plan sets shall be combined into a single "Lot Consolidation and Land Development Plan".
2. Provide the existing and proposed net and gross lot areas in table form on sheet 3 of the plans (§27-902).
3. List the existing and proposed lot areas in square feet in addition to acres (§27-902).
4. The adjacent properties to the north are within East Manchester Township's Medium Density Residential District. As such, a 50' buffer yard shall be provided in addition to the required setback(s) (§27-904.3.A). When required by the Planning Commission in a buffer yard, a dense screen planting shall be provided.
5. A 50' front setback is required within the Industrial zoning district along arterial roads (Board Road).

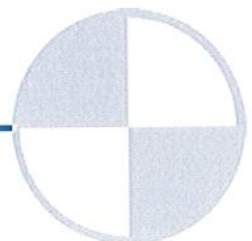
Subdivision Land Development Ordinance:

1. The cover sheet shall include the owner(s)'s notarized signature prior to the Planning Commission meeting. (§22-404.1.2)
2. The plan preparers dated and sealed signature shall be added to the plans prior to final approval (§22-404.1.4).

ENGINEERING A BETTER COMMUNITY

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3. Label all significant streets on the location map on the cover sheet of the plans – Marriane Drive, Shandy Lane, etc. (§22-404.1.9)
4. The minimum lot depth required and proposed for each lot shall be provided on the plan set (§22-404.3.12).
5. The planning module number shall be listed in the site data table (§22-404.3.19).
6. Label the southeasternmost property corner (found or to be set and material/type) (§22-404.4.13.A).
7. Significant natural features such as wetlands shall be delineated on the plans. If none exist on the site, note so on the coversheet along with reference to the report utilized to make the determination (§22-404.4.17).
8. Any existing easements or rights-of-way (Overhead utilities outside of the public street right-of-way) shall be shown and dimensioned on the plans. (§22-404.4.23).
9. The waiver requests are applicable to the subdivision plan and shall be listed on the coversheet (§407.3.13).
10. Township standard notes numbers: 1, 4, 5, 6, 7, 10.1, 11, 14, 17, 18, 19, 21, 22, 23, 24, 25, 26, 28, 33, and 35 shall be added to the plans, see attachment 3 of the SALDO for the required wording. (§22-408.3).

General Plan Comments:

1. Add grey hatch used to delineate the ultimate right-of-way to the legend on sheet 3.
2. The plan shall identify what structures and improvements are to be removed and Zoning/Site Data updated to reflect this.
3. In the offers of dedication, the notary block should be outside of the offers of dedication per the Recorder of Deeds.

Land Development Plan Review

Zoning Ordinance:

1. The adjacent properties to the north are within East Manchester Township's Medium Density Residential District, provide a 50' buffer yard in addition to the required setback(s) (§27-904.3.A)
2. A loading space is required for offices 8,000-25,000 sq. ft. and a loading space is required for storage uses 5,000-10,000 sq.ft. As shown on the plans, the proposed Office/Storage building requires 2 loading spaces. (§27-1511.1.A. 2 and 6)
3. A 50' front setback is required within the Industrial zoning district along arterial roads (Board Road).

Subdivision and Land Development Ordinance:

1. The cover sheet shall include the owner(s)'s notarized signature prior to the Planning Commission meeting. (§22-406.1.2)
2. A dated engineer and surveyor seal and signature shall be included on the coversheet. (§22-406.1.4)
3. Label all significant streets on the location map on the cover sheet of the plans – Marriane Drive, Shandy Lane,

etc. (§22-404.1.9). The location map shall be at a scale of 1"=2,000'.

4. The existing and proposed net and gross areas shall be included in the site data table. (§22-406.3.1.A and B)
5. The existing and proposed water and sanitary services shall be listed in the site data table. (§22-406.3.7 and 8)
6. The minimum lot depth (required/proposed) shall be included in the site data table. (§22-406.3.12)
7. The planning module number shall be provided on the coversheet (§22-406.3.19).
8. The handicap parking spaces (required/proposed) shall be added to the site data table. (§22-406.3.23)
9. The existing features legend shall include the overhead utilities and gas lines. (§22-406.4.3)
10. The property corners shall be labeled (found or to be set and material/type) on the existing conditions and lot layout plans (§22-406.4.13.A).
11. Any existing easements or rights-of-way (overhead utilities outside of the public street right-of-way) shall be shown and dimensioned on the plans. (§22-406.4.23)
12. The plans shall reference the location of the nearest fire hydrants (3835 Board Road and at intersection with Beshore School Rd.). The Fire Marshall shall determine if a fire hydrant is required at this site. (§22-406.4.37.A).
13. Provide proof of Soil Erosion and Sedimentation Control plan approval from the York County Conservation District. (§22-407.5.1)
14. A PennDOT Highway Occupancy Permit will be required for the proposed access drive.
15. The applicant is required to pay all Act 57 sanitary sewer fees (§22-407.5.4).
16. Sanitary sewer design approval shall be obtained from the Manchester Township Municipal Authority Engineer prior to unconditional plan approval (§22-407.5.10).
17. Township standard notes numbers: 1, 4, 5, 6, 7, 10.1, 11, 14, 17, 18, 19, 21, 22, 23, 24, 25, 26, 28, 33, and 35 shall be added to the plans, see attachment 3 of the SALDO for the required wording. (§22-408.3).
18. A Public Improvement Security Estimate shall be submitted for review and approval by the Township Engineer; and the security amount shall be posted prior to unconditional approval and recording of the final plan. (§22-502)
19. Connection to public water supply will be designed in accordance with the utility company's standards and received approval by its engineer (§22-713.2.A.2).

General Plan Comments:

1. The proposed loading space will restrict parking on the left side of the building. The applicant should resolve this issue accordingly.
2. A vehicle parked in the parking space nearest to the access drive would violate the clear sight triangle easement. (Nothing > 3' in height within a CST Easement)

3. Provide details and planting specifications for the proposed landscaping areas within the parking lot.
4. The area for the storage portion of the building is incorrect. $(115' - 70') \times 174' = 7,830$ sq. ft.
5. A plan and construction details for the proposed retaining shall be provided and sealed by a structural engineer.
6. On sheet 7, expand the proposed stormwater easement (L18 and L24) to the eastern property line to allow for inspection/repair of any future erosion/scour.
7. Refer to the Manchester Township Construction and Material specifications and revise details appropriately – manhole steps, frames and covers, and inside drop. Inside drop connection shall be provided with “Intraflow” low-profile inside drop system manufactured by Forterra Pipe and Precast or an approved equal.
8. The proposed sanitary sewer easement required to be provided shall be described on the plans with bearings and distances.
9. A table shall be provided for the UPI to be assigned to the consolidated lot.
10. Manchester Township shall be listed for the sewer rather than CSD in the list of utilities.
11. The Planning Commission signature block shall say “Reviewed By” rather than “Approved By.”
12. The sheet numbering shall include the number of sheets in the set (i.e. X of Y).
13. The provided consolidated lot area shall be listed as both Gross and Net.
14. The proposed use shall be listed as Contractor Office/Storage in the Site Data.
15. The plan shall identify what structures and improvements are to be removed and Zoning/Site Data updated to reflect this.
16. In the Zoning/Site Data, list the criteria as being a “Max” or “Min” requirement.
17. Include a conversion to township sewer datum with the vertical datum reference.
18. Provide and label CST for any drive to remain on the lot.
19. Provide dimensions for any drive to remain on the lot.
20. Dimension the road right of way from the center line, both existing and proposed.
21. Identify type, status and location of all existing and proposed property corners.
22. Any utilities to be capped, plugged or disconnected shall be identified on the plan.
23. The on-lot septic systems shall be identified and the intent to remain or be removed.
24. Zoning boundaries shall be identified and labeled.

25. A street cross section shall be provided showing the proposed future location of curb and sidewalk.
26. Loading spaces should be provided for each use, one for office and one for storage.
27. Provide all adjacent property owner information as well as show existing structures and driveways.
28. Provide and dimension the driveway length.
29. Provide the following standard notes:
 - Sidewalk and curbing within six months
 - Property restoration
 - Storm sewer berms
30. In the offers of dedication, the notary block should be outside of the offers of dedication per the Recorder of Deeds.
31. Provide address assignment (which address do they desire to retain once the lots are combined). Also, the address should be provided on layout plan. 3885 Board Road
32. Provide cartway and right of way width for Willow Springs Lane.
33. Utilities are provided on the plan, however, not depicted in the legend, "OU", "NO", and "gas."
34. Provide the following standard notes:
 - Rebuilding of non-conformities
 - Sanitary sewer constructed to Municipal Authority specifications
 - Non-residential addressing
 - "Knox" box
 - Zoning Hearing Board decisions
 - Grinder pump prohibition
 - Street of address
 - No parking
 - Permits required
 - Blasting
 - Fire hydrants
 - Sanitary sewer dedication
 - Wetlands delineation
 - Limestone certification
 - Recording information

Traffic Engineer Comments:

1. Add the following note to the cover sheet: "All traffic signs are to be installed per the PennDOT standard for the installation of Type B Post-Mounted Signs. Refer to Section 931 in the current version of PennDOT Publication 408, Specifications."
2. The proposed STOP sign on the access drive at the intersection with Board Road shall be 30"x30".

3. There is a parking space within the clear sight triangle. A request for waiver of the clear sight triangle requirement should be submitted.

If you have questions related to the enclosed information or require any clarification, please feel free to contact me at our York office number or via email CAM@csdavidson.com.

Sincerely,



Cory A. McCoy, P.E.

CAM/AJS/dmg

Copy: B.J. Treglia, P.E. Manchester Township via email: b.treglia@mantwp.com
Mark Magrecki, R.L.A. PennTerra via email: mmagrecki@pennterra.com
Chris Sestrich PennTerra via email: csestrich@pennterra.com
File

ZONING/SITE DATA(EXISTING)

ZONING COMPLIANCE CHART

ZONING DISTRICT: "I" INDUSTRIAL DISTRICT	REQUIRED	EXISTING	3875 BOARD RD.	3885 BOARD RD.
MIN. LOT AREA	20,000 S.F.	41,634 S.F.(0.956 AC.)(GROSS)	59,303 S.F.(1.361 AC.)(GROSS)	55,024.31 S.F.(1.263 AC.)(NET)
MIN. LOT WIDTH AT LOT FRONTAGE	100'	154.20'	246.46'	246.46'
MIN. LOT DEPTH	N/A	270.00'	270.00'	270.00'
MAX. BLDG. COVERAGE	70%	9.09%(TOTAL)	11.45%(TOTAL)	11.45%(TOTAL)
MAX. BLDG. AREA	60%	3.58%	3.81%	3.81%
MIN. FRONT YARD	50'	50'	50'	50'
MIN. SIDE YARD	20'	20'	20'	20'
MIN. REAR YARD	25'	25'	25'	25'
MIN. BUILDING HEIGHT	50'	<50'	<50'	<50'
MIN. PARKING LANDSCAPE	5%	N/A	N/A	N/A

SITE DATA

SITE AREA:	41,634 S.F.(0.956 AC.)(GROSS) & 59,303 S.F.(1.361 AC.)(GROSS)
SITE ZONING:	I, INDUSTRIAL DISTRICT
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	CONTRACTOR OFFICE/STORAGE
SOURCE OF WATER:	PUBLIC(YORK WATER COMPANY)
SOURCE OF SEWER:	PRIVATE ON LOT SEPTIC
PARCEL ID #:	TAX PARCEL NO. 36-000-LH-0015.00-00000(PREMISES A) TAX PARCEL NO. 36-000-LH-0016.00-00000(PREMISES B) 3875-3885 BOARD RD.

ZONING/SITE DATA(PROPOSED)

ZONING COMPLIANCE CHART

ZONING DISTRICT: "I" INDUSTRIAL DISTRICT	REQUIRED	EXISTING	3875 BOARD RD.	3885 BOARD RD.	PROVIDED
MIN. LOT AREA	20,000 S.F.	41,634 S.F.(0.956 AC.)(GROSS)	59,303 S.F.(1.361 AC.)(GROSS)	55,024.31 S.F.(1.263 AC.)(NET)	90,513.39 S.F.(2.078 AC.)(NET)
MIN. LOT WIDTH AT LOT FRONTAGE	100'	154.20'	246.46'	246.46'	246.46'
MIN. LOT DEPTH	N/A	270.00'	270.00'	270.00'	243.95'
MAX. BLDG. COVERAGE	70%	9.09%(TOTAL)	11.45%(TOTAL)	10.87%(TOTAL)	10.87%(TOTAL)
MAX. BLDG. AREA	60%	3.58%	3.81%	3.81%	7.01%
MIN. FRONT YARD	50'	50'	50'	50'	50'
MIN. SIDE YARD	20'	20'	20'	20'	20'
MIN. REAR YARD	25'	25'	25'	25'	25'
MIN. BUILDING HEIGHT	50'	<50'	<50'	<50'	<50'
MIN. PARKING LANDSCAPE	5%	N/A	N/A	N/A	N/A

SITE DATA

SITE AREA:	41,634 S.F.(0.956 AC.)(GROSS) & 59,303 S.F.(1.361 AC.)(GROSS)
SITE ZONING:	I, INDUSTRIAL DISTRICT
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	CONTRACTOR OFFICE/STORAGE
SOURCE OF WATER:	PUBLIC
SOURCE OF SEWER:	PRIVATE ON LOT SEPTIC
PARCEL ID #:	TAX PARCEL NO. 36-000-LH-0015.00-00000(PREMISES A) TAX PARCEL NO. 36-000-LH-0016.00-00000(PREMISES B) 3875-3885 BOARD RD.

ZONING/SITE DATA(AFTER CONSOLIDATION) - UPI#

ZONING COMPLIANCE CHART

ZONING DISTRICT: "I" INDUSTRIAL DISTRICT	REQUIRED	EXISTING	PROVIDED
MIN. LOT AREA	20,000 S.F.	90,513.39 S.F.(2.078 AC.)	90,513.39 S.F.(2.078 AC.)
MIN. LOT WIDTH AT LOT FRONTAGE	100'	398.73'	398.73'
MIN. LOT DEPTH	N/A	243.95'	243.95'
MAX. BLDG. COVERAGE	70%	10.87%	56.21%(TOTAL COVER)
MAX. BLDG. AREA	60%	7.01%	22.11%
MIN. FRONT YARD	50'	50'	50'
MIN. SIDE YARD	20'	20'	20'
MIN. REAR YARD	25'	25'	25'
MAX. BUILDING HEIGHT	50'	<50'	<50'
MIN. PARKING LANDSCAPE	5%	N/A	5.63%

SITE DATA

SITE AREA:	90,513.39 S.F. or 2.078 AC.
SITE ZONING:	I, INDUSTRIAL DISTRICT
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	CONTRACTOR OFFICE/STORAGE
SOURCE OF WATER:	PUBLIC(YORK WATER COMPANY)
SOURCE OF SEWER:	PUBLIC(MANCHESTER TOWNSHIP)
PARCEL ID #:	XXXXXXXXXXXXXXXXXXXXXXXXXXXX

PARKING DATA

RETAIL BUSINESS
1 SPACE PER 200 S.F. OF FLOOR AREA
10,005 S.F. / 200 = 50 SPACES REQUIRED
SPACES PROVIDED - 50 SPACES PROVIDED-(INCLUDES 3 H/C SPACES)
2 H/C SPACES REQUIRED - 3 H/C SPACES PROVIDED
OFF-STREET LOADING/UNLOADING
REQUIRED (2) - 12' X 40' SPACES
PROVIDED (1) - 14' X 70' SPACE - (1) 12' X 40' SPACE

WETLANDS

A WETLAND DELINEATION WAS PERFORMED BY: VORTEX ENVIRONMENTAL, INC. DATED SEPTEMBER 3, 2025 STATES THAT NO WETLANDS WERE FOUND ON THE SITE.

WAIVERS REQUESTED:

1. SALDO SECTION 22-303 - PRELIMINARY PLAN

REQUIRED - A PRELIMINARY PLAN IS REQUIRED FOR BOTH THE LOT ADD-ON PLAN AND THE LAND DEVELOPMENT PLAN.
REQUESTED - TO ALLOW PLANS TO BE PROCESSED AS PRELIMINARY/FINAL PLANS SINCE THERE ARE NO PHASES OF DEVELOPMENT AND THE PROJECT WOULD BE CONSTRUCTED WITHIN 6-9 MONTHS.

ACTION:

2. SALDO SECTION 22-703.2.A -

REQUIRED - CURBS SHALL BE CONSTRUCTED IN ALL SUBDIVISIONS AND LAND DEVELOPMENTS.
REQUESTED - TO NOT INSTALL CONCRETE CURBING. THE DEVELOPMENT IS NOT ADJACENT TO AN AREA WHERE CURBING HAS PREVIOUSLY BEEN CONSTRUCTED.

ACTION:

3. SALDO SECTION 22-709.1 -

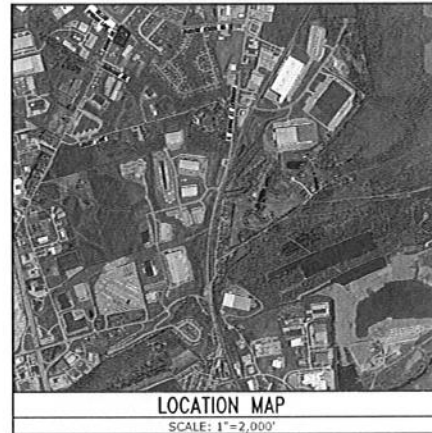
REQUIRED - SIDEWALKS SHALL GENERALLY BE REQUIRED FOR ALL AREAS WITHIN MANCHESTER TOWNSHIP.
REQUESTED - TO WAIVE THE INSTALLATION OF SIDEWALK ALONG BOARD ROAD. THE DEVELOPMENT IS NOT ADJACENT TO AN AREA WHERE SIDEWALKS ARE CURRENTLY CONSTRUCTED AND THE PROPOSED USE DOES NOT GENERATE PEDESTRIAN TRAFFIC.

ACTION:

4. SALDO SECTION 22 ATTACHMENT 1, SUB SECTION 4-288 -

REQUIRED - SHOW EXISTING STRUCTURES AND DRIVEWAYS OF ADJACENT PROPERTY OWNERS
REQUESTED - RELIEF FROM THIS SECTION AS IT HAS NO ADVERSE EFFECT TO THE DEVELOPMENT

ACTION:



LOCATION MAP

SCALE: 1"=2,000'

SHEET INDEX

- 1* OF 18 COVER SHEET
- 2* OF 18 NOTES
- 3* OF 18 EXISTING CONDITIONS
- 4* OF 18 LOT CONSOLIDATION PLAN
- 5* OF 18 DEMOLITION PLAN
- 6* OF 18 LAYOUT PLAN
- 7* OF 18 GRADING PLAN
- 8* OF 18 UTILITY PLAN
- 9* OF 18 EASEMENT PLAN
- 10* OF 18 PROFILES
- 11* OF 18 PROFILES
- 12* OF 18 LANDSCAPE PLAN
- 13* OF 18 LIGHTING PLAN
- 14* OF 18 TRUCK MOVEMENT PLAN
- 15* OF 18 CONSTRUCTION DETAILS
- 16* OF 18 CONSTRUCTION DETAILS
- 17* OF 18 CONSTRUCTION DETAILS
- 18* OF 18 CONSTRUCTION DETAILS

- ES-1 E & S COVER
- ES-2 E&S EXISTING CONDITIONS PLAN
- ES-3 E&S SITE PLAN STAGE 1
- ES-4 E&S SITE PLAN STAGE 2
- ES-5 E&S STAGE 2 BMP PLAN
- ES-6 E&S BMP AREAS
- ES-7 E&S CONSTRUCTION DETAILS
- ES-8 E&S CONSTRUCTION DETAILS
- P-1* PCSM COVER
- P-2* PCSM EXISTING CONDITIONS
- P-3* PCSM SITE PLAN
- P-4* PCSM OFF-SITE DISCHARGE PLAN
- P-5* PCSM DETAILS
- P-6* PCSM PRE DEVELOPMENT DRAINAGE
- P-7* PCSM POST DEVELOPMENT DRAINAGE
- * TO BE RECORDED

3875-3885 BOARD ROAD

FINAL LOT CONSOLIDATION-LAND DEVELOPMENT PLAN

MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

JUNE 3, 2025

REVISED: SEPTEMBER 12, 2025

OWNER/DEVELOPER INFORMATION

3875 & 3885 BOARD ROAD, LLC
105 E KING STREET
YORK, PA 17403
717-854-8122

SOURCE OF TITLE

TAX PARCEL NO. 36-000-LH-0015.00-00000(PREMISES A)
TAX PARCEL NO. 36-000-LH-0016.00-00000(PREMISES B)
SOURCE OF TITLE: DB. 2797 PG. 3506
SITE ADDRESS: 3875-3885 BOARD RD.

LIST OF UTILITIES



PA ONE-CALL
PENNSYLVANIA ACT 287
(2006) AS AMENDED
REQUIRES THREE (3)
WORKING DAYS NOTICE
FOR CONSTRUCTION
PHASE AND TEN (10)
WORKING DAYS IN
DESIGN STAGE.

PA ONE-CALL SERIAL NO.
20243043337
10/30/24

COLUMBIA GAS OF PA INC
1600 DUBLIN ST
COLUMBUS, OH 43215
USA COLLINS
kugan@source.com
614-325-5561

CONCAST
C/O USDC LOCATING SERVICES
15085 HAMILTON CROSSING BLVD
SUITE 200
CARROLL, IN 46032
USDC PERSONNEL
800-762-0592 EXT 3

FIRST ENERGY CORPORATION
21 S MAIN ST
AYRON, OH 44308
MELLYSSA ADAMS
modano@firstenergycorp.com
330-604-4073

MANCHESTER TOWNSHIP
MANIPAL AUTHORITY
3200 FARMTRAIL ROAD
YORK, PA 17406
717-764-4646

VERIZON NORTH
37 W 6TH ST
WYOMING, PA 18644
RONALD SLUNGIE
RONALD.SLUNGIE@VERIZON.COM
570-858-4053

YORK WATER COMPANY
135 E MARKET ST
YORK, PA 17401
JASON HEIMANN
jasonh@yorkwater.com
717-845-3601 EXT 2907

CARBONATE GEOLOGY CERTIFICATE(DEVELOPERS REGISTERED PROFESSIONAL)

I, _____, CERTIFY THAT THE PROPOSED STORMWATER MANAGEMENT FACILITY IS/IS NOT (CIRCLE ONE) UNDERLAIN BY CARBONATE GEOLOGY.

DATE: _____

CERTIFICATION OF ACCURACY - PLAN

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

MARK A. MAGRECKI, RLA

DATE



SURVEYOR'S CERTIFICATION OF ACCURACY - SURVEY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

JASON E. CHERNOCH, PLS

DATE

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF

_____, 20____.

SIGNATURE AND SEAL OF NOTARY PUBLIC

MY COMMISSION EXPIRES _____, 20____.

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION(3875 & 3885 BOARD ROAD, LLC)

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____ WHO ACKNOWLEDGES THAT 3875 & 3885 BOARD ROAD, LLC, IS THE LEGAL AND/OR OWNER OF THE TRACT OF LAND CONTAINED HEREIN, AND THAT THIS PLAN IS THEIR ACT AND WILL AND THEY DESIRE THE SAME TO BE RECORDED AS SUCH, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY ARE HEREBY DEDICATED TO THE PUBLIC USE.

SIGNATURE & TITLE

PRINT NAME & TITLE

CERTIFICATE OF OWNERSHIP(3875 & 3885 BOARD ROAD, LLC)

ON THIS, THE _____ DAY OF _____, 20____, I, _____, ACKNOWLEDGE THAT 3875 & 3885 BOARD ROAD, LLC, IS THE LEGAL AND/OR OWNER OF THE TRACT OF LAND CONTAINED HEREIN, AND THAT THIS PLAN IS THEIR ACT AND WILL AND THEY DESIRE THE SAME TO BE RECORDED AS SUCH, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY ARE HEREBY DEDICATED TO THE PUBLIC USE.

SIGNATURE & TITLE

PRINT NAME & TITLE

STORMWATER ACKNOWLEDGE(OWNER)

I HEREBY ACKNOWLEDGE THAT THE STORMWATER FACILITIES ARE TO BE PERMANENT FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE TOWNSHIP.

LANDOWNER

DATE

PLANNING COMMISSION

THIS PLAN REVIEWED BY THE MANCHESTER TOWNSHIP PLANNING COMMISSION
THIS _____ DAY OF _____, 20____.

BOARD OF SUPERVISORS

THIS PLAN APPROVED BY THE MANCHESTER TOWNSHIP BOARD OF SUPERVISORS
THIS _____ DAY OF _____, 20____.

TOWNSHIP ENGINEER REVIEW CERTIFICATE

THIS PLAN REVIEWED BY THE MANCHESTER TOWNSHIP ENGINEER THIS _____ DAY OF _____, 20____.

YORK COUNTY PLANNING COMMISSION REVIEW CERTIFICATE

THE YORK COUNTY PLANNING COMMISSION, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247 OF 1968, AS AMENDED, REVIEWED THIS PLAN ON _____, 20____, AND A COPY OF THE REVIEW IS ON FILE AT THE OFFICE OF THE PLANNING COMMISSION IN FILE NO. _____. THIS CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL OF THE PLAN BY THE YORK COUNTY PLANNING COMMISSION, AND THE COMMISSION DOES NOT REPRESENT THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH OR THE FEDERAL GOVERNMENT.

RECORDER OF DEEDS:

RECORDED IN THE OFFICE OF THE YORK COUNTY RECORDER OF DEEDS PLAN
BOOK _____, PAGE _____ ON _____ DAY OF _____, 20____.

TOWNSHIP STANDARD NOTES:

1. THE OWNERS, HEIRS, ASSIONS OR SUCCESSORS IN THE TITLE AGREE THAT THEY SHALL INSTALL AT THE OWNERS EXPENSE CONCRETE CURBING, CONCRETE SIDEWALKS, OR BOTH CONCRETE CURBING AND CONCRETE SIDEWALKS, AND ANY NECESSARY ROAD WIDENING TO ACCOMPANY THE CURBING TO TOWNSHIP AND/OR STATE SPECIFICATIONS WITHIN SIX MONTHS FROM THE RECEIPT OF CERTIFIED NOTIFICATION FROM THE TOWNSHIP.
2. THE OWNER HEREBY GRANTS MANCHESTER TOWNSHIP OR ITS REPRESENTATIVE A GENERAL ACCESS EASEMENT ACROSS THE ENTIRE LOT FOR ACCESS TO THE PUBLIC SEWER AND SAMPLING MANHOLES.
3. ANY NONCONFORMING BUILDING OR STRUCTURE IS DESTROYED OR DAMAGE BY REASON OF WINDSTORM, FIRE,FLOOD, EXPLOSION OR OTHER ACT OF GOD OR PUBLIC ENEMY TO AN EXTENT OF MORE THAN 50% OF ITS FAIR MARKET VALUE AT THE TIME OF THE CASUALTY SHALL NOT BE REBUILT, RESTORED, OR REPAIRED EXCEPT IN CONFORMANCE OF THE PROVISIONS OF THE MANCHESTER TOWNSHIP ZONING ORDINANCE [CHAPTER 27].
4. ALL PUBLIC IMPROVEMENT CONSTRUCTION SHALL CONFORM TO THE MANCHESTER TOWNSHIP CONSTRUCTION AND MATERIALS SPECIFICATIONS UNLESS SPECIFIC WAIVERS HAVE BEEN GRANTED.
5. ALL WORK SHALL CONFORM TO THE MANCHESTER TOWNSHIP MUNICIPAL AUTHORITYS PLAN, DESIGN AND CONSTRUCTION STANDARDS.
6. NONRESIDENTIAL A STREET ADDRESS SHALL BE MOUNTED TO THE BUILDING WITH MINIMUM EIGHT INCHES HIGH NUMBERS AND SHALL BE VISIBLE FROM THE STREET.
7. ALL NEW AND EXISTING BUILDINGS (EXCEPT ONE- AND TWO-FAMILY DWELLINGS) ARE REQUIRED TO IN STALL A RAPID ENTRY KEY BOX (SUCH AS KNOX BOX) AS REQUIRED BY THE FIRE CHIEF FOR FIRE DEPARTMENT USE ONLY IN ACCORDANCE WITH THE MANCHESTER TOWNSHIP CODE OF ORDINANCES CHAPTER 7, PART 5.
8. LANDOWNER IS RESPONSIBLE FOR PAVEMENT AND CURBING RESTORATION IF PAVING AND CURBING IS CONSTRUCTED OVER OR THROUGH THE SANITARY SEWER EASEMENT/RIGHT OF WAY.
9. STREETS CONSTRUCTED WITH STORMWATER MANAGEMENT DIVERSION BERMS WILL NOT BE CONSIDERED FOR ADOPTION UNTIL SUCH BERMS ARE REMOVED.
10. THE USE OF GRINDER PUMPS OR PRESSURE SEWERS SHALL NOT BE PERMITTED.
- 11.THE REAR YARD BUILDING SETBACK SHALL BE THE YARD OPPOSITE THE STREET OF ADDRESS.
12. NO PARKING SHALL BE PERMITTED IN THE FOLLOWING PUBLIC STREETS, ALONG THE FRONTAGES OF THE LOTS NUMBERS
- 13.NO BUILDING CONSTRUCTION MAY OCCUR WITHOUT PERMITS FIRST BEING ISSUED IN ACCORDANCE WITH THE ORDINANCES OF MANCHESTER TOWNSHIP.
14. NO BLASTING IS PERMITTED WITHOUT A STATE PERMIT AND ADVANCE NOTIFICATION TO THE MANCHESTER TOWNSHIP FIRE CHIEF.
- 15.THE MANCHESTER TOWNSHIP FIRE CHIEF SHALL APPROVE THE LOCATION OF ALL FIRE HYDRANTS.
16. DEVELOPER OFFERS FOR DEDICATION TO THE MANCHESTER TOWNSHIP MUNICIPAL AUTHORITY ALL SANITARY SEWER COLLECTION AND/OR INTERCEPTOR LINES AND APPURTENANCES CONSTRUCTED BY THE DEVELOPER AND A TWENTY-FOOT WIDE PERPETUAL EASEMENT CONSISTING OF 10 FEET ON EITHER SIDE OF THE CENTERLINE FOR MAINTENANCE, REPAIR, REPLACEMENT OR ENLARGEMENT THEREOF TOGETHER WITH THE RIGHT OF INGRESS, EGRESS AND REGRESS THEREOF.

SURVEY NOTES:

1. BENCHMARK:
BM1: CAPPED REBAR AT THE NORTHERN CORNER OF THE INTERSECTION OF BOARD ROAD (SR-1015) AND MELLOW SPRINGS LANE (1-941); BEING 9'4" EAST OF THE STREET LIGHT.
NORTHING: 259585.13
EASTING: 225260.76
ELEVATION: 534.59
BM2: CAPPED REBAR ON THE EAST SIDE OF BOARD ROAD (SR-1015); BEING 14'4" NORTHWEST OF UTILITY POLE 25378-25914.
NORTHING: 259126.94
EASTING: 225371.06
ELEVATION: 535.26
VERTICAL DATUM: NAVD 83
HORIZONTAL DATUM: NAD83 - PA SOUTH ZONE
2. UNDERGROUND UTILITIES ARE SHOWN ACCORDING TO INFORMATION PROVIDED BY OTHERS AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION, EXCAVATION OR BLASTING. THE ACTUAL LOCATIONS OF THESE UTILITIES HAVE NOT BEEN FIELD VERIFIED AND THE LOCATIONS ARE APPROXIMATE. STEEDBECK ENGINEERING & SURVEYING, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE, OR GUARANTEE THAT THE UNDERGROUND UTILITY LOCATION PROVIDED BY OTHERS AND REFLECTED ON THESE DRAWINGS ARE CORRECT AND ACCURATE. STEEDBECK ENGINEERING & SURVEYING, INC. ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACURATELY SHOWN.
3. RIGHT-OF-WAY FOR BOARD ROAD (SR-1015) AND MELLOW SPRINGS LANE (1-941) ARE SHOWN PER PENNDOT DRAWINGS DEPICTING RIGHT-OF-WAY TO BE DECEED TO THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION UNDER HOP APPLICATION NO. 227267 BY EAST MANCHESTER TOWNSHIP AND WF 1/YORK, L.P. FOR STATE ROUTE 1031. SECTION 005 R/W IN YORK COUNTY AND PENNDOT DRAWINGS DEPICTING RIGHT-OF-WAY TO BE DECEED TO THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION UNDER HOP APPLICATION NO. 104414 BY EAST MANCHESTER TOWNSHIP FOR STATE ROUTE 1015 SECTION 04R R/W IN YORK COUNTY.
4. IN ACCORDANCE WITH THE U.S. FISH AND WILDLIFE SERVICES NATIONAL WETLANDS INVENTORY THERE ARE NO WETLANDS ON THE SUBJECT PREMISES.
5. IN ACCORDANCE WITH THE FLOOD INSURANCE RATE MAP NUMBER 421330201F, EFFECTIVE DATE DECEMBER 14, 2015, THE ENTIRE SITE IS IN THE ZONE "X" FLOOD CLASSIFICATION.

GENERAL NOTES:

1. THE TOWNSHIP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION OR MAINTENANCE OF ANY AREA, IMPROVEMENT, LANDSCAPING, ETC. NOT DEDICATED TO AND ACCEPTED FOR PUBLIC USE.
2. ANY REVISIONS TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF PENNTERRA ENGINEERING, INC. SUBSTITUTIONS FOR ANY MATERIAL NOTED ON THESE PLANS REQUIRES PRIOR WRITTEN APPROVAL OF PENNTERRA ENGINEERING, INC.
3. NO ONE SHALL SCALE FROM THESE PLANS FOR CONSTRUCTION PURPOSES.
4. PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER RESPONSIBLE FOR THE PLANS.
5. ALL DIMENSIONS SHOWN ON THE PLANS ARE TAKEN FROM THE FACE OF CURB AND EXTERIOR FACE OF THE BUILDINGS, UNLESS OTHERWISE NOTED ON THE PLAN.
6. NO WALL, FENCE, OR OTHER STRUCTURE SHALL BE ERECTED, ALTERED OR MAINTAINED, AND NO HEDGE, TREE, SHRUB OR GROWTH SHALL BE PLANTED OR MAINTAINED WHICH RESULTS IN A VISUAL OBSTRUCTION WITHIN THE CLEAR SIGHT TRIANGLES AT STREET INTERSECTIONS.
7. GROSS LOT AREA IS CALCULATED TO THE TITLE LINE. NET LOT AREA WILL EXCLUDE EXISTING STREET RIGHT-OF-WAYS BUT WILL INCLUDE ANY INTERNAL EASEMENTS OR RIGHT-OF-WAYS.
8. PROPOSED LIGHTING SHALL BE SHELDED FROM ADJACENT PROPERTIES.
9. ALL PROPOSED CURBING MUST CONFORM WITH PENNDOT FC-64 STANDARDS.
10. AS-BUILT PLANS WILL BE PROVIDED UPON COMPLETION OF IMPROVEMENTS.
11. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW," BEFORE ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL BE AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT AND TOWNSHIP APPROVAL OF THIS PLAN IN NO WAY IMPLIES THAT SUCH A PERMIT CAN BE ACQUIRED.
12. ALL SIGNS MUST RECEIVE SEPARATE APPROVAL FROM THE TOWNSHIP ZONING OFFICER. APPROVAL OF THE LAND DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNS.
13. ALL REQUIRED SCREEN PLANTING AND INTERIOR PARKING LOT LANDSCAPING SHALL BE PERMANENTLY MAINTAINED BY THE LANDOWNER OF THE LOT. ALL REQUIRED VEGETATION THAT DIES MUST BE REPLACED BY THE LANDOWNER WITHIN SIX (6) MONTHS.
14. THE LAND OWNER SHALL KEEP ON FILE WITH THE TOWNSHIP THE NAME, ADDRESS, AND TELEPHONE NUMBER OF THE PERSON OR COMPANY RESPONSIBLE FOR MAINTENANCE ACTIVITIES, IN THE EVENT OF A CHANGE, NEW INFORMATION SHALL BE SUBMITTED TO TOWNSHIP WITHIN TEN (10) DAYS OF THE CHANGE.
15. SCHEDULE OF REQUIRED INSPECTIONS SHALL BE DETERMINED THROUGH A PRE-CONSTRUCTION MEETING WITH TOWNSHIP STAFF.
16. REQUIRED INSPECTIONS SHALL BE SCHEDULED THROUGH THE TOWNSHIP A MINIMUM OF FORTY-EIGHT(48) HOURS PRIOR TO THE TIME OF THE INSPECTION IS REQUESTED.
17. THERE ARE NO KNOWN HISTORIC OR ARCHAEOLOGICAL SITES LOCATED ON THE PROPERTY.
18. ANY CHANGES TO THE EROSION & SEDIMENTATION CONTROL PLAN OR SEQUENCE SHALL BE PROVIDED TO THE TOWNSHIP.
19. NO FENCES, HEDGES, WALL, PLANTINGS OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN RIGHT OF WAY UNLESS APPROVED BY JURSDICTING AUTHORITY.
20. ALL SIGNS MUST COMPLY WITH ARTICLE VI OF THE ZONING ORDINANCE.
21. ALL TRAFFIC SIGNS ARE TO BE INSTALLED PER THE PENNDOT STANDARD FOR THE INSTALLATION OF TYPE B POST-MOUNTED SIGNS. REFER TO SECTION 931 IN THE CURRENT VERSION OF PENNDOT PUBLICATION 408, SPECIFICATIONS.
22. THE PROPOSED STOP SIGN ON THE ACCESS DRIVE AT THE INTERSECTION WITH BOARD ROAD SHALL BE 30"x30".

CONTRACTOR NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS ON SITE PRIOR TO THE START OF CONSTRUCTION. UNDERGROUND UTILITIES HAVE BEEN SHOWN ACCORDING TO INFORMATION PROVIDED BY OTHERS AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION, EXCAVATION OR BLASTING. THE ACTUAL LOCATIONS OF THESE UTILITIES HAVE NOT BEEN FIELD VERIFIED AND THE LOCATIONS ARE APPROXIMATE. PENNTERRA ENGINEERING, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE UNDERGROUND UTILITY LOCATION INFORMATION PROVIDED BY OTHERS AND REFLECTED ON THESE DRAWINGS IS CORRECT AND ACCURATE. PENNTERRA ENGINEERING, INC. ASSUMES NO LIABILITY FOR ANY DAMAGE INCURRED AS A RESULT OF UNDERGROUND UTILITIES OMITTED OR INACURATELY SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. DAMAGE TO ANY UTILITY SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER, UTILITY COMPANY OR AUTHORITY, AT THE CONTRACTOR'S EXPENSE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS FROM TOWNSHIP, COUNTY, STATE OR AUTHORITY RELATIVE TO THE CONSTRUCTION SHOWN ON THIS PLAN.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL TESTING AND RECORD DRAWINGS AS MAY BE REQUIRED BY TOWNSHIP AND/OR THE VARIOUS AUTHORITIES RELATIVE TO THE CONSTRUCTION SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRENCH BARRICADEING, COVERING, SHEETING AND SHORING AS THE NEED ARISES.
6. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE GRADING PLAN IS IMPLEMENTED CORRECTLY, THAT A MINIMUM COVER IS MAINTAINED OVER ALL UTILITY PIPES, AND THAT PROPER DRAINAGE IS PROVIDED DURING CONSTRUCTION.
7. PROVIDE 95% MODIFIED PROCTOR DENSITY PER ASTM-698 IN AREAS WHERE PROPOSED UTILITES ARE LOCATED ON FILL.
8. ALL TOPPS AND INVERTS PROVIDED FOR MANHOLES, INLETS, ETC. ARE FOR THE PURPOSE OF SHOWING GENERAL CONFORMANCE TO DESIGN STANDARDS ONLY. CUT SHEETS SHALL BE PREPARED BY A REGISTERED SURVEYOR PRIOR TO THE ORDERING OF ANY STRUCTURES. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO THE START OF WORK.
9. THESE PLANS, PREPARED BY PENNTERRA ENGINEERING, INC. DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR, OF ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF PENNTERRA ENGINEERING, INC. REGISTERED PROFESSIONAL HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED IN THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY OSHA.
10. ALL MUD FROM CONSTRUCTION ACTIVITIES THAT GETS TRACKED ONTO STREETS, EITHER DEDICATED OR UNDEDICATED, SHALL BE CLEANED BY THE BUILDER/CONTRACTOR AT THE END OF EACH WORKDAY.
11. CONTRACTOR TO PROVIDE DETAILS OF FIRE PROTECTION BACKFLOW PREVENTION AS SHOP DRAWINGS PRIOR TO CONSTRUCTION AND A COPY OF ALL SHOP DRAWINGS SHALL BE PROVIDED TO TOWNSHIP.

UTILITY NOTES:

1. SEWAGE DISPOSAL FOR THE SITE IS TO BE PROVIDED BY USE OF PUBLIC SYSTEM, AS SHOWN HEREON.
2. WATER FOR THE SITE IS TO BE PROVIDED BY USE OF PUBLIC SYSTEM, AS SHOWN HEREON.
3. ALL WATER SUPPLY FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH TOWNSHIP SPECIFICATIONS. ALL SANITARY SEWER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEP REGULATIONS FOR SANITARY SEWER.
4. WATER AND SEWER LINES MUST MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 10', OTHERWISE A VERTICAL SEPARATION OF 18" SHALL BE PROVIDED. IF NEITHER IS POSSIBLE, THEN A 6" CONCRETE ENCASEMENT SHALL BE PROVIDED FOR THE SEWER LINE.
5. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND INCLUDING BUT NOT LIMITED TO TELEPHONE, CABLE, ELECTRIC, GAS, WATER AND SANITARY SEWER.
6. ACCESS TO ALL UTILITY FACILITIES SHALL BE GRANTED TO REPRESENTATIVES OF THE TOWNSHIP AT ALL TIMES FOR THE PURPOSES OF INSPECTION AND MAINTENANCE.
7. SANITARY SEWER LATERAL CONNECTIONS FROM THE BUILDING SHALL BE PRIVATELY OWNED AND MAINTAINED.
8. LOCATIONS AND ELEVATIONS OF THE EXISTING WATER AND SANITARY SEWER AS SHOWN ON THIS PLAN ARE APPROXIMATE. PRIOR TO CONSTRUCTION, EXCAVATION, BLASTING, OR PURCHASING CONSTRUCTION MATERIALS THE CONTRACTOR SHALL FIELD VERIFY BOTH THE LOCATION AND ELEVATION OF THE SANITARY SEWER AND WATER LATERALS TO ENSURE THE PROPOSED LATERAL CONNECTION WILL FUNCTION AS DESIGNED.
9. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST STANDARDS OF THE TOWNSHIP AND SHALL BE SUBJECT TO APPROVAL BY THE TOWNSHIP'S ENGINEER.
10. PROVIDE A MINIMUM COVER FIVE(5) FEET FOR SANITARY SEWER, FOUR(4) FEET FOR WATER MEASURED FROM THE FINISHED GRADE ELEVATION TO TOP OF PIPE.
11. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST STANDARO OF THE TOWNSHIP AND SHALL BE SUBJECT TO APPROVAL BY THE TOWNSHIP'S ENGINEER.
12. THE NEAREST FIRE HYDRANTS ARE LOCATED AT 3835 BOARD ROAD AND AT THE INTERSECTION OF BOARD ROAD AND BESHORE SCHOOL ROAD.

SITE WORK NOTES:

1. ALL MATERIALS AND WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THE SITE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF PENNDOT P.B. FORM 408, UNLESS OTHERWISE NOTED.
2. ALL WATER SERVICE CONNECTIONS AND INSTALLATION SHALL BE IN ACCORDANCE WITH TOWNSHIP RULES AND REGULATIONS.
3. ALL SANITARY SEWER SERVICE CONNECTIONS AND INSTALLATION SHALL BE IN ACCORDANCE WITH MANCHESTER TOWNSHIP MUNICIPAL AUTHORITY'S PLAN, DESIGN, AND CONSTRUCTION STANDARDS AND DEP REGULATIONS FOR SANITARY SEWER.
4. ALL HANDICAPPED ACCESSIBLE RAMPS SHALL COMPLY WITH ANSI AND PENNDOT STANDARDS.
5. NO DRIVEWAYS MAY BE CONNECTED TO AN EXISTING ROAD WITHOUT FIRST OBTAINING AN APPROPRIATE HIGHWAY OCCUPANCY PERMIT (TOWNSHIP OR COMMONWEALTH).

BUILDING CODE NOTE:

ALL CONSTRUCTION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE TOWNSHIP.

PURPOSE OF PLAN:

THIS PLAN PROPOSES THE LOT CONSOLIDATION OF LOTS 3875 & 3885 INTO ONE LOT ALONG WITH CONSTRUCTION OF BUILDING, RELATED STORMWATER IMPROVEMENTS, PARKING AND ENTRANCE DRIVE.

STORMWATER MANAGEMENT NOTES:

1. ALL PROPOSED STORMWATER FACILITIES ARE LOCATED ON PRIVATE PROPERTY AND WILL BE OWNED AND MAINTAINED, IN DESIGN CONDITION BY THE CURRENT PROPERTY OWNER, OWNERSHIP AND MAINTENANCE RESPONSIBILITY WILL TRANSFER TO SUBSEQUENT OWNERS WITH THE TRANSFER OF THE PROPERTY OWNERSHIP.
2. ALL STORM WATER FACILITIES NOT WITHIN THE PUBLIC STREET RIGHTS-OF-WAY SHALL BE PROVIDED WITH EASEMENTS AS SHOWN ON THE PLANS. TOWNSHIP IS NOT RESPONSIBLE FOR CONSTRUCTION OR MAINTENANCE OF ANY FACILITY NOT DEDICATED TO AND ACCEPTED FOR PUBLIC USE.
3. NO ALTERATION TO SNALES, BASINS, OR OTHER DRAINAGE STRUCTURES SHALL BE PERMITTED WITHIN EASEMENTS WITHOUT PRIOR TOWNSHIP APPROVAL.
4. THE MAINTENANCE OF ALL STORMWATER CONVEYANCE AND MANAGEMENT FACILITIES SHALL BE BY THE PROPERTY OWNER. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
A. REMOVAL OF SILT AND DEBRIS FROM ALL STORM WATER MANAGEMENT STRUCTURES
B. PERIODIC REPLACEMENT OF SILT FENCE OR OTHER SIMILAR MEASURES.
C. ESTABLISHMENT OR RE-ESTABLISHMENT OF VEGETATION BY SEEDING AND MULCHING OR SOODING OF SCOURED AREAS OR AREAS WHERE VEGETATION HAS NOT BEEN SUCCESSFULLY ESTABLISHED.
D. INSTALLATION OF NECESSARY CONTROLS TO CORRECT UNFORESEEN PROBLEMS CAUSED BY STORM EVENTS.
E. REMOVAL OF ALL TEMPORARY STORMWATER MANAGEMENT CONTROL FACILITIES UPON THE INSTALLATION OF PERMANENT STORMWATER FACILITIES AT THE COMPLETION OF THE DEVELOPMENT.
F. REPAIR OF STRUCTURAL DAMAGE OR DETERIORATION OF ANY KIND, INCLUDING THAT CAUSED BY SINKHOLES OR OTHER EVENTS.
5. POST CONSTRUCTION STORMWATER OPERATIONS AND MAINTENANCE:
A. THE PROPERTY OWNER SHALL OWN, MAINTAIN AND BE RESPONSIBLE FOR ALL STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES (I.E. BASINS, SNALES, ETC.) THAT ARE LOCATED OUTSIDE OF THE STREET RIGHT-OF-WAYS AS PROPOSED ON THE PLANS.
B. THE OWNER SHALL CONDUCT A VISUAL INSPECTION OF ALL STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES AT LEAST ONCE EVERY THREE MONTHS AND IMMEDIATELY AFTER STORM EVENTS. SUCH VISUAL EXAMINATION SHALL AT LEAST INVOLVE AN EXAMINATION OF THE STORMWATER COLLECTION, CONVEYANCE AND BMP FACILITIES FOR DEBRIS DEPOSITION (SUCH DEBRIS MAY INCLUDE, BUT SHALL NOT BE LIMITED TO AGGREGATE MATERIAL, LEAVES, GRASS CLIPPINGS, SOILS AND TRASH), AND AN EXAMINATION OF THE STORMWATER/BMP FACILITIES FOR SOIL AND STRUCTURAL SETTLEMENT, DEPRESSIONS, SINK HOLES, SEEPS, STRUCTURAL CRACKING, ANIMAL BURROWS, EXCESSIVE VEGETATION, CLOGGING, EROSION AND FOUNDATION MOVEMENT.
C. THE OWNER SHALL REMOVE ANY ACCUMULATION OF DEBRIS AND REPAIR ANY DAMAGE TO THE STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES. REPAIRS SHALL BE MADE USING MATERIALS THAT MEET OR EXCEEDS THE SPECIFICATIONS PROVIDED ON THE PLANS.
D. THE OWNER IS REQUIRED TO MAINTAIN A RECORD OF ALL INSPECTIONS, REPAIRS AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES AT THIS PROJECT. THE OWNER SHALL IMMEDIATELY NOTIFY THE MUNICIPALITY AND THE CONSERVATION DISTRICT PRIOR TO INITIATING ANY MAJOR REPAIR ACTIVITIES (SUCH AS REPAIRS THAT MAY BE REQUIRED AS A RESULT OF SETTLEMENT, SINK HOLES, SEEPS, STRUCTURAL CRACKING OR FOUNDATION MOVEMENT). THE OWNER SHALL ALSO COMPLY WITH ANY OTHER MAINTENANCE NOTES THAT MAY BE ON THESE PLANS.
E. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF ANY EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT. TOWNSHIP SHALL HAVE THE RIGHT TO:
A. ACCESS THE SITE TO INSPECT STORM WATER FACILITIES AT ANY TIME INCLUDING INLETS, MANHOLES, STORM PIPES, ENDWALLS, HEADWALLS, SNALES AND DETENTION BASIN.
B. REQUIRE THAT THE LAND OWNER TAKE CORRECTIVE MEASURES AND ASSIGN THE LAND OWNER A REASONABLE PERIOD TO TAKE CORRECTIVE ACTION.
C. AUTHORIZE MAINTENANCE TO BE DONE AND LIEN ALL COSTS OF ALL WORK AGAINST THE PROPERTIES OF THE PRIVATE ENTITY RESPONSIBLE FOR MAINTENANCE. THE MAINTENANCE OF ALL STORMWATER CONVEYANCE AND MANAGEMENT FACILITIES SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
A. PERIODIC REMOVAL OF SILT AND DEBRIS FROM ALL STORM WATER MANAGEMENT STRUCTURES
B. ESTABLISHMENT OR RE-ESTABLISHMENT OF VEGETATION BY SEEDING AND MULCHING OR SOODING OF SCOURED AREAS OR AREAS WHERE VEGETATION HAS NOT BEEN SUCCESSFULLY ESTABLISHED.
C. INSTALLATION OF NECESSARY CONTROLS TO CORRECT UNFORESEEN PROBLEMS CAUSED BY STORM EVENTS.
D. REMOVAL OF ALL TEMPORARY STORMWATER MANAGEMENT CONTROL FACILITIES UPON THE INSTALLATION OF PERMANENT STORMWATER FACILITIES AT THE COMPLETION OF THE DEVELOPMENT.
E. REPAIR OF STRUCTURAL DAMAGE OR DETERIORATION OF ANY KIND, INCLUDING THAT CAUSED BY SINKHOLES OR OTHER EVENTS.
7. STORMWATER MANAGEMENT FACILITIES (DETENTION FACILITIES, STORM DRAINAGE PIPES, INLETS AND ENDWALLS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF TOWNSHIP ORDINANCES.
8. ALL STORM SEWER JOINTS SHALL BE WATERTIGHT.
9. ALL STORM SEWERS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH PENNDOT FORM 408 SPECIFICATIONS AND AS SHOWN ON THESE DRAWINGS.
10. RUNOFF FROM THE LOT IMPROVEMENTS SHALL BE DIRECTED TO THE STORM WATER MANAGEMENT FACILITIES AS APPLICABLE.
11. TOWNSHIP AND THEIR AGENTS OR EMPLOYEES HAVE THE RIGHT OF ACCESS FOR INSPECTION AND, IN CASES OF CONSTRUCTION DEFAULT, CONSTRUCTION OF THE STORM WATER MANAGEMENT FACILITIES.
12. ANY ADDITIONAL IMPERVIOUS COVER BEYOND THE AMOUNT APPROVED BY TOWNSHIP WILL REQUIRE THE OWNER TO IMPLEMENT ADDITIONAL STORMWATER MANAGEMENT CONTROLS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT CRITERIA OF TOWNSHIP.
13. THE STORMWATER INLET TOP OF GRATE ELEVATIONS SPECIED ON THE PLAN INCLUDE A TWO INCH SLUMP UNLESS OTHERWISE NOTED ON THE PLANS.
14. TOWNSHIP RESERVES THE RIGHT OF ENTRY FOR THE PURPOSES OF INSPECTING ALL STORM WATER CONVEYANCE, TREATMENT, OR STORAGE FACILITIES. THE DEVELOPER/OWNER GRANTS TOWNSHIP THE RIGHT OF ACCESS TO ALL STORMWATER MANAGEMENT EASEMENTS ON THE SUBJECT TRACT.
15. NO PERSON SHALL MOOFY, REMOVE, FILL, LANDSCAPE OR ALTER STORM WATER MANAGEMENT FACILITIES AND/OR BMP FACILITIES WHICH MAY HAVE BEEN INSTALLED ON A PROPERTY UNLESS A STORM WATER MANAGEMENT PERMIT HAS BEEN OBTAINED TO PERMIT SUCH MODIFICATION, REMOVAL, FILLING, LANDSCAPING OR ALTERATION. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPE OR VEGETATION INTO A STORM WATER MANAGEMENT FACILITY, A BMP FACILITY, OR WITHIN A DRAINAGE EASEMENT.
16. SWM BMP'S SHALL BE INSPECTED BY THE LANDOWNER, OR THE OWNER'S DESIGNEE, INCLUDING THE TOWNSHIP FOR DEDICATED AND OWNED FACILITIES, ACCORDING TO THE FOLLOWING LIST OF MINIMUM FREQUENCIES:
A. ANNUALLY FOR THE FIRST FIVE(5) YEARS.
B. ONCE EVERY TWO(2) YEARS THEREAFTER.
C. A REPORT OF ALL INSPECTIONS SHALL BE SUBMITTED TO THE TOWNSHIP BY THE END OF THE CALENDAR YEAR IN WHICH THE INSPECTIONS WERE CONDUCTED.
D. ALL INSPECTION RECORDS SHALL BE MAINTAINED BY THE LANDOWNER OR SUCCESSOR FOR A PERIOD OF NOT LESS THAN FIVE(5) YEARS FROM THE DATE OF INSPECTION AND SHALL BE MADE AVAILABLE TO THE TOWNSHIP WITHIN FIVE(5) CALENDAR DAYS OF RECEIPT OF WRITTEN REQUEST BY THE TOWNSHIP.
E. THE TOWNSHIP OR ITS DESIGNEE MAY INSPECT, AT THE EXPENSE OF THE LANDOWNER, ALL PHASES OF THE CONSTRUCTION, OPERATION, MAINTENANCE AND ANY OTHER IMPLEMENTATION OF SWM BMP'S.



3904 B ABEL DRIVE
COLUMBIA, PA 17512
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Designer	MJM
Draftsman	PAG
Proj Manager	MJM
Surveyor	SESS
Perimeter Dk.	
Book	Pg
Acad	1-COVER
Layout	02-NOTES

Date	Description
	REVISIONS

3875-3885
BOARD ROAD

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN

PROJECT NO.	24005
DATE	JUNE 3, 2025
SCALE	NTS
SHEET NO.	2 OF 18

SOILS LEGEND

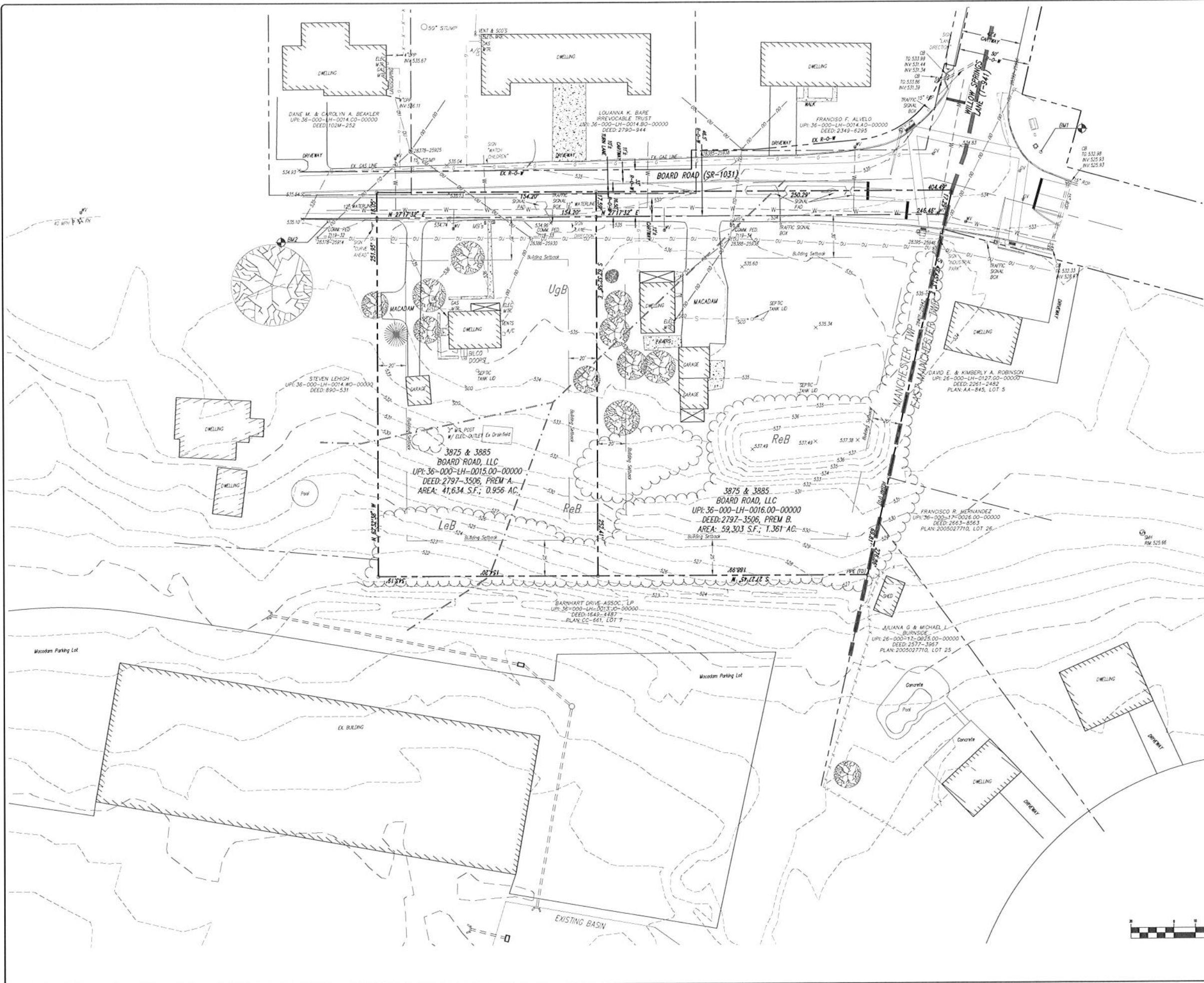
Soil cover on the site consists of:
LeB - Lonsdale Loom, 3X-6X Slopes,
Not Hydric, Group B, K Factor - 0.24
ReB - Readington Silt Loom, 3X-6X Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Penn, 0X-8X Slopes,
Not Hydric, Group B, K Factor - N/A

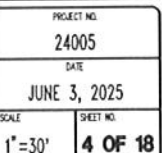
SURVEY FEATURES LEGEND

Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
I.P. Found
Project Benchmark

EXISTING FEATURES LEGEND

Existing Building
Existing Curbing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
HoB
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/triet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole





SOILS LEGEND

Soil cover on the site consists of:
LeB - Lansdale Loom, 3%-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
ReB - Readington Silty Loom, 3%-8% Slopes,
Not Hydric, Group G, K Factor - 0.37
UgB - Urban Land-Penn, 0%-8% Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

- Property Line, Lot Line
- Right-of-Way Line
- Adjoining Property Line
- Building Setback Line
- Easement Line
- Roadway Center Line
- LP, Found
- Project Benchmark

EXISTING FEATURES LEGEND

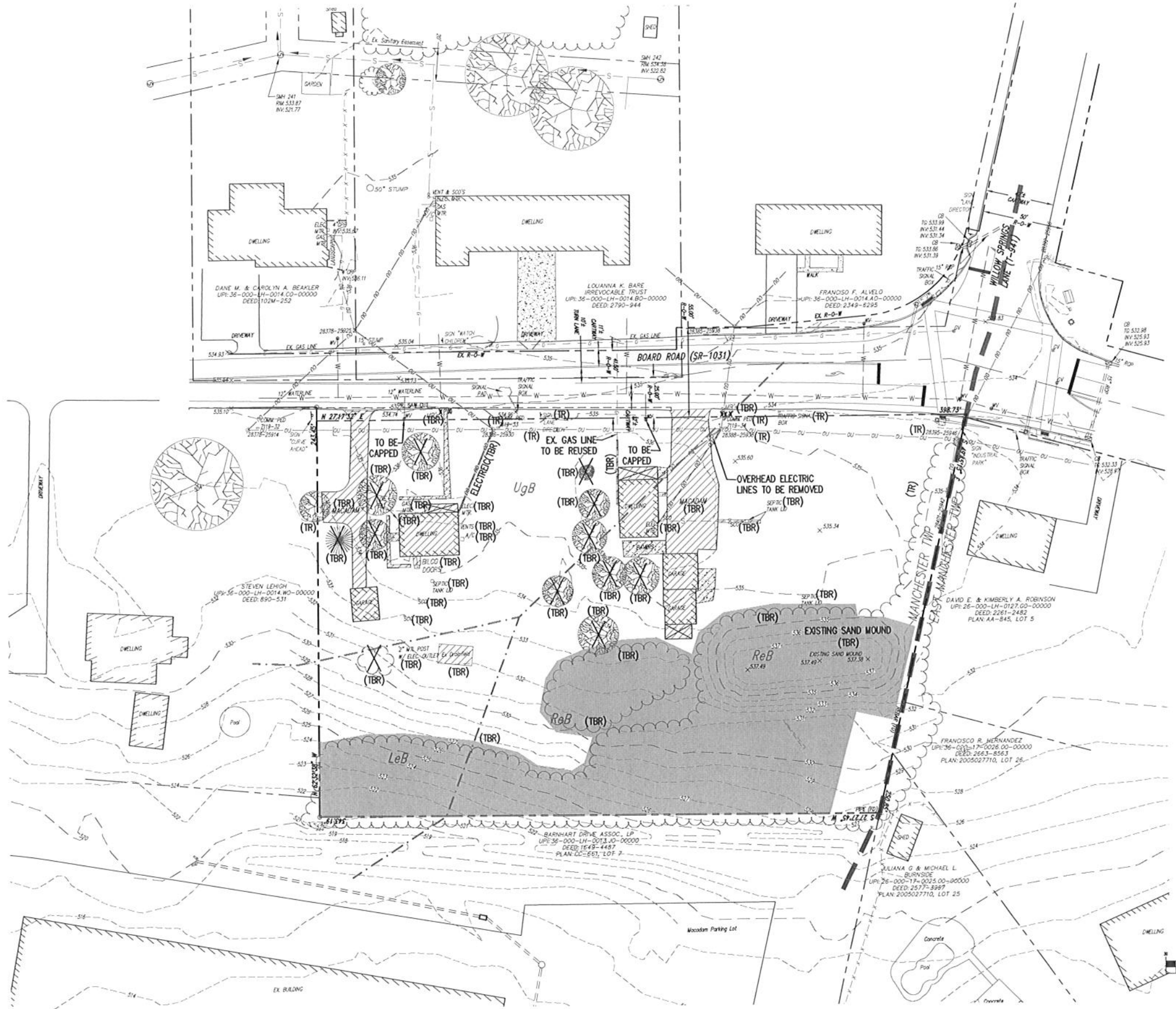
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- Existing Contours(5's)
- Existing Soil Limit Line/Boundary
- HoB
- Existing Tree Line
- Existing Sanitary Sewer
- Existing Water Line
- Existing Storm Sewer Line w/Arlet
- Existing Overhead Electric
- Existing Gas Line
- Existing Sign

DEMOLITION LEGEND

- (TBR) TO BE REMOVED
- (TR) TREE LINE TO BE REMOVED
- (TR) TO REMAIN

DEMOLITION NOTES

1. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND TEMPORARY BARRICADES AS REQUIRED TO FACILITATE OWNERS USE OF THE SITE DURING CONSTRUCTION.
2. THIS PLAN IS FOR SITE DEMOLITION WORK ONLY. REFER TO OTHER PLANS FOR DEMOLITION WORK NOT SHOWN ON THIS PLAN.
3. LIMIT OF PAVING, CURB, SIDEWALK, UTILITIES AND OTHER EXISTING FEATURES SHOWN TO BE REMOVED IS APPROXIMATE. DEMOLITION OF EXISTING STRUCTURES/ITEMS SHALL BE AS REQUIRED TO COMPLETE THE WORK.
4. SAW CUT AT THE EDGE OF ALL PAVEMENT, CURB, SIDEWALK AND OTHER PAVING TO BE REMOVED AND PAVING/CURBING TO REMAIN.
5. CONCRETE SIDEWALK/CURBING SHALL BE REMOVED TO THE NEAREST PRACTICAL EXPANSION JOINT OR CONTROL JOINT.
6. EXISTING UTILITY INFORMATION FIELD LOCATED THROUGH SURFACE APPURTENANCES AND IN ACCORDANCE WITH THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION, INCLUDING EXCAVATION OF TEST PITS, AND SHALL EXERCISE PRECAUTION TO AVOID DAMAGE TO EXISTING UTILITIES TO REMAIN.
7. ALL ITEMS SPECIFICALLY NOT INDICATED TO BE DEMOLISHED SHALL REMAIN.
8. SEE EROSION AND SEDIMENT CONTROL PLANS FOR ADDITIONAL LIMITS OF WORK RELATED TO TEMPORARY DIVERSION AND CONTROL MEASURES.



Designer	MAM
Draftsman	PAG
Proj Manager	MAM
Surveyor	SES
Partner/CL	
Book	Pg
Acad	3-DEM
Layout	5-DEM

DATE	DESCRIPTION
	REVISIONS

**3875-3885
BOARD ROAD**

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

**FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN**

DEMO PLAN

PROJECT NO.	24005
DATE	JUNE 3, 2025
SCALE	1" = 30'
SHEET NO.	5 OF 18

SOILS LEGEND

Soil cover on the site consists of:
LeB - Lonsdale Loom, 3%-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
ReB - Readington Silt Loom, 3%-8% Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Penn, 0%-8% Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
I.P. Found
Project Benchmark

EXISTING FEATURES LEGEND

Existing Building
Existing Curbing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
HsB
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/riof
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

PROPOSED FEATURES LEGEND

PROPOSED BUILDING
PROPOSED CURBING
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE

SIGNAGE LEGEND

SYMBOL	DESCRIPTION	SIZE	PA DOT DESIG.
A	STOP SIGN	24"x24"	R1-1
B	HANDICAP VAN ACCESSIBLE	6"x12"	R7-88
C	HANDICAP SIGN	12"x18"	R7-8

Designer: MAM
Draftsman: PAC
Proj Manager: MAM
Surveyor: SSS
Partner: DL
Book: Pg
Acad: 4-LAYOUT
Layout: 6-LAYOUT

DATE: 11/19/25
DESCRIPTION: REVISIONS

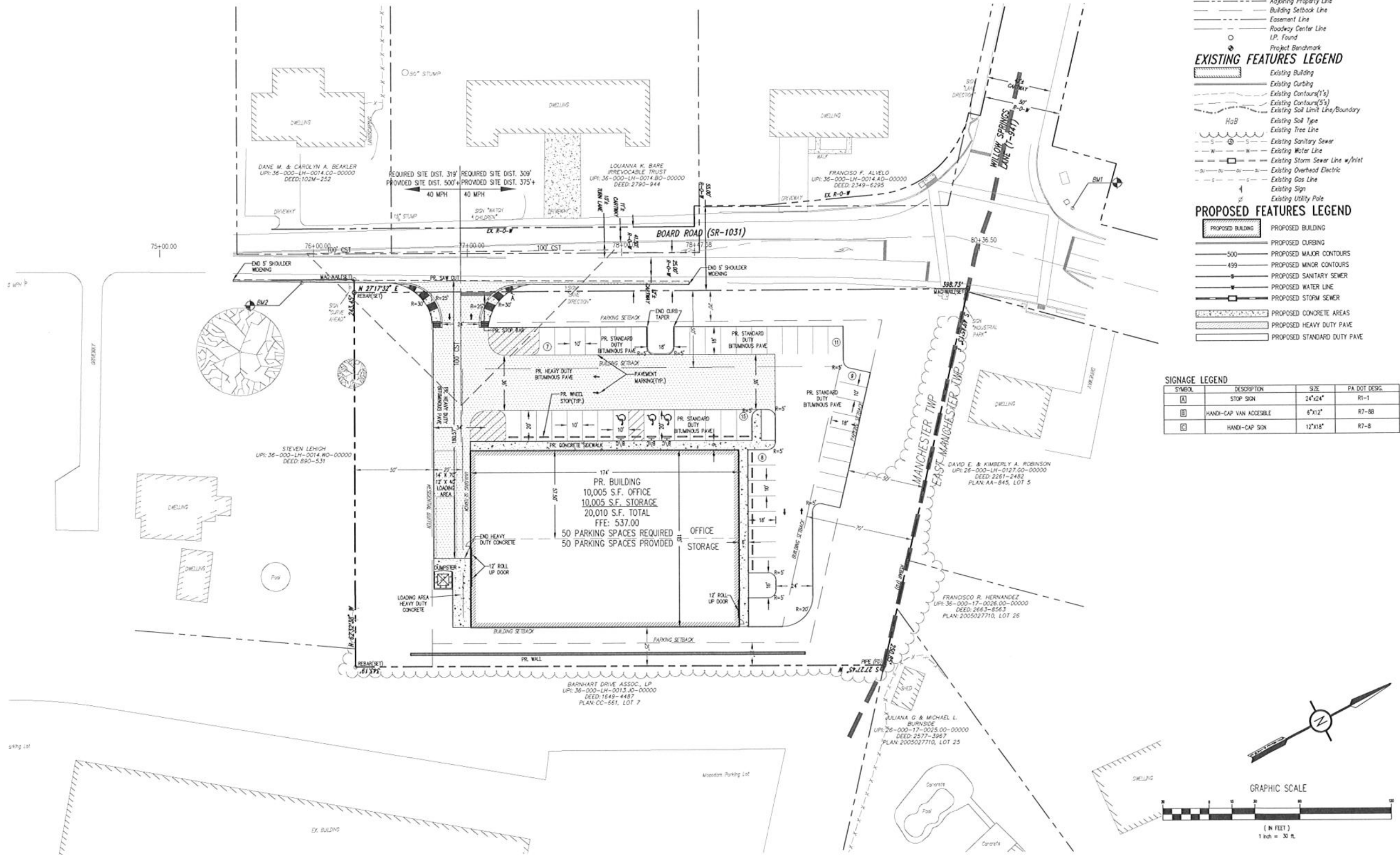
**3875-3885
BOARD ROAD**

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

**FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN**

LAYOUT PLAN

PROJECT NO:
24005
DATE:
JUNE 3, 2025
SCALE: 1"=30'
SHEET NO:
6 OF 18



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UgB - Urban Land-Penn, 0%-8% Slopes,
Not Hydric, Group B, K Factor - N/A

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I.P. Found
Project Benchmark

EXISTING FEATURES LEGEND

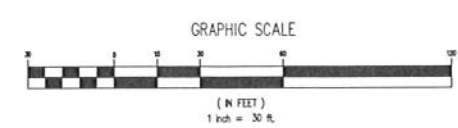
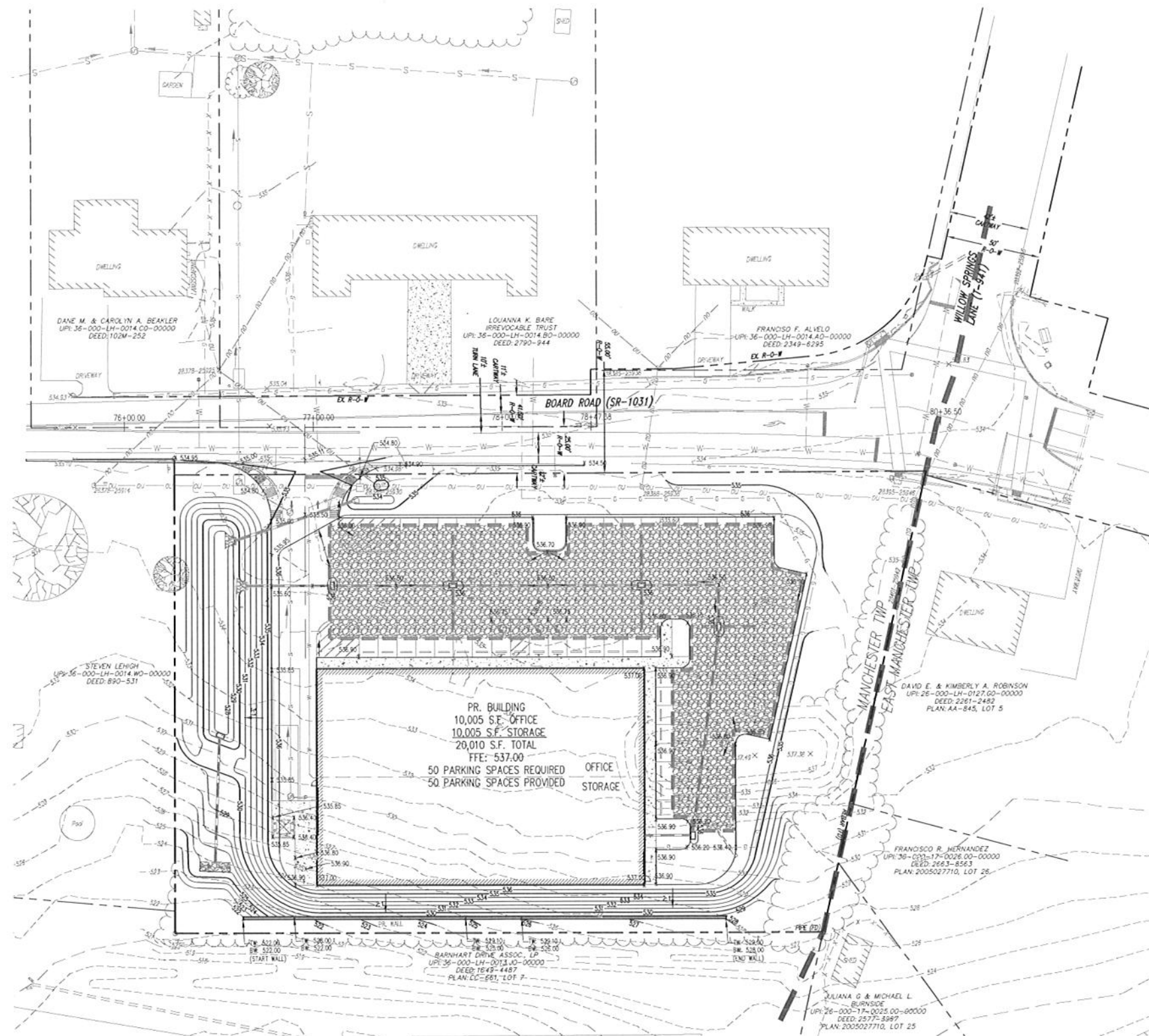
Existing Building
Existing Curbing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
HoB
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/Inlet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

PROPOSED FEATURES LEGEND

PROPOSED BUILDING
PROPOSED CURBING
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE

NOTES:

- ALL HANDICAPPED ACCESSIBLE RAMPS ARE TO BE BUILT TO CURRENT ADA SPECIFICATIONS.
- ALL HANDICAPPED ACCESSIBLE PARKING SPACES, NOT TO EXCEED 2% IN ANY DIRECTION.
- ALL SIDEWALKS AND CROSSWALKS, NOT EXCEED 5% WALKING SLOPE OR 2% CROSS SLOPE.



Designer: MAM
Draftsman: PAC
Proj/Manager: MAM
Surveyor: SLS
Partner/Dr.:
Book: Pg.
Acad: 5-GRADING
Layout: 7-GRADING

3875-3885
BOARD ROAD

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN

GRADING PLAN

PROJECT NO.
24005
DATE
JUNE 3, 2025
SCALE
1"=30'
SHEET NO.
7 OF 18

SOILS LEGEND

Soil cover on the site consists of:
LdB - Lonsdale Loom, 3%-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
PdB - Readington Silt Loom, 3%-8% Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Penn, 0%-8% Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

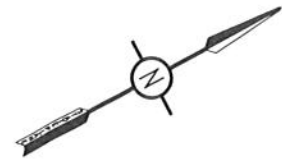
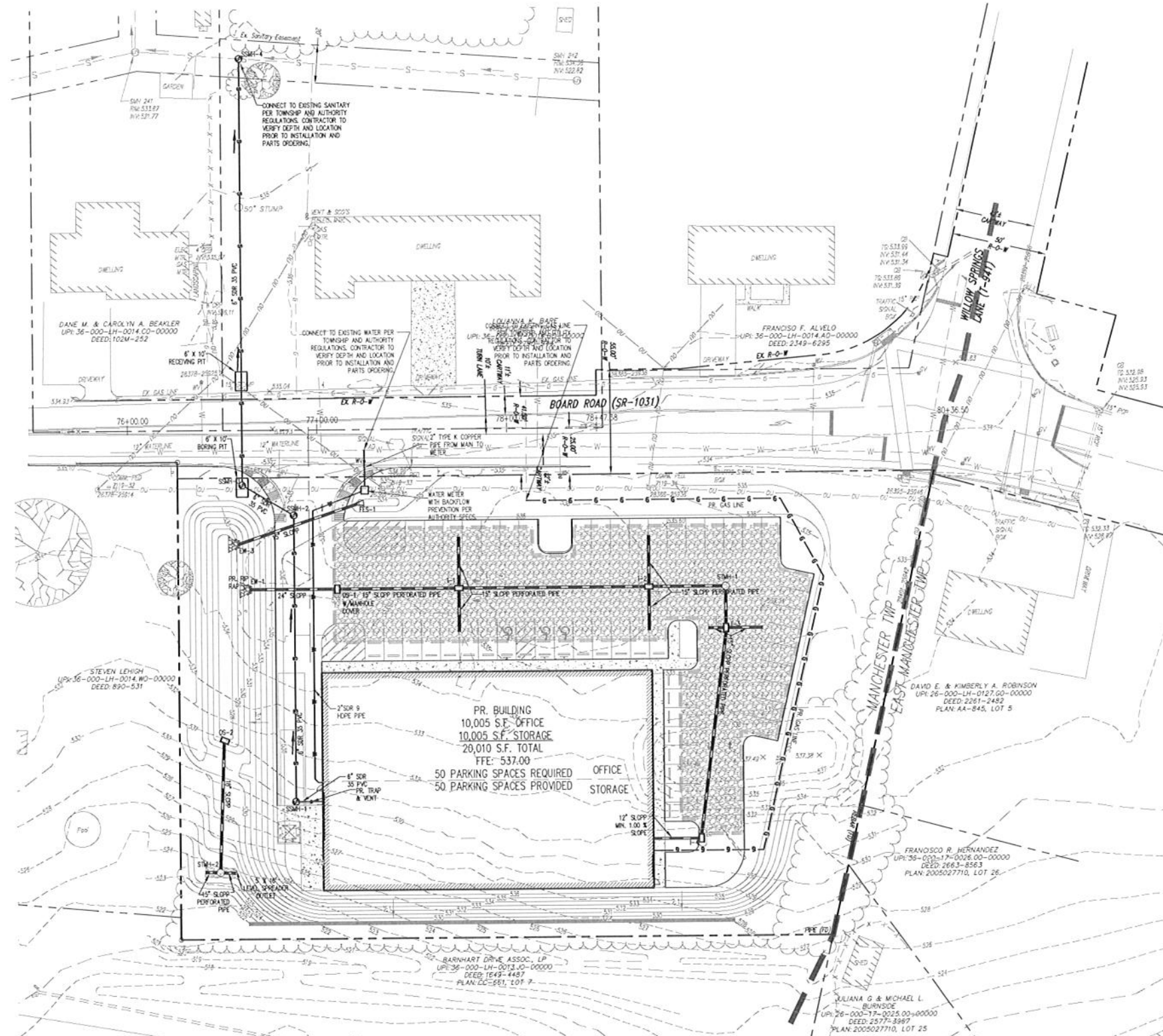
Property Line, Lot Line
Right-of-Way Line
Aspiring Property Line
Building Setback Line
Easement Line
Roadway Center Line
L.P. Found
Project Benchmark

EXISTING FEATURES LEGEND

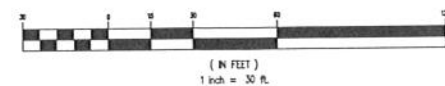
Existing Building
Existing Curbing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
HoB
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/trail
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

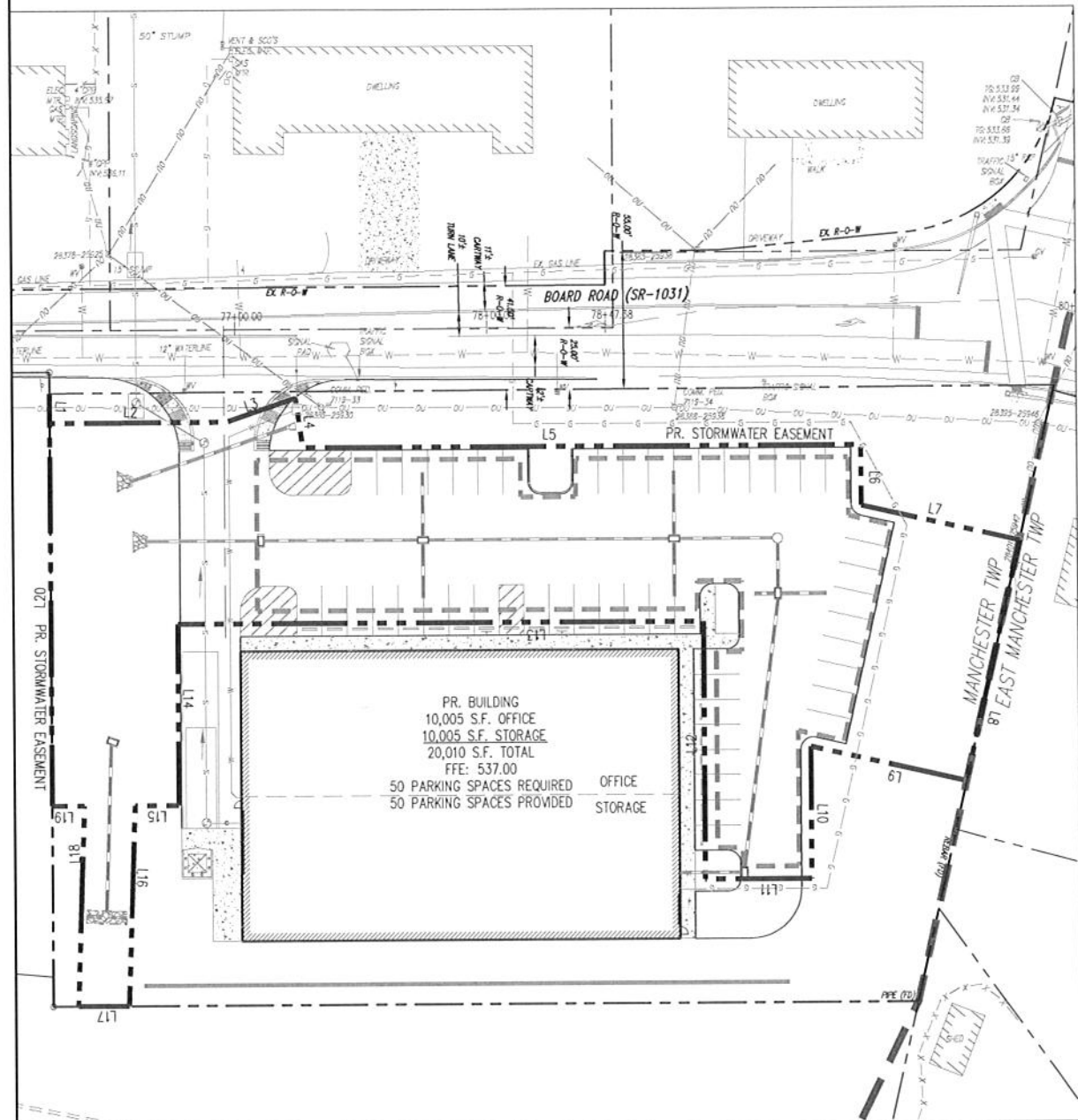
PROPOSED FEATURES LEGEND

PROPOSED BUILDING
PROPOSED CURBING
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE



GRAPHIC SCALE

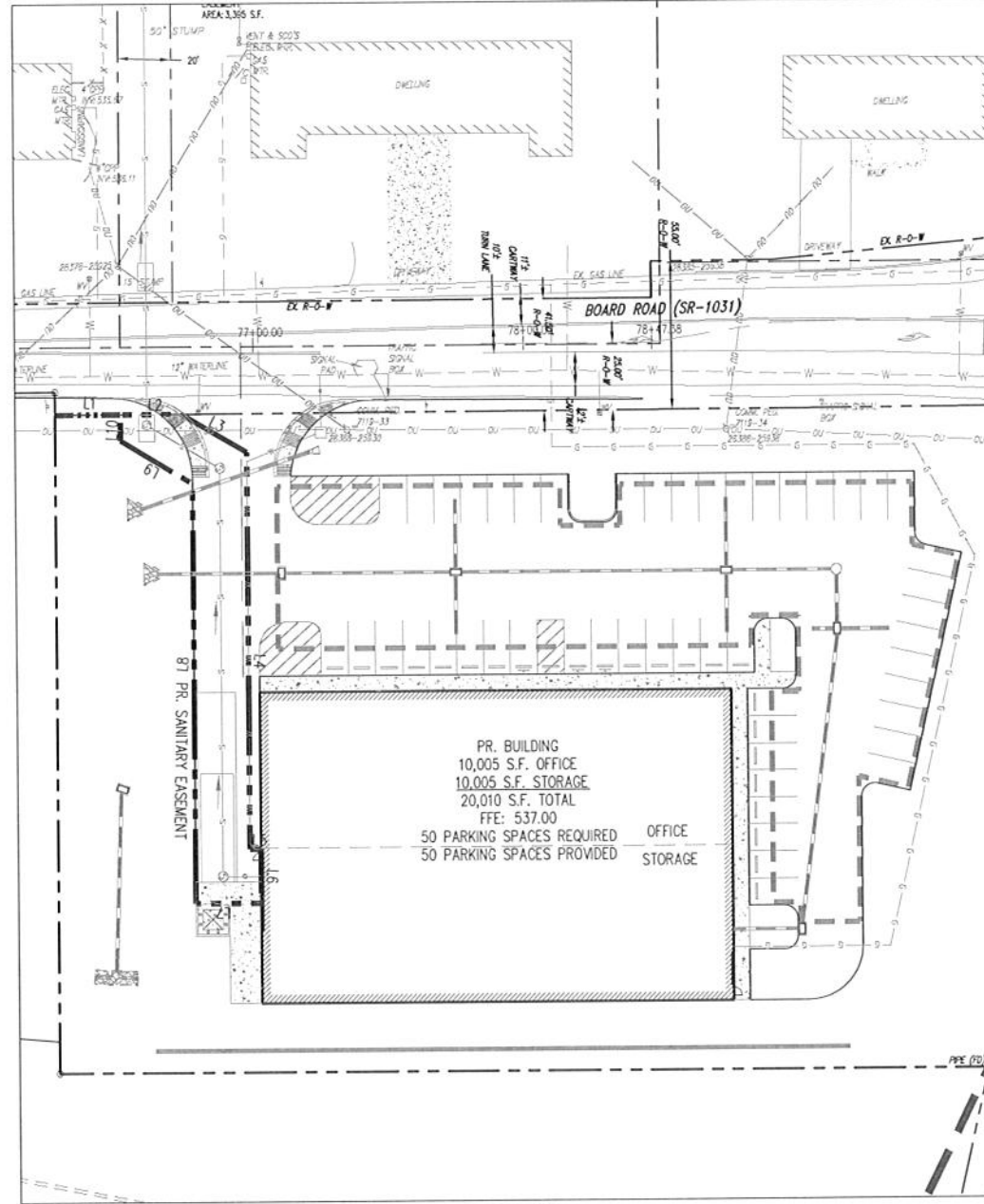




STORMWATER EASEMENT

STORMWATER EASEMENT TABLE		
LINE	DIRECTION	LENGTH
L1	S 62° 32' 38" E	11.89
L2	N 27° 17' 32" E	69.99
L3	N 08° 57' 08" E	29.33
L4	S 70° 36' 01" E	19.78
L5	N 27° 27' 45" E	221.22
L6	S 62° 31' 44" E	24.12
L7	N 40° 14' 47" E	64.57
L8	S 49° 45' 13" E	98.00
L9	S 40° 14' 457 W	63.53
L10	S 62° 32' 15" E	52.28

STORMWATER EASEMENT TABLE		
LINE	DIRECTION	LENGTH
L11	S 27° 27' 45" W	42.00
L12	N 62° 32' 15" W	102.50
L13	S 27° 27' 45" W	209.00
L14	S 62° 32' 15" E	71.93
L15	S 27° 27' 45" W	17.47
L16	S 60° 32' 36" E	79.61
L17	S 27° 27' 45" W	20.01
L18	N 60° 32' 36" W	79.61
L19	S 27° 27' 45" W	12.62
L20	N 62° 32' 38" W	152.00



SANITARY EASEMENT

SANITARY EASEMENT TABLE		
LINE	DIRECTION	LENGTH
L1	N 27° 17' 32" E	24.18
L2	N 27° 17' 32" E	22.86
L3	N 58° 06' 18" E	27.99
L4	S 62° 32' 15" E	146.82
L5	N 27° 27' 45" E	4.00
L6	S 62° 32' 15" E	20.00
L7	S 27° 27' 45" W	24.00
L8	N 62° 32' 15" W	155.43
L9	S 58° 06' 18" W	32.32
L10	N 62° 32' 28" W	9.63

SOILS LEGEND

Soil cover on the site consists of:
LeB - Lonsdale Loom, 3E-8E Slopes,
Not Hydric, Group B, K Factor - 0.24
RdB - Readington Silt Loom, 3E-8E Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Penn, 0E-8E Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

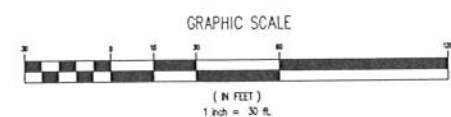
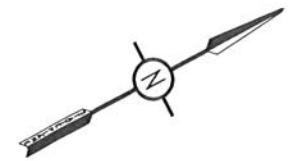
Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
LP, Found
Project Benchmark

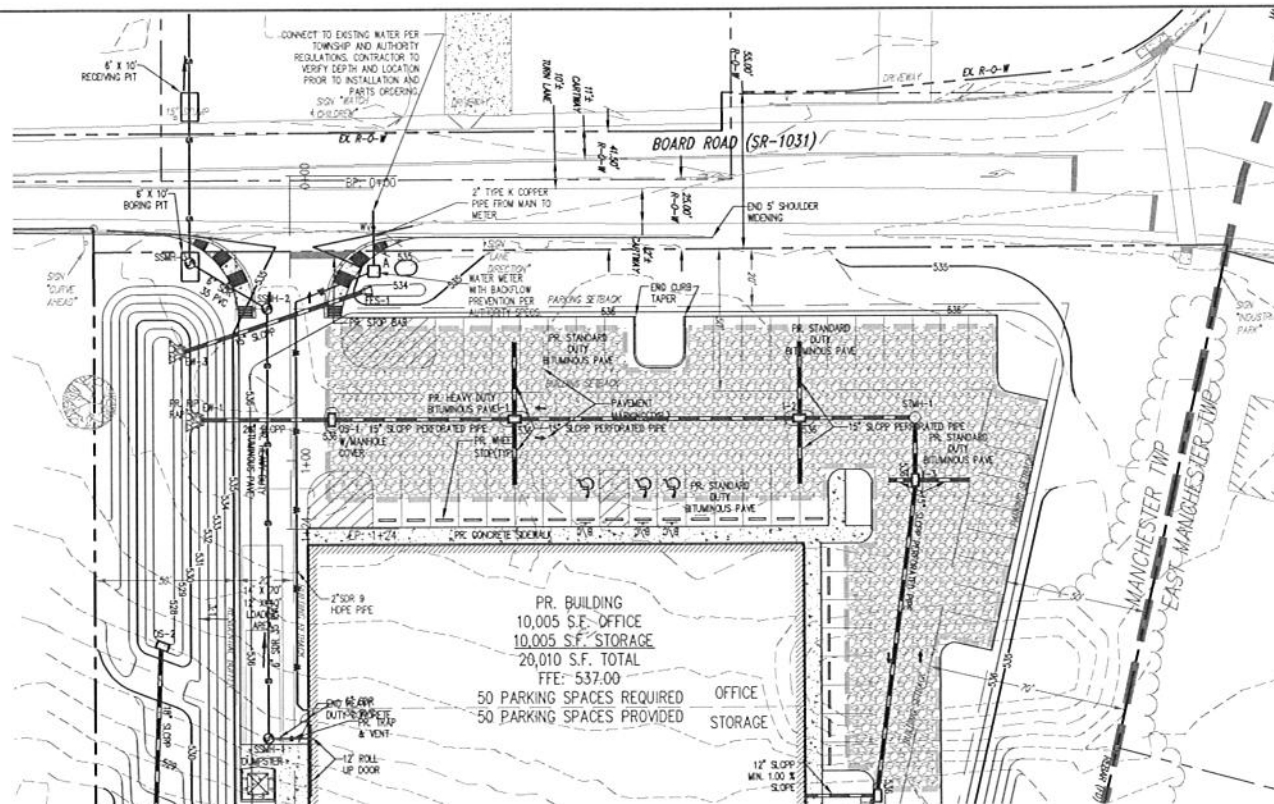
EXISTING FEATURES LEGEND

Existing Building
Existing Curbing
Existing Contours (1's)
Existing Contours (5's)
Existing Soil Limit Line/Boundary
HoB
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/rirel
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

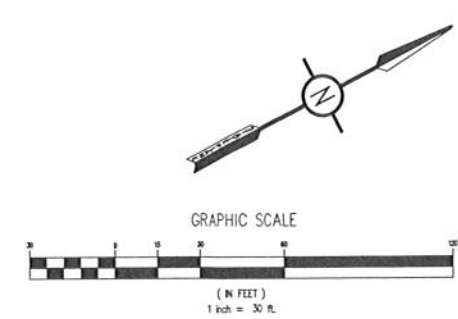
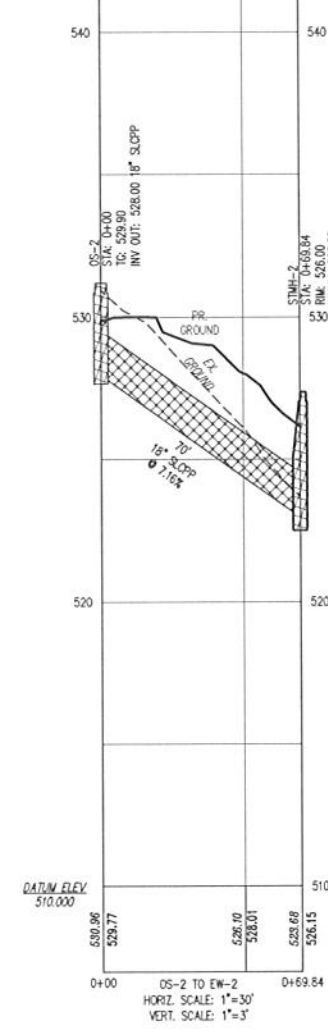
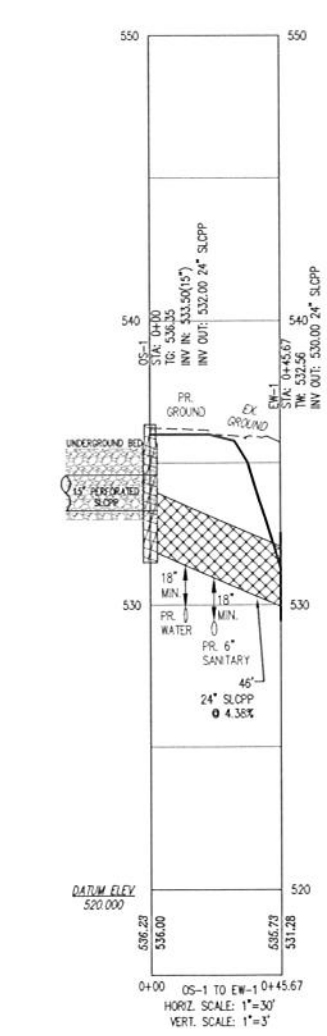
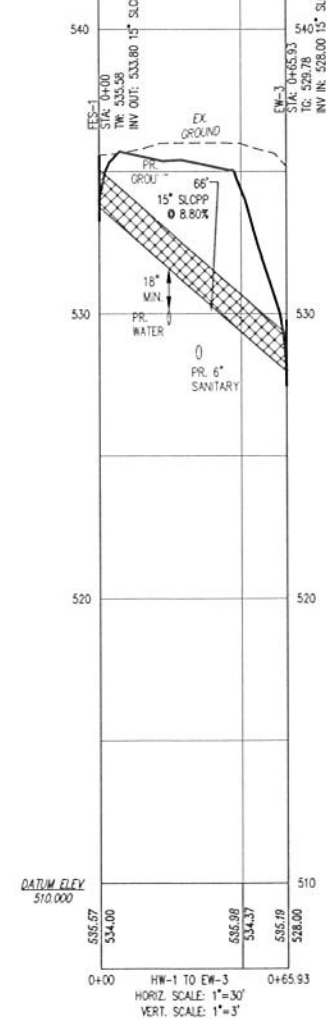
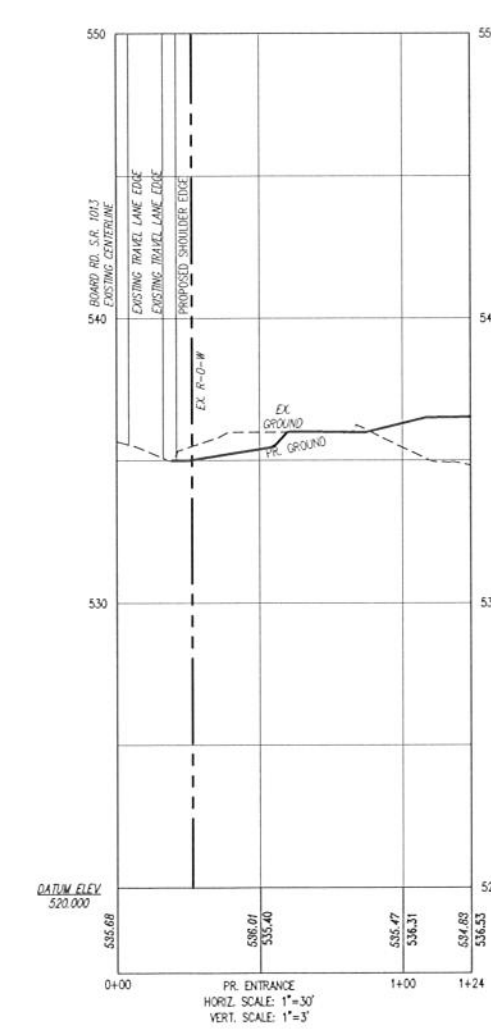
PROPOSED FEATURES LEGEND

PROPOSED BUILDING
PROPOSED CURBING
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE





- SOILS LEGEND**
Soil cover on the site consists of:
LoB - Lonsdale Loom, 1% - 8% Slopes,
Not Hydric, Group B, K Factor - 0.24
ReB - Readington Silty Loom, 1% - 8% Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Pan, 0% - 8% Slopes,
Not Hydric, Group B, K Factor - N/A
- SURVEY FEATURES LEGEND**
Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
I.P. Found
Project Benchmark
- EXISTING FEATURES LEGEND**
Existing Building
Existing Outing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
HoB
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/Inlet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole
- PROPOSED FEATURES LEGEND**
PROPOSED BUILDING
PROPOSED CURBS
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE



3904 B ABEL DRIVE
COLUMBIA, PA 17512
PH: 717-522-5031
Fax: 717-522-5046
WWW.PTELANC.COM

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Designer	MAM
Draftsman	PAC
Proj Manager	MAM
Surveyor	SES
Partnering Dir.	
Book	Pg
Acad	7-PROFILES
Layout	10-PROFILES

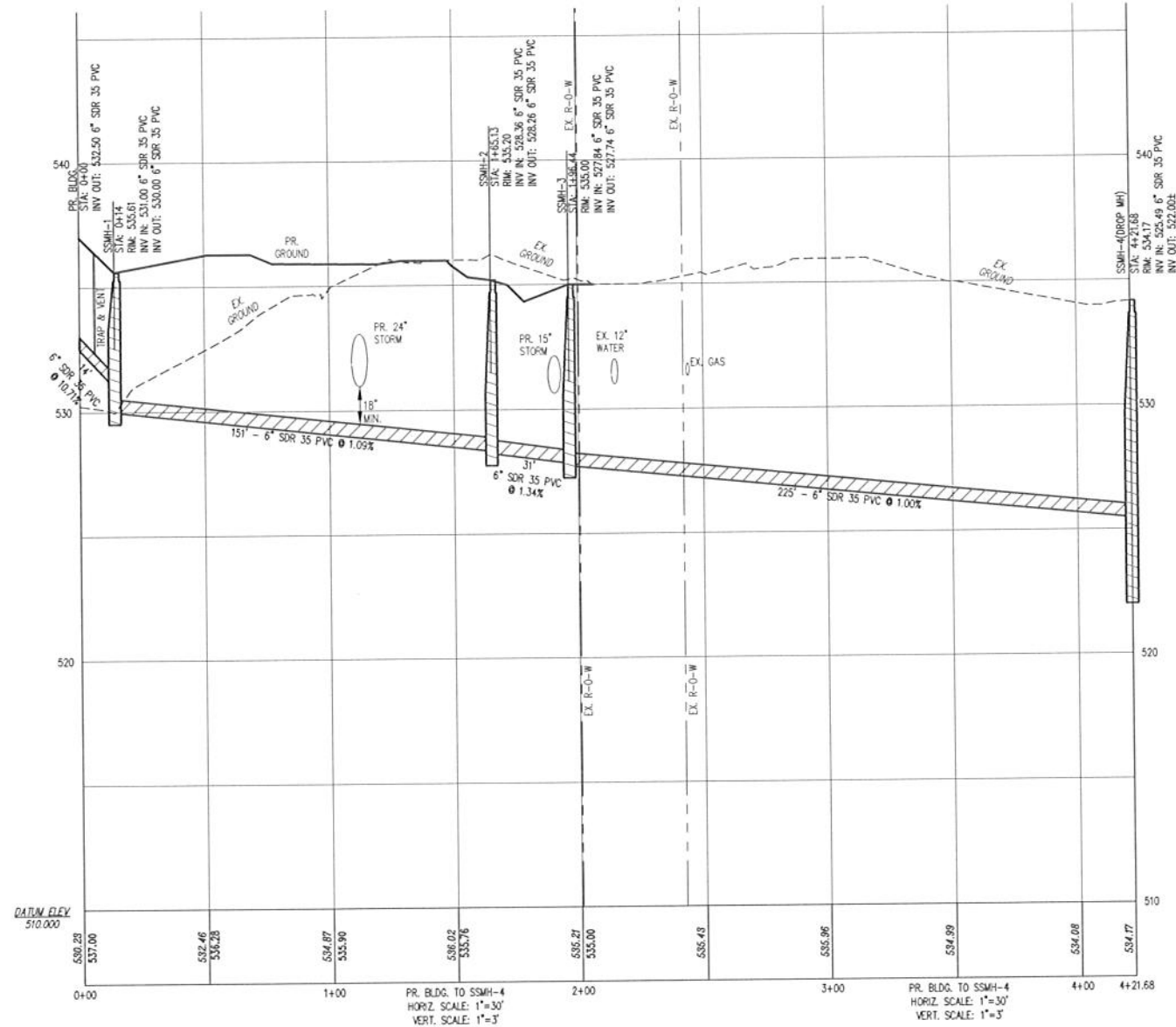
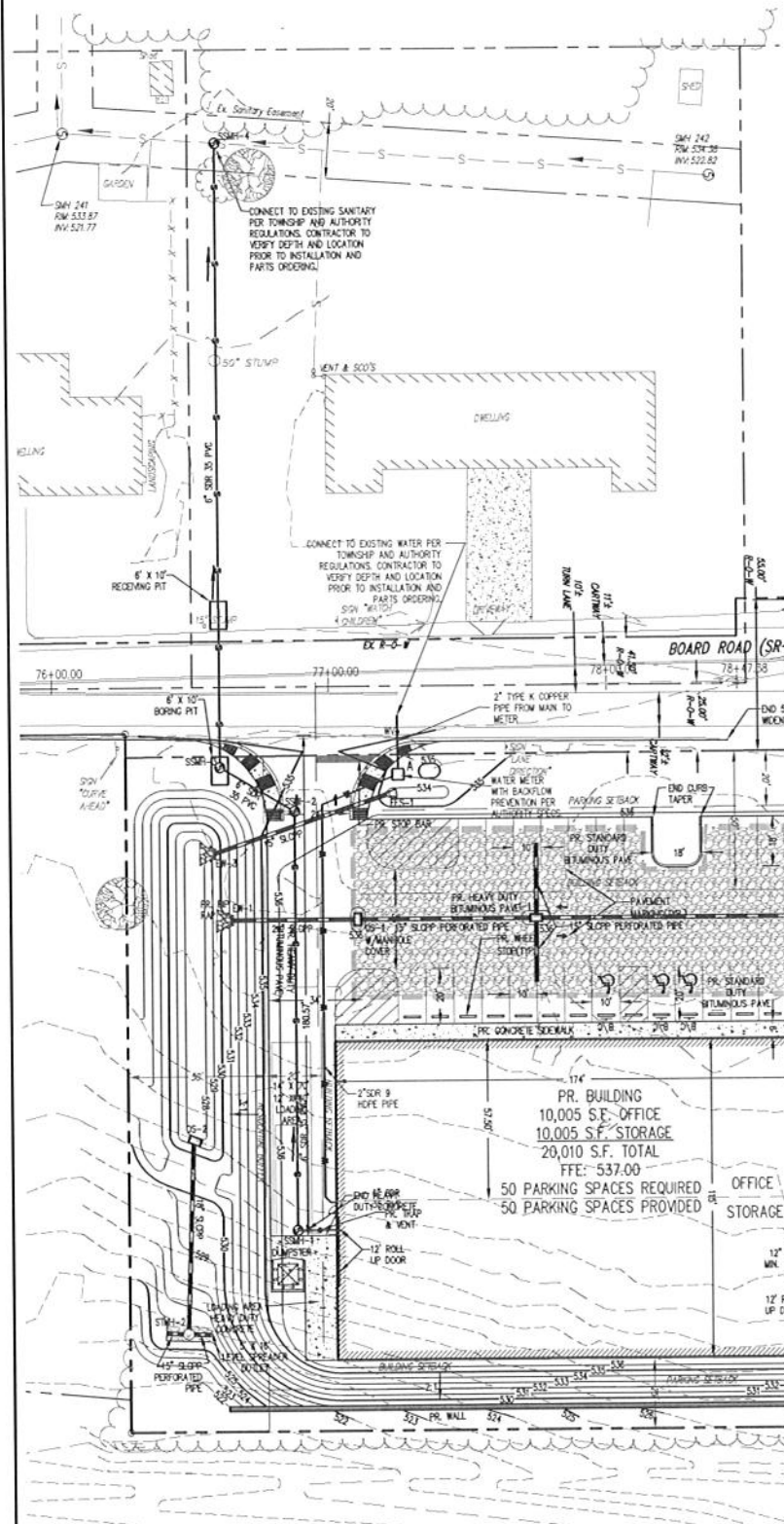
3875-3885
BOARD ROAD

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN

PROFILES

PROJECT NO.	24005
DATE	JUNE 3, 2025
SCALE	1"=30'
SHEET NO.	10 OF 18



SOILS LEGEND

Soil cover on the site consists of:
LeB - Lonsdale Loom, 3X-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
ReB - Readington Sil Loom, 3X-8% Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Penn, 0X-8% Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
L.P. Found
Project Benchmark

EXISTING FEATURES LEGEND

Existing Building
Existing Curbing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/Inlet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

PROPOSED FEATURES LEGEND

PROPOSED BUILDING
PROPOSED CURBING
500' PROPOSED MAJOR CONTOURS
499' PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE

SOILS LEGEND

Soil cover on the site consists of:
LeB - Lonsdale Loom, 3%-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
ReB - Readington Sil Loom, 3%-8% Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Penn, 0%-8% Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
I.P. Found
Project Benchmark

EXISTING FEATURES LEGEND

Existing Building
Existing Curbing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
HoB
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/Inlet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

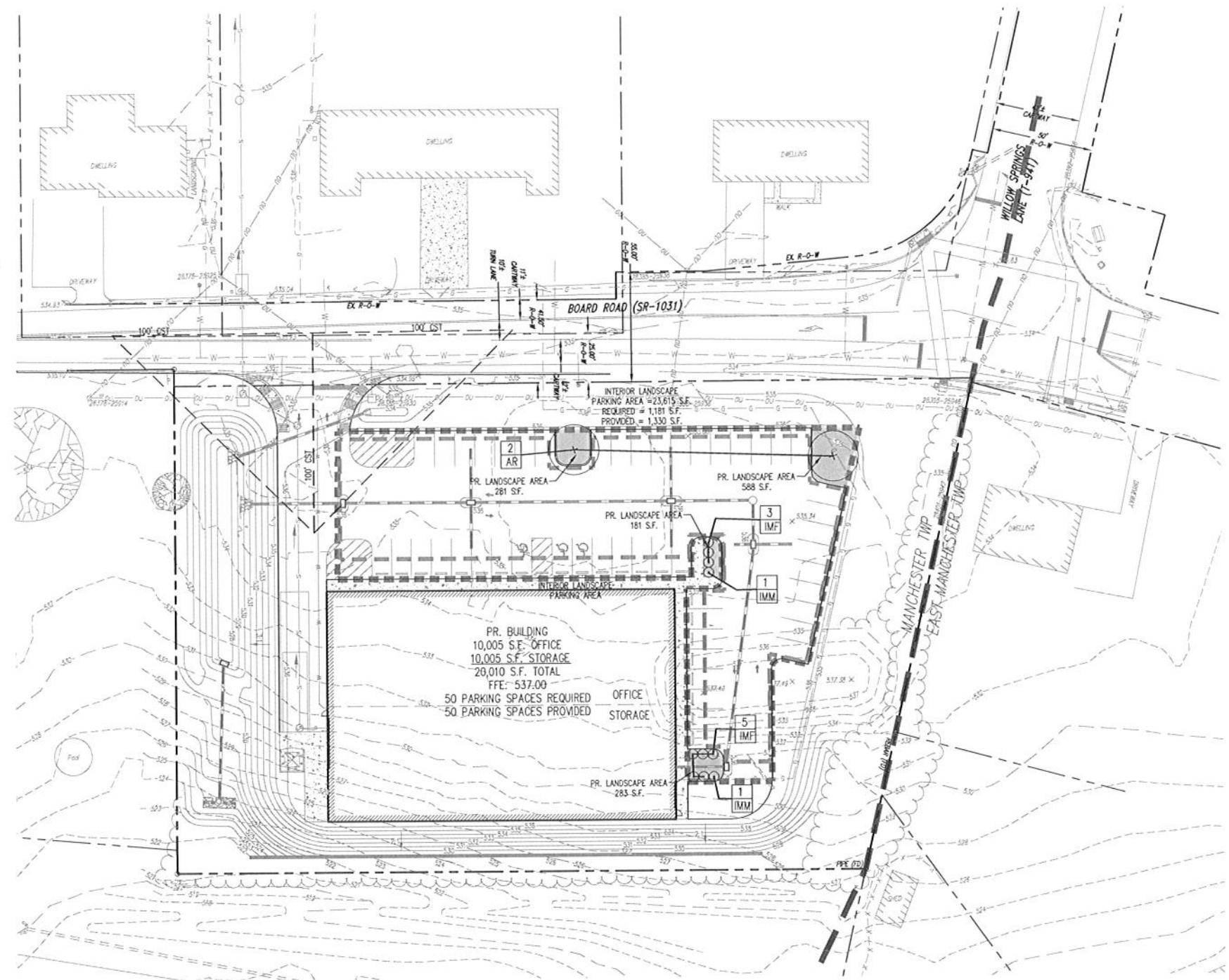
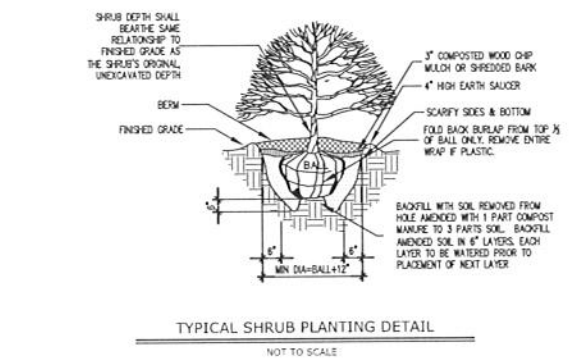
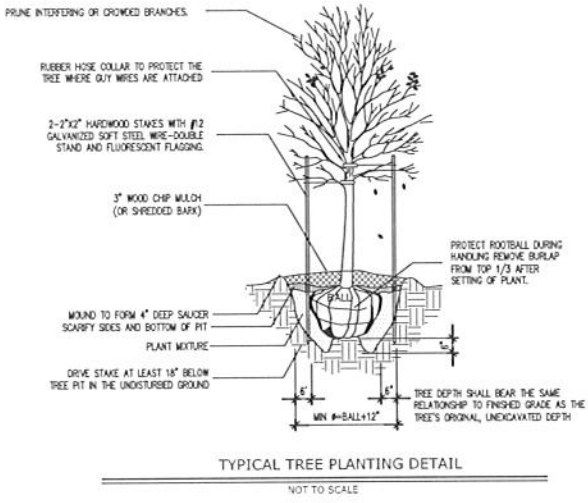
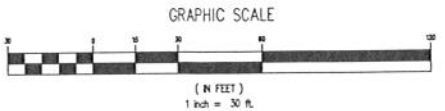
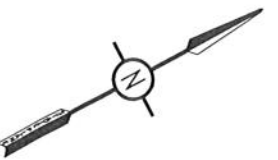
PROPOSED FEATURES LEGEND

PROPOSED BUILDING
PROPOSED CURBING
500' PROPOSED MAJOR CONTOURS
499' PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEWER
PROPOSED WATER LINE
PROPOSED STORM SEWER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE

TOTAL INTERIOR LANDSCAPE PARKING 23,615 S.F.
REQUIRED - 1,181 S.F.
PROVIDED - 1,330 S.F.

PLANT SYMBOL LEGEND

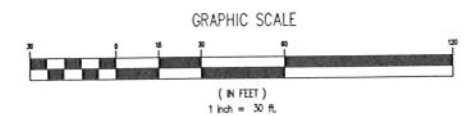
DECIDUOUS TREE
SHRUB
PLANT KEY



PLANT LIST - Board Road

KEY	QTY.	BOTANICAL/ COMMON NAME	TYPE	SIZE	CONDITION
AR	2	ACER RUBRUM - RED MAPLE	MAJOR DECIDUOUS	2" CAL.	B & B
IMF	8	ILEX X MESERVEAE 'BLUE PRINCESS'- BLUE PRINCESS HOLLY (FEMALE)	SHRUB	3 GALLON	CONTAINER
IMM	2	ILEX X MESERVEAE 'BLUE PRINCE'- BLUE PRINCE HOLLY (MALE)	SHRUB	3 GALLON	CONTAINER

PROJECT NO. 24005	
DATE JUNE 3, 2025	
SCALE 1"=30'	SHEET NO. 13 OF 14



SOILS LEGEND

Soil cover on the site consists of:
LsB - Lonsdale Loam, 3%-8% Slopes,
Not Hydric, Group B, K Factor - 0.24
RdB - Readington Silt Loam, 3%-8% Slopes,
Not Hydric, Group C, K Factor - 0.37
UgB - Urban Land-Penn, 0%-8% Slopes,
Not Hydric, Group B, K Factor - N/A

SURVEY FEATURES LEGEND

Property Line, Lot Line
Right-of-Way Line
Adjoining Property Line
Building Setback Line
Easement Line
Roadway Center Line
LP, Found
Project Benchmark

EXISTING FEATURES LEGEND

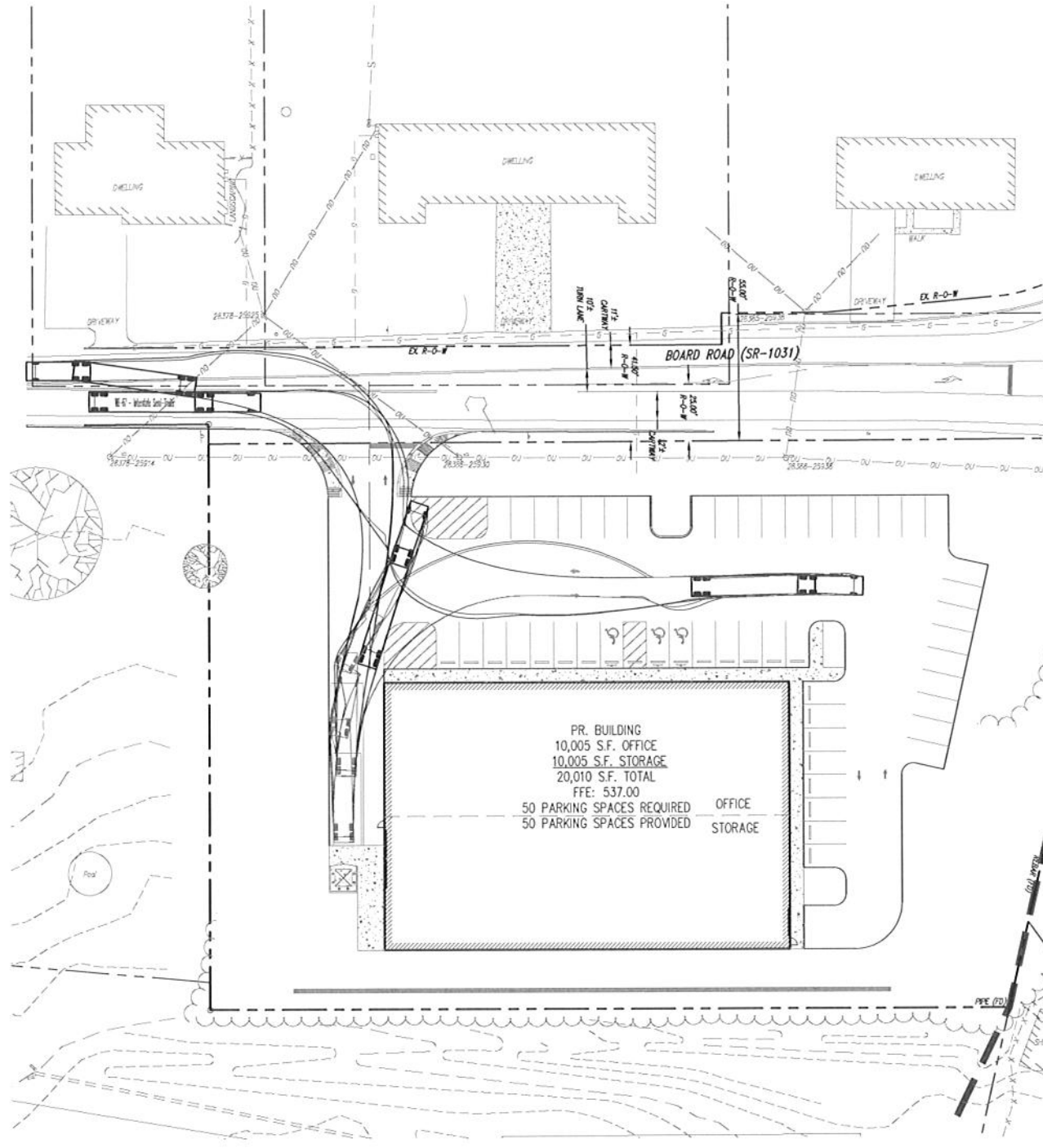
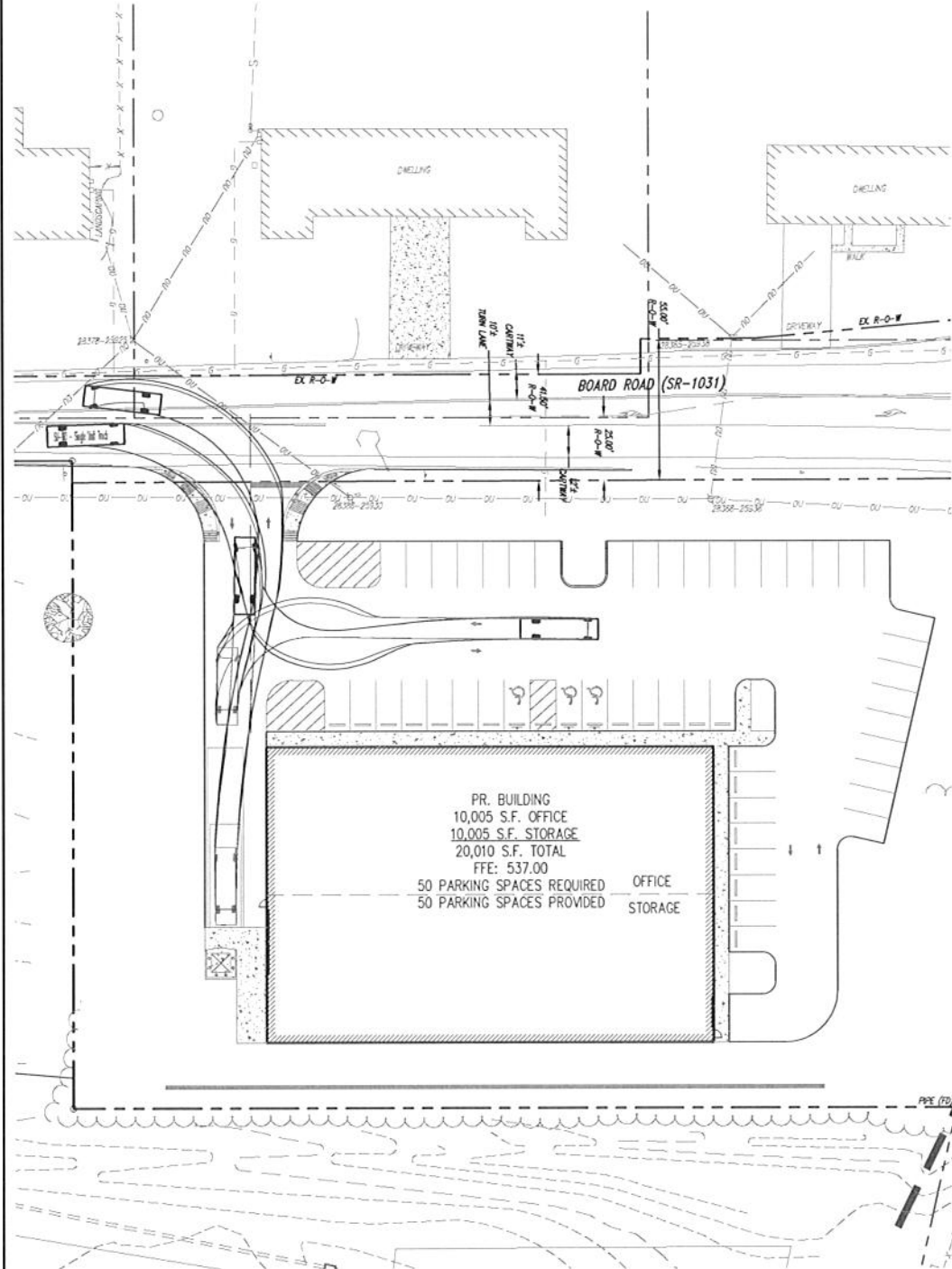
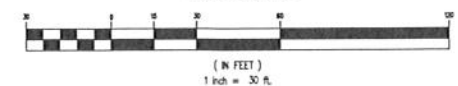
Existing Building
Existing Outing
Existing Contours(1's)
Existing Contours(5's)
Existing Soil Limit Line/Boundary
HaB
Existing Soil Type
Existing Tree Line
Existing Sanitary Sewer
Existing Water Line
Existing Storm Sewer Line w/inlet
Existing Overhead Electric
Existing Gas Line
Existing Sign
Existing Utility Pole

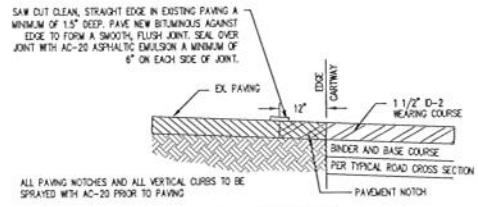
PROPOSED FEATURES LEGEND

PROPOSED BUILDING
PROPOSED CURBING
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
PROPOSED SANITARY SEMER
PROPOSED WATER LINE
PROPOSED STORM SEMER
PROPOSED CONCRETE AREAS
PROPOSED HEAVY DUTY PAVE
PROPOSED STANDARD DUTY PAVE



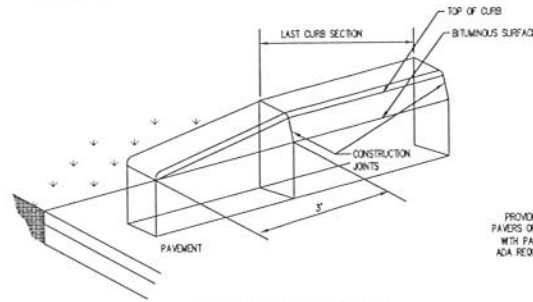
GRAPHIC SCALE





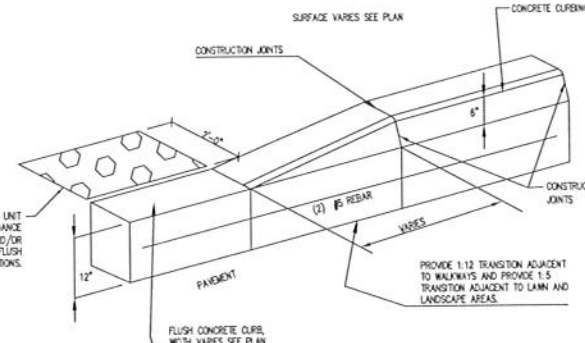
PAVEMENT SAWCUT DETAIL

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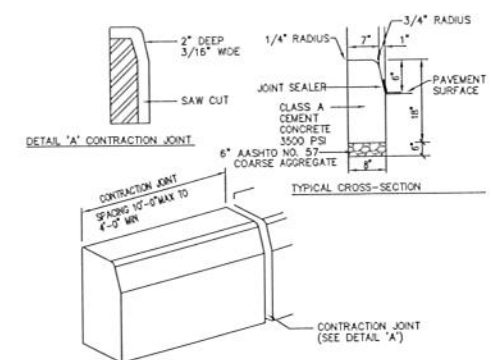
TYPICAL CURB END DETAIL

NOT TO SCALE



FLUSH CURB DETAIL

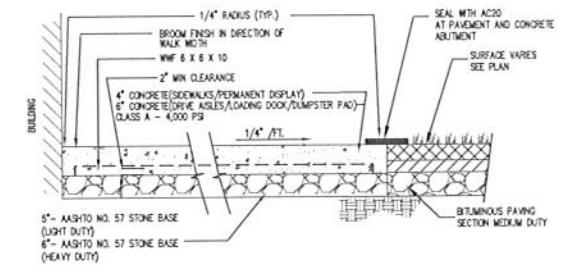
NOT TO SCALE



STANDARD CONCRETE CURB

NOT TO SCALE

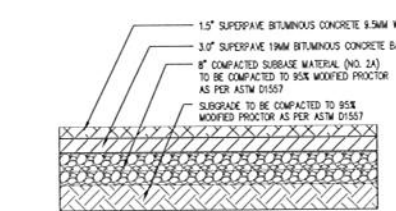
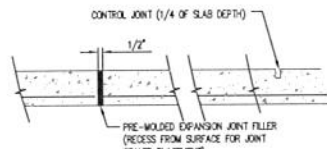
- NOTES:
1. MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 408, SECTION 430, FOR PLAN CEMENT CONCRETE CURBS AND DEPRESSED CURBS, SECTION 640 FOR PLAN CEMENT CONCRETE CURBS AND FOR PLAN CEMENT CONCRETE CURBS OUTLET.
 2. PLACE 3/4-INCH PREMOULDED EXPANSION JOINT AT MAXIMUM INTERVALS OF 50'-0" AT ALL STRUCTURES/INLETS AND AT THE END OF EACH WORKDAY.
 3. SEE PG-50 FOR PLAN CEMENT CONCRETE CURBS SLOPED TOP TREATMENT AT END OF STRUCTURES.
 4. CONCRETE CURB CONSTRUCTED PER SECTION 641 "PLAN CEMENT CONCRETE CURBS OUTLET" PA DOT SPECIFICATION, 1970, AS AMENDED.



CONCRETE SIDEWALK/PAVEMENT DETAIL

NOT TO SCALE

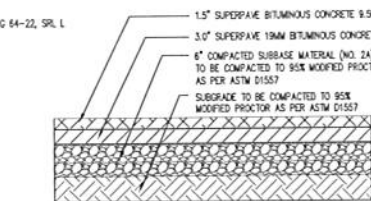
- NOTES:
1. EXPANSION JOINTS LOCATED AT 3 TIMES WALK WIDTH, 25' O.C. MAXIMUM.
 2. TOOLED JOINTS LOCATED AT INCREMENTS EQUAL TO WALK WIDTH.
 3. SIDEWALK IS TO BE STIFF BROOM FINISHED IN THE DIRECTION OF SIDEWALK WIDTH.
 4. WIDTH PER PLAN.
 5. CONTROL JOINTS SHALL BE CUT WITHIN 72 HOURS OF PLACEMENT.
 6. ALL EXPANSION JOINTS MUST BE SEALED OR CALKED.



- NOTE: 1. ALL PAVING MATERIALS AND INSTALLATION PROCEDURES SHALL CONFORM TO PA DOT PUBLICATION 408, MOST RECENT AMENDMENT.
2. DESIGN ESALS TO BE < 0.3 MILLION.

HEAVY-DUTY BITUMINOUS PAVING

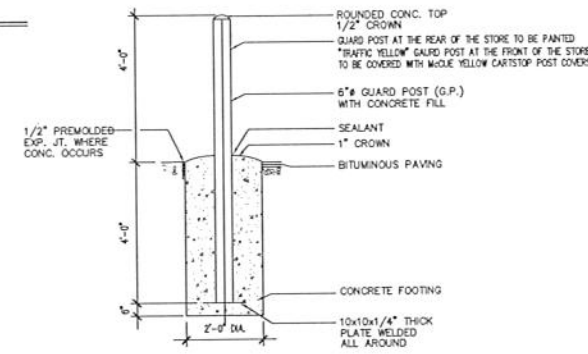
NOT TO SCALE



- NOTE: 1. ALL PAVING MATERIALS AND INSTALLATION PROCEDURES SHALL CONFORM TO PA DOT PUBLICATION 408, MOST RECENT AMENDMENT.
2. DESIGN ESALS TO BE < 0.3 MILLION.

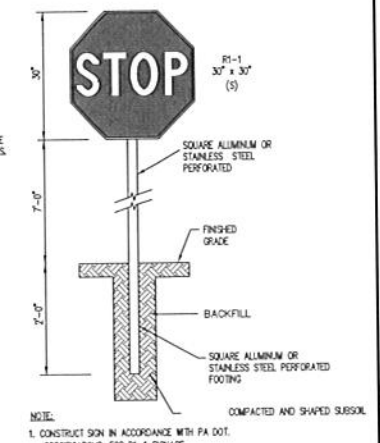
STANDARD-DUTY BITUMINOUS PAVING

NOT TO SCALE



TYPICAL BOLLARD DETAIL

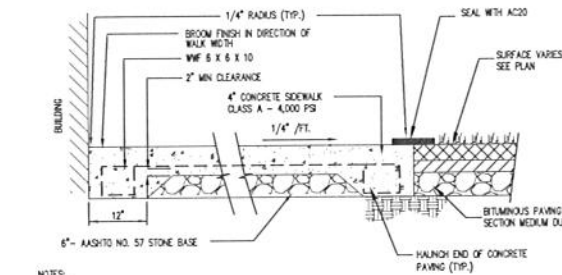
NOT TO SCALE



STOP SIGN DETAIL

NOT TO SCALE

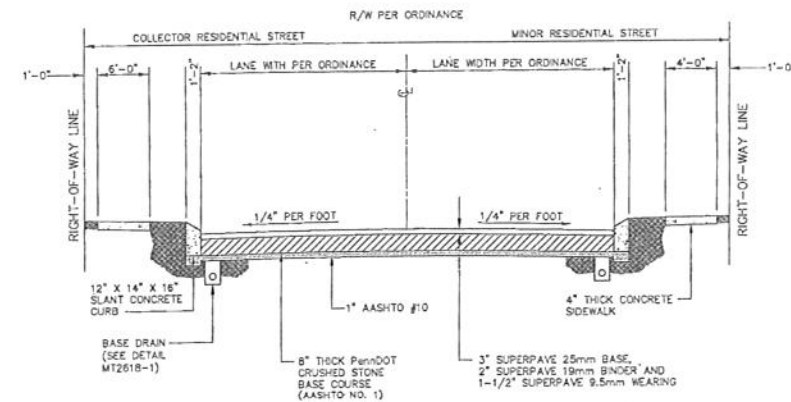
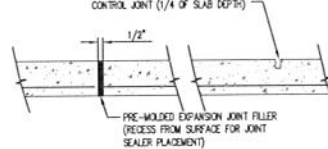
- NOTE: 1. CONSTRUCT SIGN IN ACCORDANCE WITH PA DOT SPECIFICATIONS FOR R1-1 SIGNAGE.



CONCRETE SIDEWALK/PAVEMENT DETAIL (BUILDING AREAS)

NOT TO SCALE

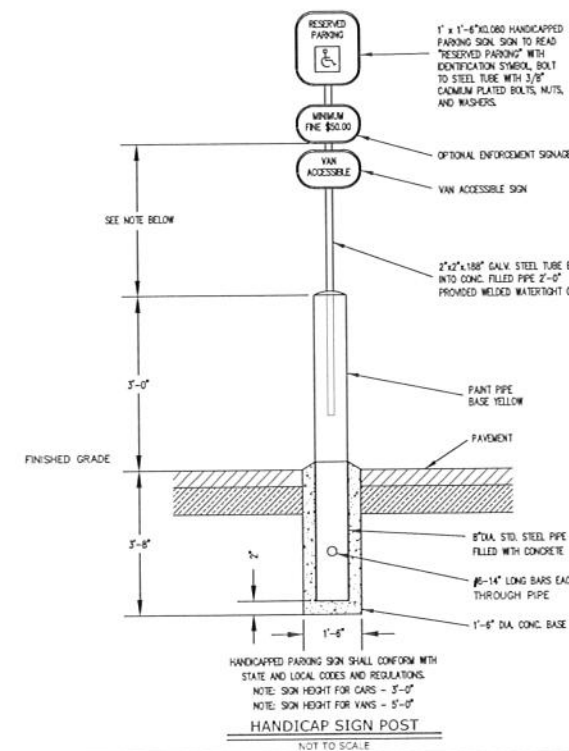
- NOTES:
1. EXPANSION JOINTS LOCATED AT 3 TIMES WALK WIDTH, 25' O.C. MAXIMUM.
 2. TOOLED JOINTS LOCATED AT INCREMENTS EQUAL TO WALK WIDTH.
 3. SIDEWALK IS TO BE STIFF BROOM FINISHED IN THE DIRECTION OF SIDEWALK WIDTH.
 4. WIDTH PER PLAN.
 5. CONTROL JOINTS SHALL BE CUT WITHIN 72 HOURS OF PLACEMENT.
 6. ALL EXPANSION JOINTS MUST BE SEALED OR CALKED.



STREET CROSS SECTION - CURB & SIDEWALK

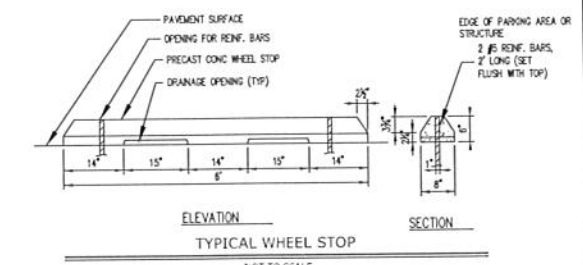
NOT TO SCALE

- NOTES:
1. MINIMUM ESAL = 0.3 TO 3.0 MILLION
 2. MINIMUM SRL = L (MINOR), M (COLLECTOR)
 3. MINIMUM CBR = 6.0
 4. ALL PETROLEUM GRADE TO BE 64-22
 5. PROVIDE BASE DRAIN ON EACH SIDE OF VERTICAL SAG CURVES
 6. STRAIGHT CURB MAY BE SUBSTITUTED FOR SLANT CURB, WHEN APPROVED BY THE TOWNSHIP



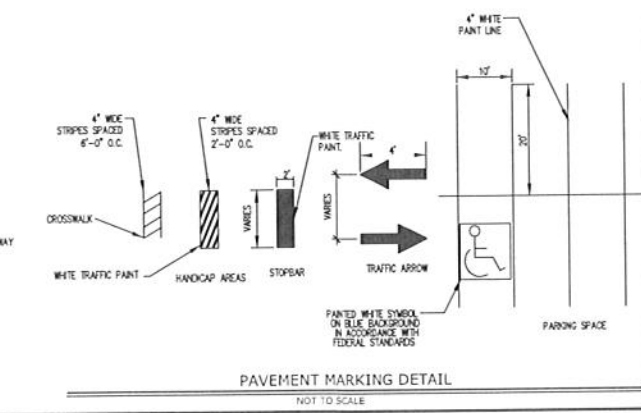
HANDICAP SIGN POST

NOT TO SCALE



TYPICAL WHEEL STOP

NOT TO SCALE



PAVEMENT MARKING DETAIL

NOT TO SCALE

Designer	MJM
Draftsman	PAC
Proj/Manager	MJM
Surveyor	SES
Partner/Dir.	
Book	Pg.
Acad.	11-DETAILS
Layout	15-DETAILS

DATE	DESCRIPTION
11/15/25	FOR COMMENT LETTER DATED 11/15/25

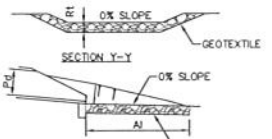
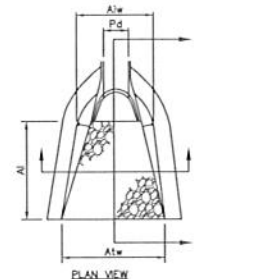
3875-3885
BOARD ROAD

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

FINAL LOT
CONSOLIDATION/LAND
DEVELOPMENT PLAN

CONSTRUCTION
DETAILS

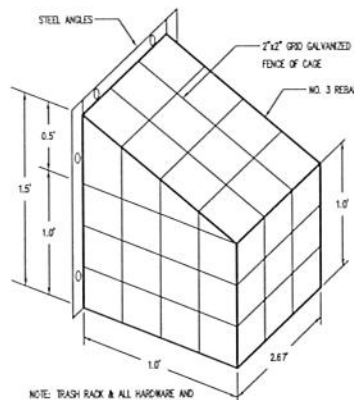
PROJECT NO.	24005
DATE	JUNE 3, 2025
SCALE	1"=30'
SHEET NO.	15 OF 18



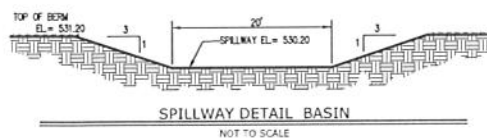
OUTLET NO.	PIPE DIA. (IN)	RIP-RAP SIZE (IN)	THICK. (IN)	LENGTH (FT)	APPROX. INITIAL WIDTH (FT)	APPROX. TERMINAL WIDTH (FT)
EW-1	24"	4	18	9	6	9.60
EW-2	18"	4	18	7	4.5	7.30
EW-3	15"	4	18	6	3.75	6.90

NOTES: ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIP-RAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

RIP-RAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL

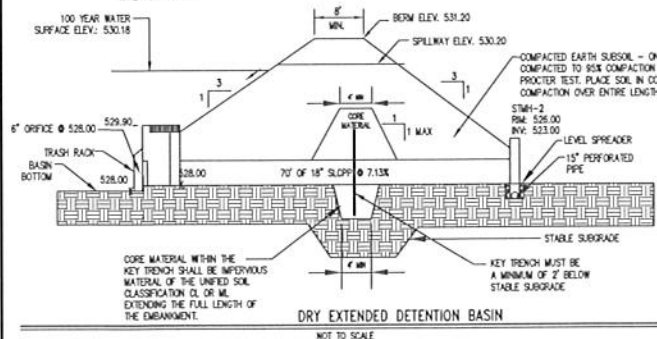


ORIFICE PLATE TRASH RACK DETAIL



DETENTION BASIN NOTES

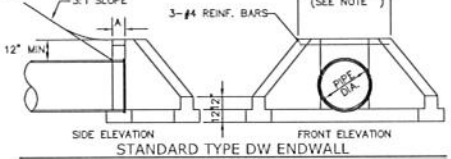
- THE BASIN SHALL BE INSTALLED PRIOR TO OR CONCURRENT WITH ANY EARTH MOVING OR LAND DISTURBANCE WHICH IT WILL SERVE.
- THE EMBANKMENT SHALL BE COMPACTED IN LAYERS TO A DENSITY OF 95% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698.
- WHEN ROCK IS ENCOUNTERED DURING THE EXCAVATION OF THE BASIN, THE ENGINEER AND GEOTECHNICAL CONSULTANT SHALL BE NOTIFIED IMMEDIATELY. UNDER DIRECTION OF THE GEOTECHNICAL ENGINEER, THE ROCK SHALL BE REMOVED TO AN ELEVATION OF AT LEAST 12" BELOW THE PROPOSED BASIN FLOOR FOR THE EVALUATION OF THE CONSTRUCTION OF A POTENTIAL UNDER.
- TEMPORARY AND PERMANENT GRASSES OR STABILIZATION MEASURES SHALL BE ESTABLISHED IN THE SLOES AND BASE OF ALL EARTHEN BASINS WITHIN 15 DAYS OF CONSTRUCTION.
- THE BASIN DISCHARGE PIPE SHALL BE BELL-AND-SPOUT ENDS WITH GASKETED WATER-TIGHT JOINTS.



PIPE DIA.	L	W	A
15"	4.0	4.0	12"
18"	4.0	4.0	12"
24"	4.6	4.6	12"
30"	4.6	4.6	12"

NOTES:

- CONCRETE SHALL BE CLASS "A"
- EXPOSED EDGES SHALL BE CHAMFERED ONE (1) INCH
- ADD 1"-0" TO DIMENSION "L" WHEN ORIFICE PLATE IS TO BE PLACED ON HEADWALL
- PROVIDE CONC. APRON WHEN TRASH RACK IS TO BE INSTALLED ON HEADWALL. SEE TRASH RACK DETAIL.

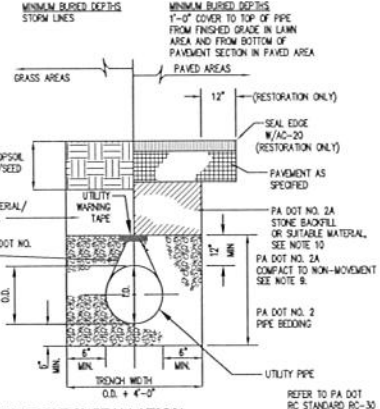


STANDARD TYPE DW ENDWALL

NOT TO SCALE

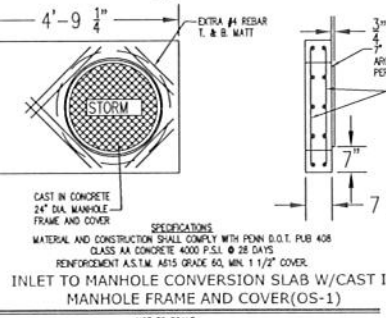
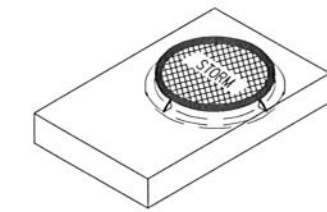
NOTES:

- THE INSTALLATION OF PIPES 12" OR GREATER INSIDE DIAMETER OR SPAN IS PERMITTED WITHOUT PLACING EMBANKMENT FIRST. MAKE THE BACKFILL ENVELOPE AS SHOWN ON THIS DRAWING EXCEPT PROVIDE 2A MATERIAL ON EACH SIDE OF THE PIPE EQUAL TO ONE OUTSIDE DIAMETER OR SPAN OF THE PIPE. FOR CONCRETE PIPE, THE WIDTH OF UNCOMPACTED AGGREGATE FOR BEDDING (ASTM NO. 8) A HIGHER STRENGTH PIPE THAN SPECIFIED MAY BE SUPPLIED AT NO ADDITIONAL COST TO THE DEPARTMENT. PAYMENT FOR ALL PIPE BACKFILL MATERIAL IS INCIDENTAL TO THE PIPE.
- TO PRECLUDE POINT LOADING ON CONCRETE PIPE, DO NOT COMPACT AGGREGATE TO 12" BEDDING MATERIAL.
- FOR TRENCH BODY/SLOPE INSTALLATION REQUIREMENTS REFER TO PUBLICATION 408, SECTION 601.
- PERMIT PLACEMENT OF BACKFILL MATERIAL UP TO 10" LOOSE LAYERS IF USING A VIBRATORY ROLLER OR UP TO 12" LOOSE LAYERS IF USING A BACKFILL-MOUNTED HYDRAULIC PLATE COMPACTOR AS SPECIFIED IN PUBLICATION 408, SECTION 601(X) 3.
- COMPACT TOP 3"-0" OF SUBGRADE TO 100% AS SPECIFIED IN PUBLICATION 408, SECTION 206.3. COMPACT 2A COARSE AGGREGATE TO NON-MOVEMENT AS PER NOTE 9. COMPACT SUTABLE MATERIAL TO MINIMUM 97% SPD.
- FOR REINFORCED CONCRETE PIPES INSTALLED WITH GREATER THAN 48" OF FILL, PROVIDE 12" BEDDING MINIMUM AND 16" MINIMUM ROCK IS PRESENT.
- COMPACT TO NON-MOVEMENT AS SPECIFIED IN PUBLICATION 408, SECTION 206.3(X) 1.C.
- USE 2A COARSE AGGREGATE OR SUTABLE MATERIAL AS SPECIFIED IN PUBLICATION 408, SECTION 601(X) 3.



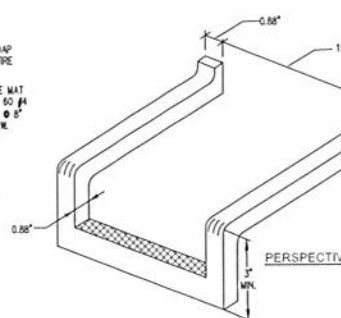
STORM SEWER PIPE INSTALLATION

NOT TO SCALE



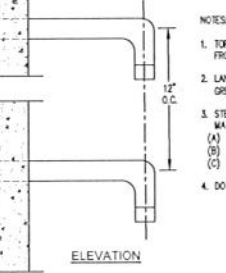
INLET TO MANHOLE CONVERSION SLAB W/CAST IN MANHOLE FRAME AND COVER (OS-1)

NOT TO SCALE



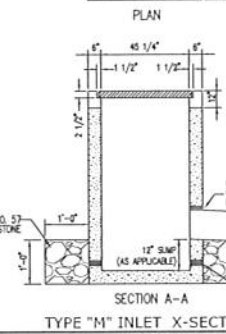
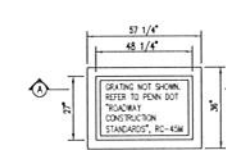
MANHOLE STEP DETAIL

NOT TO SCALE



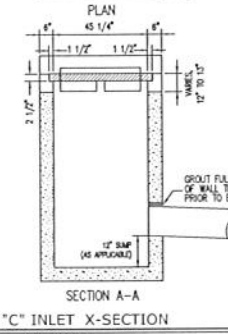
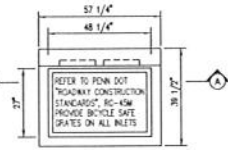
NOTES:

- TOP STEP NOT TO BE GREATER THAN 2'-0" FROM TOP OF MANHOLE
- LANDING TO BOTTOM STEP NOT TO BE GREATER THAN 2'-0"
- STEPS SHALL BE ONE OF THE FOLLOWING MATERIALS:
(A) ALUMINUM ASTM B247 ALLOY 6061-T6
(B) STEEL REINFORCED FIBERGLASS
(C) STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC
- DO NOT LOCATE STEPS OVER CHANNELS



TYPE "M" INLET X-SECTION

NOT TO SCALE

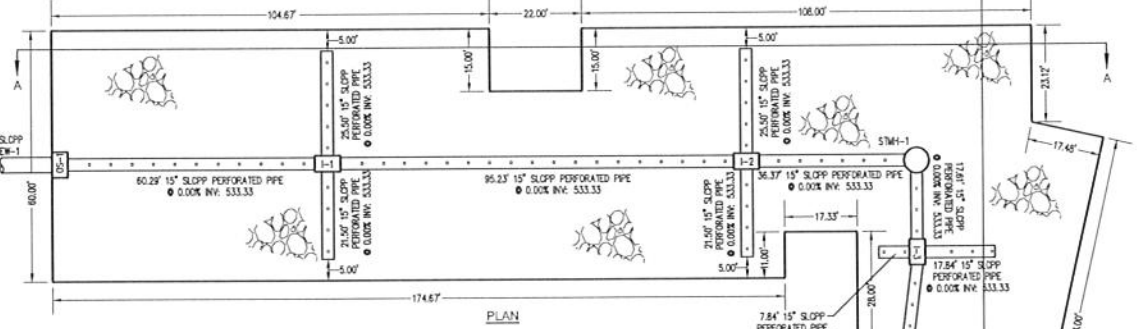


TYPE "C" INLET X-SECTION

NOT TO SCALE

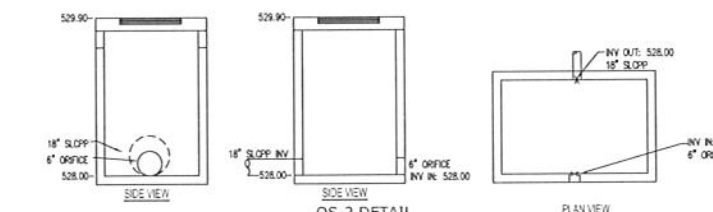
NOTE:

- ALL INLETS OVER FOUR (4) FEET IN DEPTH SHALL BE PROVIDED WITH STEPS FOR ACCESSIBILITY.
- ALL INLETS SHALL BE SIZED ACCORDINGLY TO ACCOMMODATE PROPOSED PAVING.
- THE LAST 2 INLETS BEFORE A STORM SEWER OUTFALL MUST BE CONSTRUCTED WITH A MINIMUM 12-INCH SUMP TO CATCH DEBRIS.
- ALL INLETS THAT DO NOT RECEIVE SUMPS SHALL BE CONSTRUCTED WITH CONCRETE FLOW CHANNELS CAST IN PLACE IN THE BOTTOM OF EACH INLET.
- PROVIDE 2-INCH DIA. WEEP HOLES ON EACH SIDE OF THE INLET BOX. WEEP HOLES SHALL BE LOCATED 3-INCHES ABOVE THE INLET BOTTOM AND CENTERED IN THE WALL. AGGREGATE NO. 57 STONE SHALL BE PLACED AROUND THE SUMPED PORTION OF THE INLET BOX A MINIMUM OF 12-INCHES.



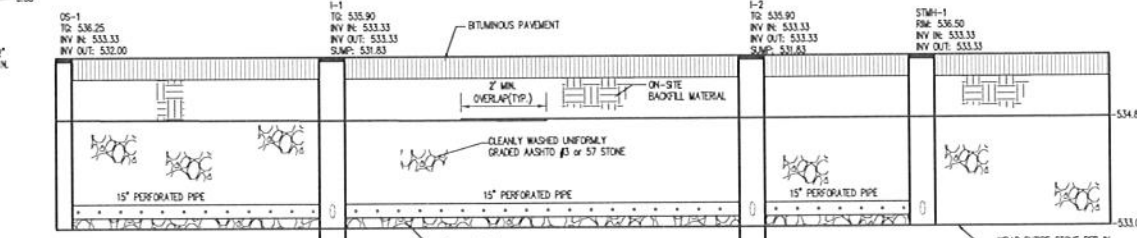
PLAN

NOT TO SCALE



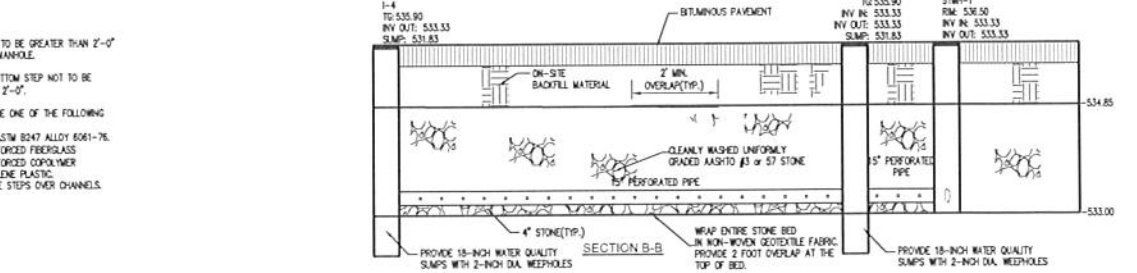
OS-2 DETAIL

NOT TO SCALE



SECTION A-A

NOT TO SCALE



SECTION B-B

NOT TO SCALE

UNDERGROUND BED

NOT TO SCALE

Designer	WJM
Draftsman	PAG
Proj Manager	WJM
Surveyor	WJS
Partner/Dir.	
Book	Pg
Acad	11-DETAILS
Layout	16-DETAILS

3875-3885 BOARD ROAD

MANCHESTER TOWNSHIP
YORK COUNTY
PENNSYLVANIA

FINAL LOT CONSOLIDATION/LAND DEVELOPMENT PLAN

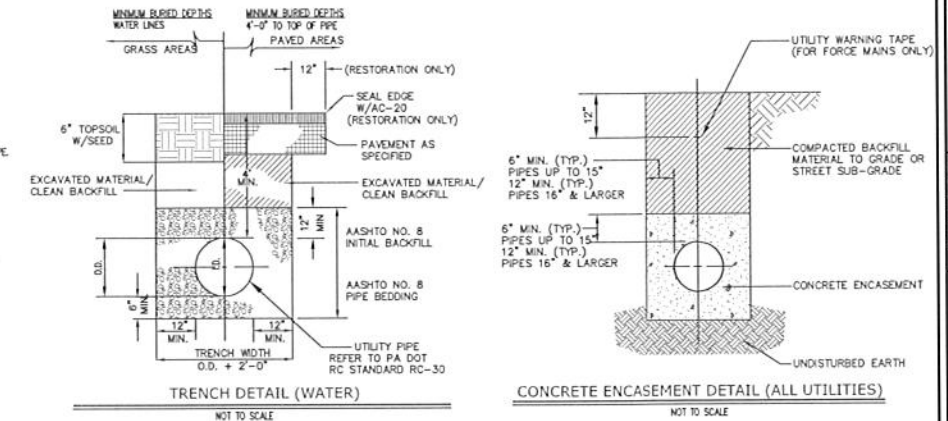
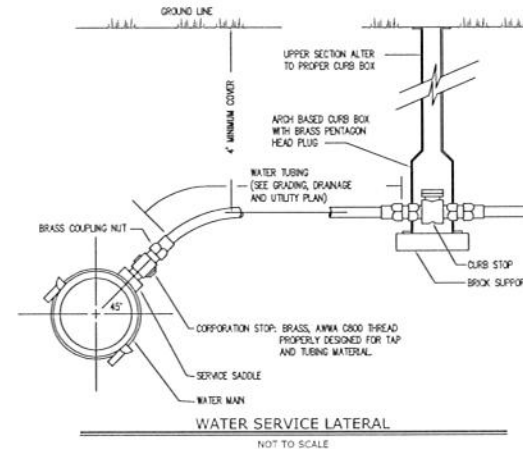
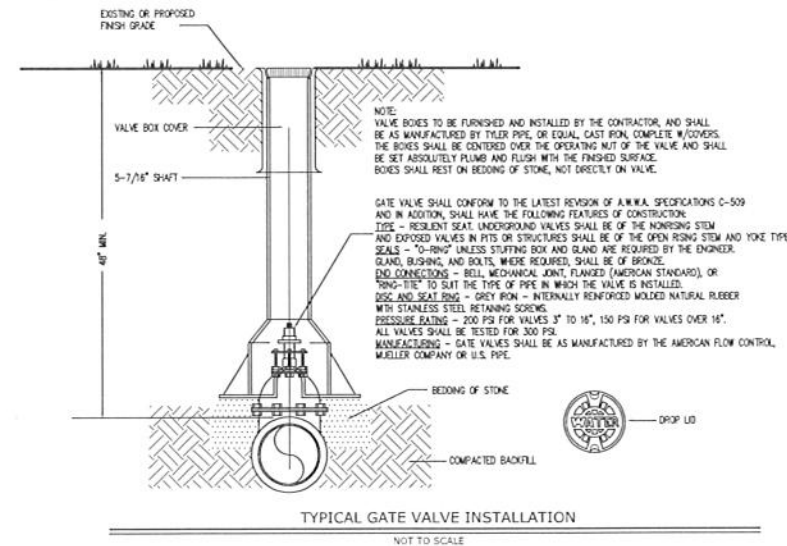
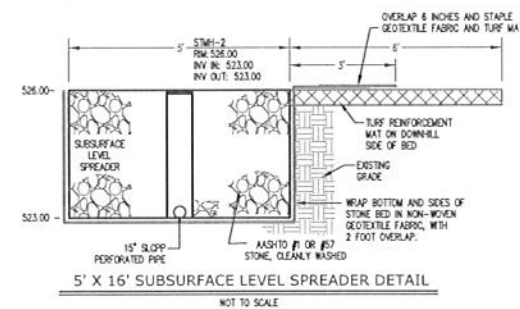
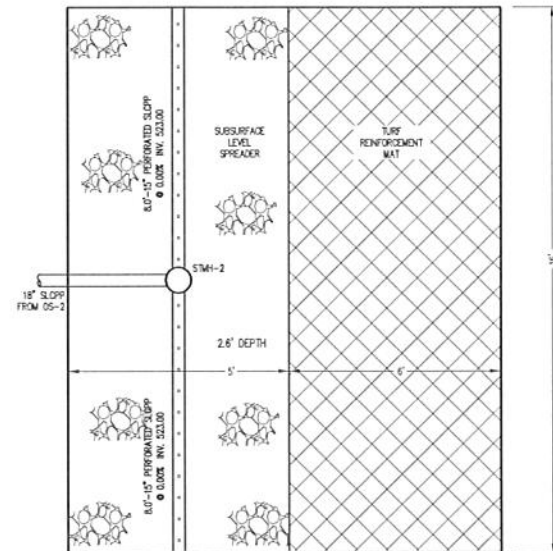
CONSTRUCTION DETAILS

PROJECT NO.
24005

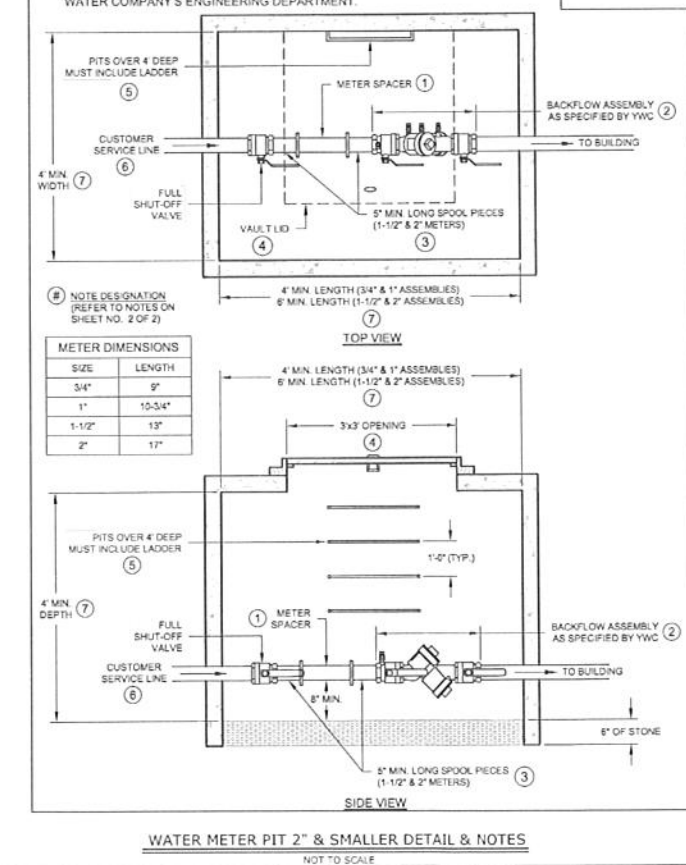
DATE
JUNE 3, 2025

SCALE
1"=30'

SHEET NO.
16 OF 18



- NOTES:**
1. METER SPACER PROVIDED BY THE YORK WATER COMPANY; INSTALLED BY CUSTOMER. CENTER OF METER SPACER MUST BE LOCATED WITHIN OPENING OF METER PIT.
 2. BACKFLOW ASSEMBLY FURNISHED AND INSTALLED BY CUSTOMER. CONTACT THE YORK WATER COMPANY'S ENGINEERING DEPARTMENT FOR BACKFLOW ASSEMBLY REQUIRED.
 3. FOR 1-1/2" & 2" METERS, A FIVE-INCH (5") MIN. LONG SPOOL PIECE SHALL BE INSTALLED BEFORE AND AFTER THE METER SPACER. FURNISHED AND INSTALLED BY CUSTOMER.
 4. ALL VAULT LIDS SHALL BE LIGHTWEIGHT ALUMINUM, EXCEPT FOR VAULT LIDS IN TRAFFIC AREAS. LIGHTWEIGHT LIDS (3x3" ALUMINUM) MUST HAVE A HANDLE. TRAFFIC-BEARING LIDS MUST HAVE A ONE-INCH (1") OR LARGER PICK HOLE. ALL LIDS SHALL BE CENTERED OVER WATER METER & LADDER.
 5. POLYPROPYLENE MANHOLE STOPS.
 6. SERVICE LINE MATERIAL SHALL BE TYPE "K" COPPER. (REFERENCE THE YORK WATER COMPANY CUSTOMER SERVICE LINE REQUIREMENTS).
 7. THE REQUIRED METER PIT WIDTH AND DEPTH IS 4 FEET (4') MINIMUM. THE REQUIRED METER PIT LENGTH FOR 3/4" & 1" METER AND BACKFLOW PREVENTER ASSEMBLIES IS FOUR FEET (4') MINIMUM. THE REQUIRED METER PIT LENGTH FOR 1-1/2" & 2" METER AND BACKFLOW PREVENTER ASSEMBLIES IS SIX FEET (6') MINIMUM.
 8. DISTANCE BETWEEN CENTERLINE OF METER SPACER AND FLOOR OR OTHER OBSTACLES SHALL BE A MINIMUM OF EIGHT INCHES (8").
 9. METER PIT MUST BE LOCATED WITHIN TEN FEET (10') OF THE YORK WATER COMPANY'S CURB STOP.
 10. ANY CHANGES TO THESE REQUIREMENTS MUST BE APPROVED BY THE YORK WATER COMPANY'S ENGINEERING DEPARTMENT.





October 15, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

Re: Responses to **Final Subdivision Plan** Comments
LCBC Church
1400 Church Road
Manchester Township, York County, PA
SDC# 1590.1

Dear Rachel,

We have revised the above stated Subdivision plans for the Proposed House of Worship review #1 from the following:

Township Engineer, CS Davidson – Cory A. McCoy, P.E., dated September 22, 2025

We offer the following comments as follows:

Township Engineer – CS Davidson

Waiver / Modifications Request-

1. Waiver Requested.
2. Waiver Requested.
3. Waiver Requested.

Zoning Ordinance Requirement-

1. General note #6 has been revised to state 1 acre minimum as the requirement.
2. General note #7 has been revised to state 150' minimum as the requirement.
3. N/A
4. N/A

SALDO Review

1. Section reference for waiver #1 has been revised.
2. N/A
3. Address for the lot is stated in the uniform parcel identification block on the title sheet.
4. Existing and proposed easements have been shown, dimensioned, and shaded on the plans. An easement is not required for the existing overhead electric line along Church road, however a 10' wide right to trim is granted to the electric company. A riparian buffer has been added to the plan and dimensioned.
5. N/A

6. This has been discussed with the township zoning officer, and is not applicable in the Office zone.
7. A title search has been completed and is attached with submission.
8. The existing right-of-way and cartway has been added to the plan and dimensioned.
9. Wells and septic systems have been identified on the plans, as well as isolation radii.
10. N/A
11. N/A
12. N/A
13. N/A
14. N/A
15. A 20' wide drainage easement has been provided for Tributary 08420 to Little Conewago Creek.
16. N/A
17. Planning Module letter has been attached with submission.
18. N/A
19. Acknowledged.
20. N/A
21. N/A
22. A waiver has been requested and is included on the title sheet.
23. N/A
24. N/A
25. N/A
26. A statement of ownership, acknowledgement of the plan, and offer of dedication have been added to the plan.
27. N/A
28. The signature and seal shall be provided upon final plan approval.
29. N/A
30. Standard Manchester Township notes have been added to the plan.

General Comments:

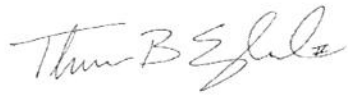
1. N/A
2. N/A
3. N/A
4. N/A
5. N/A
6. N/A
7. N/A
8. N/A
9. N/A
10. N/A

If you require additional information or have any questions on the revised plans, please feel free to contact me.

Respectfully,

SITE DESIGN CONCEPTS, INC.





Thomas B. Englerth II, P.L.S.
Project Manager



C.S. DAVIDSON, INC.
ENGINEERING A BETTER COMMUNITY

September 22, 2025

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

Re: LCBC Church-1400 Church Road
Final Subdivision Plan
Manchester Township Plan #2025-11
Engineer's Project No. 0841.3.12.52

Dear Rachel:

We have reviewed the above-referenced Final Subdivision Plan, submitted by Site Design Concepts, dated September 3, 2025. We offer the following comments:

Waiver Requests:

1. §22-403 – To allow the submittal of a Final Subdivision Plan
2. §22-703.2.A – To defer curb construction to the Land Development Plan
3. §22-709 – To defer sidewalk installation to the Land Development Plan

Subdivision and Land Development Ordinance

1. Revise waiver request 1 to reference §22-303.
2. The existing and proposed type of water service and sanitary sewer services shall be added to the site data table. (§22-404.3.7)
3. The required and proposed minimum lot depth shall be included in the site data table. (§22-404.3.12)
4. Provide a planning exemption number on the plans or reference the planning module associated with the Land Development Plan in General Notes. (§22-404.3.19 & §22-407.3.2)
5. The required and proposed height of structures shall be included in the site data table. (§22-404.3.20)
6. Any existing or proposed easements shall be defined, dimensioned, and shaded on the plans (§22-404.4.15). Confirm whether an easement is associated with the overhead electric utility line shown along the western corner of the property. A riparian buffer shall be shown on the plans, measured 35' from the top of bank of the UNT to Little Conewago Creek along the rear property line.
7. All steep slopes >15% shall be quantified within the steep slopes legend on Sh. FSD-2. (§22-404.4.16.a)

ENGINEERING A BETTER COMMUNITY

8. Provide the property owner information for 2121 Roosevelt Ave. (§22-404.4.18)
9. Buffer areas shall be labeled and dimensioned along all adjacent residential uses. (§22-404.4.20)
10. A full title search must be completed, and all existing rights-of-way, easements, restrictions, etc. shall be shown or referenced on the plans. Remove General Note 15. (§22-404.4.23)
11. The existing right-of-way and cartway width of Roosevelt Ave. (S.R. 4001) shall be dimensioned on the plans (§22-404.4.24). The variable width right-of-way of Church Rd. (S.R. 0238) near the area of the intersection of Roosevelt Avenue shall be dimensioned on the plans.
12. Minimum and required safe stopping sight distances shall be included on the plans or the existing access drive to Church Road. (§22-404.4.30)
13. The clear sight triangle for the existing access drive to Church Road shall be included on the plans. (§22-404.4.31)
14. Reference the location and distance to the nearest fire hydrant on the plans. (§22-404.4.37.A)
15. Identify the locations of wells and septic systems along with the required isolation radius on the subject property (§22-404.4.38). Include the required isolation radius around the existing well location on the adjacent Rentzel parcel.
16. Provide a 20' drainage easement along Tributary 08420 to the Little Conewago Creek. (§22-511.1.A.1.a)
17. Provide a note on the plans indicating that the parcels are hereby joined together and shall not be separated without the approval of Manchester Township.
18. The proposed combined net parcel area listed in General Note 6 does not match the plan label on sheet 3.
19. A statement of ownership, acknowledgment of the plan, and offer of dedication shall be provided on the coversheet of the plans and the owner's notarized signature shall be added. (§22-404.1.2)
20. The responsible professional's signature block, along with seal and dated signature shall be added to the cover sheet. (§22-404.1.4)
21. The following Manchester Township standard notes shall be added to the plans: 3, 4, 9, 10.1, 21, 26

If you have questions related to the enclosed information or require any clarification, please feel free to contact me at 717-814-4501 or via email CAM@csdavidson.com.

Sincerely,

Cory A. McCoy, P.E.

CAM/AJS/dmg

Copy: File

B. J. Treglia, P.E. Manchester Township, via email: b.treglia@mantwp.com

Tom Englerth, Site Design Concepts, LLC, via email: tenglerth@sitedc.com

Lucas Wilson, Site Design Concepts LLC, via email: lwilson@sitedc.com

GENERAL NOTES

1. THE PURPOSE OF THIS FINAL SUBDIVISION PLAN IS TO DEPICT THE CONSOLIDATION OF PARCELS 1-F, 11-B, AND 11S. THERE IS NO CONSTRUCTION PROPOSED BY THIS PLAN.
2. PARCEL INFORMATION:
UNIFORM PARCEL IDENTIFIER: 36-000-JH-0001.FD-00000
DEED REFERENCE: DEED/RECORD BOOK 1971, PAGE 4364
UNIFORM PARCEL IDENTIFIER: 36-000-JH-0011.BD-00000
DEED REFERENCE: DEED/RECORD BOOK 1856, PAGE 3225
PLAN REFERENCE: PLAN/RECORD BOOK NO. PAGE 1014, LOT NO. 1
UNIFORM PARCEL IDENTIFIER: 36-000-JH-0115.00-00000
DEED REFERENCE: DEED/RECORD BOOK 1695, PAGE 4907
PLAN REFERENCE: PLAN/RECORD BOOK NO. PAGE 1014, LOT NO. 2
3. EXISTING LAND TRACT IS ZONED: O, OFFICE
4. ADJACENT LAND TRACTS ARE ZONED:
NORTH: PL, RESIDENTIAL LOW DENSITY (OPEN SPACE)
SOUTH: O, OFFICE/PL, RESIDENTIAL LOW DENSITY (OPEN SPACE)
EAST: PL, RESIDENTIAL LOW DENSITY (OPEN SPACE)
WEST: O, OFFICE/PL, RESIDENTIAL LOW DENSITY (OPEN SPACE)
5. EXISTING LAND TRACT(S) USE:
PARCEL 1-F: VACANT/CULTIVATED FIELD
PARCEL 11-B: VACANT/CULTIVATED FIELD
PARCEL 11S: VACANT/CULTIVATED FIELD
6. EXISTING LOTS ARE SERVED BY AN EXISTING ON-LOT WELL AND AN EXISTING ON-LOT SEPTIC SYSTEM.
7. MINIMUM REQUIRED LOT AREA: 20,000 S.F.
EXISTING LOT AREA:
PARCEL 1-F AREA: 36,818 S.F. (0.845 AC.) GROSS
30,149 S.F. (0.692 AC.) NET
PARCEL 11-B AREA: 31,036 S.F. (0.712 AC.) GROSS
27,013 S.F. (0.620 AC.) NET
PARCEL 11S AREA: 29,878 S.F. (0.683 AC.) GROSS
250,068 S.F. (5.629 AC.) NET
COMBINED PARCEL 1-F, 11-B, AND 11S: 365,731 S.F. (8.395 AC.) GROSS
308,129 S.F. (7.029 AC.) NET
8. MINIMUM REQUIRED LOT WIDTH: 80 FT. (AT BLDG. SETBACK LINE)
EXISTING LOT WIDTH (ALONG CHURCH ROAD):
PARCEL 1-F WIDTH: 177 FT.
PARCEL 11-B WIDTH: 622 FT.
PARCEL 11S WIDTH: 135 FT.
PROPOSED LOT WIDTH (ALONG CHURCH ROAD):
COMBINED PARCEL 1-F, 11-B, AND 11S: 824 FT.
9. MINIMUM REQUIRED SETBACKS:
PRINCIPAL BUILDINGS & STRUCTURES:
FRONT: 35 FT. (50 FT. ALONG MAJOR OR MINOR ARTERIAL)
SIDE: 15 FT.
REAR: 35 FT.
10. MAXIMUM ALLOWABLE BUILDING COVERAGE: 40%
EXISTING BUILDING COVERAGE:
PARCEL 1-F COVERAGE: 0% (0 S.F./30,149 S.F.)
PARCEL 11-B COVERAGE: 0% (0 S.F./27,013 S.F.)
PARCEL 11S COVERAGE: 0% (0 S.F./250,068 S.F.)
PROPOSED BUILDING COVERAGE:
COMBINED PARCEL 1-F, 11-B, AND 11S: 0% (0 S.F./337,230 S.F.)
11. MAXIMUM ALLOWABLE LOT COVERAGE: 70%
EXISTING LOT COVERAGE:
PARCEL 1-F COVERAGE: 0% (0 S.F./30,149 S.F.)
PARCEL 11-B COVERAGE: 0% (0 S.F./27,013 S.F.)
PARCEL 11S COVERAGE: 0% (0 S.F./250,068 S.F.)
PROPOSED LOT COVERAGE:
COMBINED PARCEL 1-F, 11-B, AND 11S: 0% (0 S.F./337,230 S.F.)
12. PLANTING SCREENING: WHEN A REAR OR SIDE LOT LINE OF A PRINCIPAL NON-RESIDENTIAL USE IS IMMEDIATELY ADJUTING A LOT IN AN A, R, RM, OR RH DISTRICT, OR A RESIDENTIALLY USED PROPERTY, SCREEN PLANTING SHALL BE PROVIDED ALONG SUCH LOT LINE. IN A LANDSCAPED AREA WITH A MINIMUM WIDTH OF 15 FEET, THIS LANDSCAPED AREA MAY OVERLAP A REQUIRED YARD. THE PLANT SCREENING SHALL MEET THE REQUIREMENTS OF § 27-1105.
13. PROJECT SITE IS NOT LOCATED WITHIN A MAPPED 100 YEAR FLOOD PLAN BASED UPON A REVIEW OF THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWNSHIP OF MANCHESTER, COMMUNITY NUMBER 420331, PANEL 0306, SUPPLY P. MAP NUMBER 421500000P, EFFECTIVE DATE: OCTOBER 16, 2015.
14. SITE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON AN ACTUAL FIELD SURVEY BY SITE DESIGN CONCEPTS, INC., COMPLETED IN APRIL, 2020.
15. SITE BENCH MARK:
"MAD" NAIL IN CHURCH ROAD. ELEV.= 440.42. VERTICAL ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM FROM 1988 (NAVD 88 DATUM) AND ESTABLISHED BY USING GPS TECHNOLOGY.
16. RESIDENTIAL DRIVEWAY CLEAR SIGHT TRIANGLE REQUIREMENTS:
75 FT. ALONG CENTERLINE OF STREET ON EACH SIDE OF CENTERLINE OF RESIDENTIAL DRIVEWAY
25 FT. ALONG CENTERLINE OF RESIDENTIAL DRIVEWAY FROM THE EDGE OF CARTRAY
NO BUILDING OR STRUCTURE IS PERMITTED WITHIN CLEAR SIGHT TRIANGLE. HOWEVER, OBSTRUCTIONS AND PLANTINGS LESS THAN THOSE (3) FEET IN HEIGHT SHALL BE PERMITTED.
17. EXISTING WETLAND AREAS SHOWN ON THIS PLAN HAVE BEEN DELINEATED BY VORTEX ENVIRONMENTAL, INC., IN AUGUST 2019 AND RECONFIRMED IN MAY 2025.
18. THE OWNERS, THEIR HEIRS, OR THEIR ASSIGNS OR SUCCESSORS IN THE TITLE AGREE THAT THEY SHALL INSTALL, AT THE OWNERS' EXPENSE, CONCRETE CURBING, CONCRETE SIDEWALK, OR BOTH CONCRETE CURBING AND CONCRETE SIDEWALK AND ANY NECESSARY ROAD WORKING TO ACCOMPANY THE CURBING IN ACCORDANCE WITH TOWNSHIP AND/OR STATE SPECIFICATIONS WITHIN SIX (6) MONTHS FROM THE RECEIPT OF CERTIFIED NOTIFICATION FROM MANCHESTER TOWNSHIP.
19. ANY NONCONFORMING BUILDING OR STRUCTURE IS DESTROYED OR DAMAGED BY REASON OF WINDSTORM, FIRE, FLOOD, EXPLOSION OR OTHER ACT OF GOD OR PUBLIC ENEMY TO AN EXTENT OF MORE THAN 50% OF ITS FIRM MARKET VALUE AT THE TIME OF THE CASUALTY SHALL NOT BE REBUILT, RESTORED, OR REPAIRED EXCEPT IN CONFORMANCE OF THE PROVISIONS OF THE MANCHESTER TOWNSHIP ZONING ORDINANCE (CHAPTER 27).
20. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 430 OF THE ACT OF JUNE 1, 1945 (PL 1343 AND 428) KNOWN AS THE "STATE HIGHWAY LAW", OR AMENDMENTS THEREOF, BEFORE ANY DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL BE AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT AND THE BOARD OF SUPERVISORS APPROVAL OF THIS PLAN DOES NOT IMPLY THAT A PERMIT CAN BE ACQUIRED.
21. PERMANENT MONUMENTS AND MARKERS (STEEL PINS) TO BE SET AT ALL PROPERTY CORNERS IN ACCORDANCE WITH SECTION 22-717 OF THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
22. ALL EXTERIOR LIGHTING SHALL BE SO ARRANGED AND/OR SHIELDED SO AS NOT TO CAST OBJECTIONABLE ILLUMINATION OR GLARE UPON ADJACENT PROPERTIES.
23. THE STREET ADDRESS NUMBER SHALL BE MOUNTED TO THE BUILDING WITH A MINIMUM OF 2" X 3" NUMBERS THAT ARE VISIBLE FROM THE STREET.
24. NO BUILDING CONSTRUCTION MAY OCCUR WITHOUT PERMITS FIRST BEING ISSUED IN ACCORDANCE WITH THE ORDINANCES OF MANCHESTER TOWNSHIP.
25. NO BLASTING IS PERMITTED WITHOUT A STATE PERMIT AND ADVANCE NOTIFICATION TO THE MANCHESTER TOWNSHIP FIRE CHIEF.
26. PA DEP SENIOR PLANNING MODULE APPROVED FOR S EDITS FOR PA DEP CODE NO. A3-87939-453-3E, APPLICATION NO. 1228011, AND AUTHORIZATION ID NO. 1356422.
27. THE NEAREST FIRE HYDRANT IS LOCATED AT THE INTERSECTION OF STERLING DRIVE AND CHURCH ROAD, 1057 F.T. FROM THE PROPERTY.
27. THE NEAREST SANITARY SEWER IS LOCATED 438 FT. ± FROM THE PROPERTY.
28. LAND OWNER:
1400 CHURCH ROAD, LLC
221 WEST PHILADELPHIA STREET, SUITE 19
YORK, PA 17401
PROPERTY ADDRESS:
1400 CHURCH ROAD
YORK, PA 17404
EQUITABLE LAND OWNER:
1400 CHURCH ROAD, LLC
221 WEST PHILADELPHIA STREET, SUITE 19
YORK, PA 17401

MANCHESTER TOWNSHIP
BOARD OF SUPERVISORS FINAL PLAN APPROVAL

AT A MEETING HELD ON _____, 20____, THE MANCHESTER TOWNSHIP BOARD OF SUPERVISORS APPROVED THIS PLAN.

MANCHESTER TOWNSHIP
PLANNING COMMISSION REVIEW

AT A MEETING HELD ON _____, 20____, THE MANCHESTER TOWNSHIP PLANNING COMMISSION REVIEWED THIS PLAN.

MANCHESTER TOWNSHIP ENGINEER REVIEW

RECOMMENDED FOR APPROVAL BY THE MANCHESTER TOWNSHIP ENGINEER.

TOWNSHIP ENGINEER _____ DATE _____

LAND SURVEYOR

I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MANCHESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

COPYRIGHT BY AND FOR:

THOMAS B. ENGLERTH II, P.L.S.
REGISTRATION NO. SU 046640
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

DATE _____ SEAL _____

FINAL SUBDIVISION PLAN

FOR LANDS OF

1400 CHURCH ROAD, LLC

1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PREPARED FOR:
1400 CHURCH ROAD, LLC
221 WEST PHILADELPHIA STREET, SUITE 19
YORK, PA 17401

UNIFORM PARCEL IDENTIFIER		
PARCEL/LOT NO.	STREET ADDRESS	U.P.I.
1-F	CHURCH ROAD	36-000-JH-0001.FD-00000
11-B	1400 CHURCH ROAD	36-000-JH-0011.BD-00000
11S	CHURCH ROAD	36-000-JH-0115.00-00000
LOT 1		

FINAL SUBDIVISION PLAN SHEET
INDEX

DRAWING SHEET NO.	DRAWING TITLE
*FSD-1	TITLE SHEET
*FSD-2	EXISTING SITE CONDITIONS PLAN
*FSD-3	FINAL SUBDIVISION PLAN

* INDICATES PLAN SHEETS TO BE RECORDED



SITE DESIGN CONCEPTS, INC. HAS MET THE OBLIGATIONS OF PA ACT 121 OF THE PENNSYLVANIA GENERAL ASSEMBLY IN PREPARING THIS PLAN. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHOULD CONTACT THE PA ONE CALL SYSTEM (1-800-242-1776) PRIOR TO ANY EXCAVATION AS REQUIRED BY PA ACT 287 OF 1974 (ACT 50 OF 2017).

DESIGN SERIAL NUMBER 20200641956 (MANCHESTER TOWNSHIP)

COLUMBIA GAS OF PA
251 WEST MADEN STREET
WASHINGTON, PA 15301
CONTACT: JAMIE PUSKO
EMAIL: JPLIS@COLUMBIAGAS.COM
(724) 225-7481

COMCAST OF SE PA
C/O CENTRAL LOCATING SERVICES USIC
15085 HAMILTON CROSSING BLVD, SUITE 200
CHAMBERS, PA 16032
CONTACT: CLS PERSONNEL
(800) 934-6458

VIKING COMMUNICATIONS INC.
600 ROUTE 38 WEST SUITE C
CHERRY HILL, NJ 08002
CONTACT: DOUGLAS CARROLL
(856) 488-2517

FIRST ENERGY CORP.
78 SOUTH MAIN STREET
AKRON, OH 44308-1890
CONTACT: OFFICE PERSONNEL
(717) 257-5602

TEXAS EASTERN TRANSMISSION
CORPORATION
560 POTTSTOWN PIKE
P.O. BOX 420
WIRCHLAND, PA 15480-0420
CONTACT: WILLIAM L. QUIN II
(610) 458-1700

VERIZON NORTH
2441 WEST GRANDVIEW BOULEVARD
IRIE, PA 18008
CONTACT: MICHAEL A. DEARY
EMAIL: MICHAEL.DEARY@VERIZON.COM
(610) 492-3100

AMERIGAS PROPANE, LP
823 YORK ROAD
DUNSBURG, PA 17018
CONTACT: JON CAMPBELL
EMAIL: JON.CAMPBELL@AMERIGAS.COM
(717) 432-1825

CSI LLC
100 CTE DRIVE
DALLAS, PA 18612
CONTACT: DAVID MORRIS
(570) 631-2700

MANCHESTER TOWNSHIP YORK CO.
38 NORTH DUKE STREET
YORK, PA 17401
CONTACT: RICHARD D. RESH
(717) 846-4805

YORK WATER COMPANY
130 EAST MARKET STREET
P.O. BOX 15268
YORK, PA 17405-5068
CONTACT: MATT RUCH
EMAIL: MATT@YORK-WATER.COM
(717) 845-3601

MANCHESTER TOWNSHIP
3200 FARMTRAIL ROAD
YORK, PA 17401
(717) 764-4644

YORK COUNTY PLANNING COMMISSION

THE YORK COUNTY PLANNING COMMISSION, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247 OF 1968, AS AMENDED, REVIEWED THIS PLAN ON _____, 20____, AND A COPY OF THE REVIEW IS ON FILE AT THE OFFICE OF THE PLANNING COMMISSION IN YORP FILE NO. _____. THE CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL OF THE PLAN BY THE YORK COUNTY PLANNING COMMISSION, AND THE COMMISSION DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH OR THE FEDERAL GOVERNMENT.

DIRECTOR, YORK COUNTY PLANNING COMMISSION _____ DATE _____

RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, IN AND FOR YORK COUNTY, PENNSYLVANIA, IN LAND RECORD BOOK _____, PAGE _____, ON THIS _____, DAY OF _____, 20____.

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT
OF PLAN AND OFFER OF DEDICATION

(OWNER - UPI 36-000-JH-0001.FD-00000)
(OWNER - UPI 36-000-JH-0011.BD-00000)
(OWNER - UPI 36-000-JH-0115.00-00000)
FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF YORK
ON THIS, THE 14 DAY OF February, 2025, BEFORE ME,
Heather E. Rose, the undersigned NOTARY PUBLIC, PERSONALLY
APPEARED _____, BEING _____ OF
1400 CHURCH ROAD, LLC
TO ME KNOWN OR PROVEN, BEING DULY
SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE
OWNER _____ OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN
THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE
THE CORPORATION'S ACT AND PLAN, THAT THE CORPORATION DESIRES THE SAME TO BE
RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC
PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY
DEDICATED TO THE PUBLIC USE.

1400 CHURCH ROAD, LLC
221 WEST PHILADELPHIA STREET, SUITE 19
YORK, PA 17401

NOTARY PUBLIC
Commonwealth of Pennsylvania - Notary Seal
Heather E. Rose, Notary Public
York County
My commission expires September 15, 2027
Commission number: 1236653
Member, Pennsylvania Association of Notaries

NOTARY STAMP SEAL

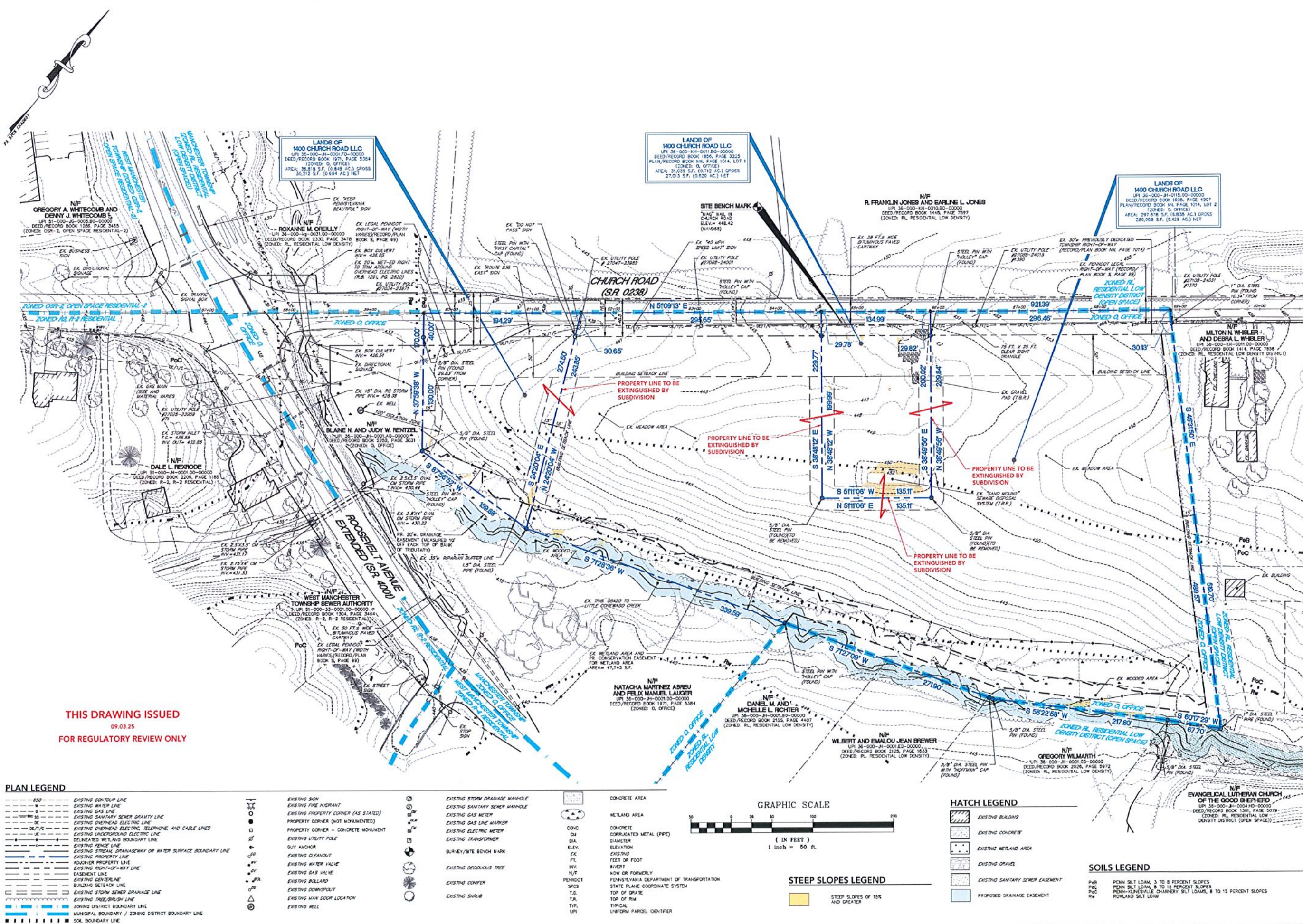
THIS DRAWING ISSUED
09.03.25
FOR REGULATORY REVIEW ONLY

REVISIONS		COMMENTS
NO.	DATE	REVISION PER TOWNSHIP COMMENTS
1	10.15.25	

site design concepts
LAND DEVELOPMENT CONSULTANTS
127 WEST MARKET STREET, SUITE 200 • YORK, PA 17401
T: 717.767.9414 • F: 717.840.8205 • WWW.SITEDC.COM
Civil Engineering • Surveying • Landscape Architecture • Land Planning • Environmental Consulting

TITLE SHEET
PROPOSED HOUSE OF WORSHIP
FOR
1400 CHURCH ROAD, LLC
1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE	AS NOTED
DRAWN BY	LJM
DESIGNED BY	TBE
CONTACT	TBE
DATE	09.03.25
FILE NAME	1590.1-FSD-1
JOB NO.	1590.1
SHEET NO.	FSD-1
REV	1
SHT. 1 OF 3	



THIS DRAWING ISSUED
09.03.25
FOR REGULATORY REVIEW ONLY

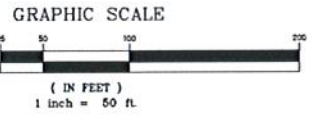
PLAN LEGEND

- EXISTING CONTOUR LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SANITARY SEWER GRAVITY LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD ELECTRIC, TELEPHONE, AND CABLE LINES
- EXISTING UNDERGROUND ELECTRIC LINE
- DELINEATED WETLAND BOUNDARY LINE
- EXISTING FENCE LINE
- EXISTING STREAM, GRASSLAND, OR WATER SURFACE BOUNDARY LINE
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- EASEMENT LINE
- EXISTING CENTERLINE
- BUILDING SETBACK LINE
- EXISTING STORM SEWER DRAINAGE LINE
- EXISTING TREE/BRUSH LINE
- ZONING DISTRICT BOUNDARY LINE
- MUNICIPAL BOUNDARY / ZONING DISTRICT BOUNDARY LINE
- SOL BOUNDARY LINE

- EXISTING SIGN
- EXISTING FIRE HYDRANT
- EXISTING PROPERTY CORNER (AS STATED)
- PROPERTY CORNER (NOT MONUMENTED)
- PROPERTY CORNER - CONCRETE MONUMENT
- EXISTING UTILITY POLE
- GUY ANCHOR
- EXISTING CLEANDIT
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING BOLLARD
- EXISTING DOWNSPOUT
- EXISTING MAN HOLE LOCATION
- EXISTING WELL

- EXISTING STORM DRAINAGE MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING GAS METER
- EXISTING GAS LINE MARKER
- EXISTING ELECTRIC METER
- EXISTING TRANSFORMER
- SURVEY/SITE BENCH MARK
- EXISTING DEADWOOD TREE
- EXISTING CONIFER
- EXISTING SHUB

- CONCRETE AREA
- WETLAND AREA
- CONC.
- DIAM.
- ELEV.
- FEET OR FOOT
- RIVER
- NEW OR FORMERLY
- PENNSYLVANIA DEPARTMENT OF TRANSPORTATION
- STATE PLANE COORDINATE SYSTEM
- TOP OF GRADE
- TOP OF RM
- TYPICAL
- UNIFORM PARCEL IDENTIFIER



STEEP SLOPES LEGEND

- STEEP SLOPES OF 15% AND GREATER

HATCH LEGEND

- EXISTING BUILDING
- EXISTING CONCRETE
- EXISTING WETLAND AREA
- EXISTING GRAVEL
- EXISTING SANITARY SEWER EASEMENT
- PROPOSED DRAINAGE EASEMENT

SOILS LEGEND

- PdB PENN. SILT LOAM, 3 TO 8 PERCENT SLOPES
- PdC PENN. SILT LOAM, 8 TO 15 PERCENT SLOPES
- PdR PENN. SILT LOAM, 15 TO 25 PERCENT SLOPES

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EXISTING SITE CONDITIONS PLAN

PROPOSED HOUSE OF WORSHIP
FOR
1400 CHURCH ROAD, LLC
1400 CHURCH ROAD
MANCHESTER TOWNSHIP, YORK COUNTY, PENNSYLVANIA

SCALE	AS NOTED
DRAWN BY	L/W
DESIGNED BY	TBE
CONTACT	TBE
DATE	09.03.25
FILE NAME	1590.1-FSD-1
JOB NO.	1590.1
SHEET NO.	FSD-2
SHT. 2 OF 3	1

NO.	DATE	REVISION	FOR TOWNSHIP	COMMENTS
1	10.15.25			

